

January 29, 2024

Via: Email Notification / FTP Weblink

## ALL BIDDING GENERAL CONTRACTORS

Re: **LETTER OF TRANSMITTAL  
ROOMS TO GO STORE EXPANSION AND REMODEL  
18722 South Dixie Highway  
Cutler Bay, FL 33157  
POST BID ADDENDUM #5**

We are transmitting herewith the following:

| <u>QUANTITY</u> | <u>DESCRIPTION</u>       |
|-----------------|--------------------------|
| One (1) pdf     | Set of Revised Drawings  |
| One (1) pdf     | Revised Specifications   |
| One (1) pdf     | Updated List of Drawings |
| One (1) pdf     | Addendum Narrative       |

Remarks: **PLEASE NOTE: REVISED PROPOSALS ARE DUE AT 2:00PM ON TUESDAY, FEBRUARY 20, 2024.**

Revised Drawings and Narrative have been uploaded to CASCO's FTP site for your use in preparing pricing for the above referenced project. Revisions are noted on the enclosed Addendum form.

Sincerely,



Steve Dahms  
314.960.7956  
[Steve.dahms@theCDcompanies.com](mailto:Steve.dahms@theCDcompanies.com)  
[rtg@theCDcompanies.com](mailto:rtg@theCDcompanies.com)

cc: RTG – via email  
ACT/File

K:\RTG\Projects\Cutler Bay FL Adult Expansion 2101445\WP\Bid\240129 Post Bid Add 5\Post Bid Add 5 Narrative - 01 29 2024.docx

January 29, 2024

## **POST BID ADDENDUM NO. FIVE**

To Plans and Specifications

This Addendum to the Drawings and Specifications for the above captioned project supersedes all contrary and/or conflicting information on said plans and specifications which are hereby amended as follows:

### **CHANGES TO THE DRAWINGS:**

Incorporate the following revised CASCO drawings dated 01/29/2024, with revisions including, but not necessarily limited to, those listed below:

1. Sheet A0.0 – Revision No. 3: Revised Note in Product Approval Box. Revised Code Data. Deleted Sheet A6.5 from set.
2. Sheet D2.0 – Revision No. 2: Added Note #20.
3. Sheet D3.0 – Revision No. 2: Added Note #30.
4. Sheet A0.1 – Revision No. 1: Revised Life Safety Plan. Deleted IDF Room #117.
5. Sheet A1.0 – Revision No. 3: Revised door swing for door #19. Deleted door #4. Revised Floor Plan per updated Design Drawings Rev. #4. Revised Partition Type. Deleted IDF Room #117.
6. Sheet A1.1 – Revision No. 4: Revised Floor Plan per updated Design Drawings Rev. #4. Deleted Ceramic Tile in Adult Sales addition. Revised LVT at entry in Kids Sales. Deleted IDF Room #117.
7. Sheet A1.2 – Revision No. 1: Revised Floor Plan per updated Design Drawings Rev. #4. Revised Elevation Bubbles. Deleted IDF Room #117.
8. Sheet A1.3 – Revision No. 1: Deleted Note #1. Revised walk pad note to include “single width”.
9. Sheet A2.0 – Revision No. 2: Added notes re: 48” X 60” accessible clearance at doors. Added note re: 30” X 48” accessible clearance at Break Room Cabinet. Deleted IDF Room #117.
10. Sheet A2.1 – Revision No. 2: Deleted Floor Finish Plan #3.3. -

11. Sheet A3.0 – Revision No. 2: Revised notes to paint concrete masonry, new and existing. Added note to install new sealant and backer rod in existing masonry control joints. Deleted Door #4 from South Elevation. Deleted composite metal panels from exterior material schedule.
12. Sheet A4.0 – Revision No. 1: Removed Storefront steel bracing.
13. Sheet A5.0 – Revision No. 1: Added notes re: apply fire caulk... to Partition Type P-12. Revise 362S162-33 metal studs to 362S163-18 metal studs.
14. Sheet A5.6 – Revision No. 2: Revised Details #1 & #2.
15. Sheet A6.0 – Revision No. 1: Revised Elevations “C”, “C1”, “C2”. Revised Wall Section #6 & #7. Revised 362S162-33 metal studs to 362S162-18 metal studs.
16. Sheet A6.1 – Revision No. 2: Revised Elevations “C4”, “C5”, “E”. Revised Wall Section #3. Revised 362S162-33 metal studs to 362S162-18 metal studs.
17. Sheet A6.2 – Revision No. 2: Revised Elevations “L”, “M”, “N”, “O”, “P”, “P1”, “Q”. Revised Wall Section #4, #5. Revised 362S162-33 metal studs to 362S162-18 metal studs.
18. Sheet A6.3 – Revision No. 1: Revised Elevations “R2”, “T”, “U”, “V”. Revised Detail 4/A6.3. Revised 362S162-33 metal studs to 362S163-18 metal studs. Added Detail #7/A6.3.
19. Sheet A6.4 – Revision No. 1: Revised Elevations “W”, “W1”, “W2”. Revised Wall Section #2, #4, #5. Revised 362S162-33 metal studs to 362S152-18 metal studs. Deleted Elevations “X”, “Y” and “Y1”. Deleted Wall Section #1. Added Details #6, #7, #8, #9.
20. Sheet A6.5 – Revision No. 0: Deleted sheet from set.
21. Sheet A6.6 – Revision No. 1: Revised Elevation “KA”, “KB”, “KC”, “KC.1”, “KD”, “KD.1”, “KE”, “KE.1”, “KF”. Revised Wall Section #4. Revised 362S162-33 metal studs to 362S162-18 metal studs.
22. Sheet A6.7 – Revision No. 1: Added Wall Section 5/A6.7. Revised Elevations “KG”, “KH”, “KI”, “KJ”, “KK”, “KK.1”, “KL”, “KM”. Added Elevation “KF.1”. Deleted Elevation “KG.1”.
23. Sheet A7.1 – Revision No. 1: Revised Section #1/A7.1.
24. Sheet A8.0 – Revision No. 4: Added notes requiring acoustical ceilings to be installed per ASTM C635. Revised Hardware Group #5 – cont. hinges to 2 pr. Butt hinges. Deleted IDF Room # 117 from Room Finish Schedule. Deleted Door #17 from Door Schedule.

25. Sheet S0.1 – Revision No. 2: Revised concrete note #4 regarding cementitious materials.
26. Sheet S0.2 – Revision No. 1: Removed slab reinforcing and dowels from detail 13.
27. Sheet S1.0 – Revision No. 3: Removed door opening on plan at grid line XX.
28. Sheet S2.0 – Revision No. 3: Revised section 3 to call out stiffener plate. Added cantilever dimensions and section 3 callout to plan. Removed elevation 1/S2.1 callouts from plan. Revised C2 column and base plate on column schedule. Removed continuous HSS from section 7.
29. Sheet S2.1 – Revision No. 1: Deleted sheet entirely.
30. Sheet M1.0 – Revision No. 2: Revised General Notes to allow for standard slotted Unistrut support and delete non-applicable notes regarding condensate pipe routing.
31. Sheet M2.0 – Revision No. 1: Revised General Notes to allow for standard slotted Unistrut support and delete non-applicable notes regarding condensate pipe routing.
32. Sheet P1.0 – Revision No. 2: Revised Condensate Drain Piping Detail for RTU condensate to spill on roof and sheet flow to roof scuppers. Revised Plumbing General Notes to allow for standard slotted Unistrut support and delete non-applicable notes regarding condensate pipe routing.
33. Sheet P2.0 – Revision No. 2: Revised General Notes. Revised Keyed Note 1 for new RTU condensate to spill on roof. Deleted Keyed Note 9.
34. Sheet E1.0 – Revision No. 1: Revised track mounting detail note #A. Removed reference to require solid Unistrut support.
35. Sheet E2.0 – Revision No. 2: Revised floor plan and power plan in Sales #102. Removed bedding gallery and revised partition layout. Revised receptacle locations. Removed receptacle in Hall #119. Removed ten receptacles in Sales #102 and one computer station. Relocated computer station. Removed graphic displays and receptacles. Removed side door and door security contact. Added detail callout for enlarged Risers room plan. Revised general note #A to clarify existing fire alarm panel to be replaced. Removed keynote #21.
36. Sheet E2.1 – Revision No. 2: Removed J-box for partition light at interior elevation E (four locations). Removed IDF room and callout for enlarged power plan. Removed two sales receptacles. Removed keynote #18 from elevations C1 and C2. Revised floor plan and power plan in Kids Sales. Removed Adult portion of sales and revised partition layout. Revised receptacle locations. Added computer station, outlets, and circuit at elevation KH in Kids sales. Removed signs and power provisions for signs in Kids sales, and relocated neon sign.



37. Sheet E2.2 – Revision No. 2: Removed receptacle for vending machine in Breakroom, and circuit for receptacle. Shifted two remaining vending receptacles. Replaced two quad receptacles with duplex receptacle in Breakroom. Removed circuit from remaining receptacle and changed to remaining controlled circuit. Removed push button and buzzer and removed associated keynotes. Added general note to clarify that conduit is not required for low voltage wiring. Remove power and data outlet for printer at interior elevation Y1. Removed IDF closet detail and replaced with Riser Room detail. Relocated panel E and other equipment and devices from IDF room to Fire Riser room.
38. Sheet E3.0 – Revision No. 2: Revised floor plan and power plan in Sales #102. Removed bedding gallery and revised partition layout. Revised lighting plan. Removed six 4' pieces and four 8' pieces of track in Sales #102 and revised track layout per floor plan changes. Relocated chandelier. Removed three lights type G and two lights type G1. Added emergency light in Fire Riser room and replaced occupancy sensor with toggle switch. Removed side door and bug-eye and exterior egress light. Revised general note #A. Removed reference to require solid Unistrut support.
39. Sheet E3.1 – Revision No. 2: Removed partition light type Z at interior elevation E (four locations). Removed IDF room. Removed light type W2, bug-eye and switch. Revised floor plan and lighting plan in Kids Sales. Removed Adult portion of sales and revised partition layout. Revised lighting layout. Removed two lights type M1, three lights type G and chandelier. Revised track layout per floor plan changes.
40. Sheet E4.0 – Revision No. 1: Revised one line diagram. Replaced feeder for panel E to aluminum.
41. Sheet E4.1 – Revision No. 2: Revised panel schedule D. removed two circuits for Breakroom receptacles from the schedule. Added circuit for sales receptacles to panel schedule D. Removed circuit for sales receptacles from panel schedule E.

## **CHANGES TO THE SPECIFICATIONS**

Incorporate the following revised specification sections with revisions including but not necessarily limited to those listed below:

1. Revised Specification Section 00004, List of Drawings, Pages 00004-1 thru 00004-3 dated 01/29/2024.
2. Revised 00TOC Table of Contents, dated 01/29/2024.
3. Deleted Specification Section 07115 – Bituminous Dampproofing.
4. Added Specification Section 07140 – Fluid Applied Waterproofing.

5. Revised Specification Section 03301 – Concrete.
6. Revised Specification Section 01030 – Alternates.
7. Revised Specification Section 04201 – Unit Masonry Work.
8. Revised Specification Section 07540 – Single Ply TPO Membrane Roofing.
9. Revised Specification Section 08422 – Impact Resistant Curtainwall System.
10. Revised Specification Section 09261 – Gypsum Drywall.
11. Revised Specification Section 09331 – Tile Work.
12. Revised Specification Section 10165 – Plastic Laminate Toilet Compartments.
13. Revised Specification Section 15061 – Basic Requirements for Piping Systems. Revised Basic Requirements for Piping Systems Specification Section 15061 Pipe Hangers, Supports, and Anchors to allow for standard slotted Unistrut support.
14. Revised Specification Section 15301 – Fire Protection Systems. Revised Fire Protection Systems Specification Section 15301 Piping Materials to call for Schedule 10 pipe for above ground interior piping.
15. Revised Specification Section 15881 – Air Distribution Systems and Accessories. Revised Air Distribution Systems and Accessories Specification Section 15881 Sheet Metal Work to allow for standard slotted Unistrut support.
16. Revised Specification Section 16051 – Basic Materials Methods and Requirements.

**END OF ADDENDUM**

**LIST OF DRAWINGS**  
**ROOMS TO GO STORE EXPANSION AND REMODEL**  
**CUTLER BAY, FL**  
**BID: NOVEMBER 9, 2023**  
**ADDENDUM ONE: NOVEMBER 20, 2023 (NO DRAWINGS)**  
**ADDENDUM TWO: NOVEMBER 29, 2023**  
**ADDENDUM THREE: DECEMBER 5, 2023**  
**ADDENDUM FOUR: JANUARY 2, 2024**  
**POST BID ADDENDUM FIVE: JANUARY 29, 2024**

| <b>DRAWING<br/>NO.</b>      | <b>TITLE</b>                            | <b>REVISION<br/>NO.</b> | <b>ISSUE TYPE</b> | <b>REVISION<br/>DATE</b> |
|-----------------------------|---|-------------------------|-------------------|--------------------------|
| A0.0                        | COVER SHEET                             | 3                       | POST BID<br>ADD 5 | 01/29/24                 |
| <b><u>CIVIL</u></b>         |   |                         |                   |                          |
|                             | COVER SHEET                             | 5                       | ADD 2             | 11/29/56                 |
| 1                           | SURVEY                                  | 0                       | BID               | 11/09/23                 |
| 2                           | SURVEY                                  | 0                       | BID               | 11/09/23                 |
| SD-1                        | SITE DEMOLITION PLAN                    | 5                       | ADD 2             | 11/29/56                 |
| C-0                         | OVERALL SITE PLAN                       | 0                       | BID               | 11/09/23                 |
| C-1.1                       | SITE PLAN                               | 0                       | BID               | 11/09/23                 |
| C-1.2                       | SITE GEOMETRY PLAN                      | 5                       | ADD 2             | 11/29/56                 |
| C-2                         | PAVING, GRADING & DRAINAGE PLAN         | 5                       | ADD 2             | 11/29/56                 |
| C-3                         | UTILITY PLAN                            | 5                       | ADD 2             | 11/29/56                 |
| C-4                         | SITE DETAILS                            | 0                       | BID               | 11/09/23                 |
| C-5                         | SITE DETAILS                            | 5                       | ADD 2             | 11/29/56                 |
| C-6.1                       | STORMWATER POLLUTION PREVENTION PLAN    | 0                       | BID               | 11/09/23                 |
| C-6.2                       | STORMWATER POLLUTION PREVENTION DETAILS | 0                       | BID               | 11/09/23                 |
| C-7                         | PAVEMENT MARKING & SIGNAGE PLAN         | 0                       | BID               | 11/09/23                 |
| C-8                         | TRASH ENCLOSURE DETAILS                 | 7                       | ADD 4             | 01/02/24                 |
| C-9                         | CONSTRUCTION STAGING PLAN               | 0                       | BID               | 11/09/23                 |
| TD-1                        | TREE DISPOSITION PLAN                   | 0                       | BID               | 11/09/23                 |
| L-1                         | LANDSCAPE PLAN                          | 0                       | BID               | 11/09/23                 |
| L-2                         | LANDSCAPE PLAN                          | 0                       | BID               | 11/09/23                 |
| IR-1                        | IRRIGATION PLAN                         | 0                       | BID               | 11/09/23                 |
| <b><u>ARCHITECTURAL</u></b> |   |                         |                   |                          |
| D1.0                        | DEMOLITION FLOOR PLAN                   | 1                       | ADD 2             | 11/29/23                 |

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|------------------------|---|-------------------------|-------------------|--------------------------|
| D2.0                   | DEMOLITION EXTERIOR ELEVATIONS              | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| D3.0                   | DEMOLITION EXTERIOR ELEVATIONS              | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| A0.1                   | LIFE SAFETY PLAN                            | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A1.0                   | FLOOR PLAN                                  | 3                       | POST BID<br>ADD 5 | 01/29/24                 |
| A1.1                   | FLOOR FINISH PLAN                           | 4                       | POST BID<br>ADD 5 | 01/29/24                 |
| A1.2                   | PARTITION FINISH PLAN                       | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A1.3                   | ROOF PLAN                                   | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A2.0                   | ENLARGED PLAN AND ELEVATIONS                | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| A2.1                   | ENLARGED FLOOR FINISH PLANS                 | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| A3.0                   | EXTERIOR ELEVATIONS                         | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| A4.0                   | WALL SECTIONS                               | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A5.0                   | PARTITION TYPES AND DETAILS                 | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A5.1                   | MILLWORK DETAILS                            | 1                       | ADD 2             | 11/29/23                 |
| A5.3                   | CURTAIN WALL DETAILS                        | 0                       | BID               | 11/09/23                 |
| A5.4                   | ROOF DETAILS                                | 0                       | BID               | 11/09/23                 |
| A5.5                   | DUMPSTER ENCLOSURE DETAILS                  | 1                       | ADD 2             | 11/29/23                 |
| A5.6                   | MISCELLANEOUS DETAILS                       | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| A6.0                   | ADULT SALES INTERIOR ELEVATIONS AND DETAILS | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A6.1                   | ADULT SALES INTERIOR ELEVATIONS AND DETAILS | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| A6.2                   | ADULT SALES INTERIOR ELEVATIONS AND DETAILS | 2                       | POST BID<br>ADD 5 | 01/29/24                 |

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|-----------------------------------|--|-------------------------|-------------------|--------------------------|
| A6.3                              | ADULT SALES INTERIOR ELEVATIONS AND DETAILS            | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A6.4                              | ADULT SALES INTERIOR ELEVATIONS AND DETAILS            | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| <del>A6.5</del>                   | <del>ADULT SALES INTERIOR ELEVATIONS AND DETAILS</del> | <del>0</del>            | <del>BID</del>    | <del>11/09/23</del>      |
| A6.6                              | KIDS SALES INTERIOR ELEVATIONS AND DETAILS             | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A6.7                              | KIDS SALES INTERIOR ELEVATIONS AND DETAILS             | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A7.0                              | TYPICAL INTERIOR DETAILS                               | 1                       | ADD 3             | 12/05/23                 |
| A7.1                              | TYPICAL INTERIOR DETAILS                               | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| A8.0                              | SCHEDULES AND DETAILS                                  | 4                       | POST BID<br>ADD 5 | 01/29/24                 |
| <b><u>STRUCTURAL</u></b>          |  |                         |                   |                          |
| S0.1                              | GENERAL STRUCTURAL NOTES                               | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| S0.2                              | TYPICAL DETAILS  | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| S1.0                              | FOUNDATION PLAN & DETAILS                              | 3                       | POST BID<br>ADD 5 | 01/29/24                 |
| S2.0                              | ROOF FRAMING PLAN & DETAILS                            | 3                       | POST BID<br>ADD 5 | 01/29/24                 |
| <del>S2.1</del>                   | <del>FRAME ELEVATIONS AND DETAILS</del>                | <del>0</del>            | <del>BID</del>    | <del>11/09/23</del>      |
| <b><u>MECHANICAL/PLUMBING</u></b> |  |                         |                   |                          |
| M1.0                              | MECHANICAL SCHEDULES AND DETAILS                       | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| M2.0                              | HVAC PLAN  | 1                       | POST BID<br>ADD 5 | 01/29/24                 |
| P1.0                              | PLUMBING SCHEDULES DETAILS AND ENLARGED<br>PLANS       | 2                       | POST BID<br>ADD 5 | 01/29/24                 |
| P2.0                              | PLUMBING PLAN  | 2                       | POST BID<br>ADD 5 | 01/29/24                 |

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|---------------------------|-----------------------------|----------------------------|--------------------------|-----------------------------|
| <b><u>ELECTRICAL</u></b>  |                             |                            |                          |                             |
| E0.1                      | ELECTRICAL SITE PLAN        | 0                          | BID                      | 11/09/23                    |
| E0.2                      | SITE PHOTOMETRICS           | 0                          | BID                      | 11/09/23                    |
| E1.0                      | NOTES, SYMBOLS AND DETAILS  | 1                          | POST BID<br>ADD 5        | 01/29/24                    |
| E1.1                      | ELECTRICAL DEMOLITION PLAN  | 0                          | BID                      | 11/09/23                    |
| E2.0                      | POWER PLAN                  | 2                          | POST BID<br>ADD 5        | 01/29/24                    |
| E2.1                      | POWER PLAN                  | 2                          | POST BID<br>ADD 5        | 01/29/24                    |
| E2.2                      | POWER PLAN                  | 2                          | POST BID<br>ADD 5        | 01/29/24                    |
| E3.0                      | LIGHTING PLAN               | 2                          | POST BID<br>ADD 5        | 01/29/24                    |
| E3.1                      | LIGHTING PLANS              | 2                          | POST BID<br>ADD 5        | 01/29/24                    |
| E4.0                      | RISER DIAGRAM AND SCHEDULES |                            | POST BID<br>ADD 5        | 01/29/24                    |
| E4.1                      | PANEL SCHEDULES             | 2                          | POST BID<br>ADD 5        | 01/29/24                    |
| E4.2                      | SCHEDULES AND DETAILS       | 0                          | BID                      | 11/09/23                    |



# ROOMS TO GO

## STORE EXPANSION AND REMODEL 18722 SOUTH DIXIE HIGHWAY CUTLER BAY, FL 33157

### GENERAL NOTES

**GENERAL**

1. MATERIALS, EQUIPMENT, AND ASSEMBLIES SHOWN OR SPECIFIED ARE MINIMUM REQUIREMENTS OR PERFORMANCE STANDARDS. LOCAL JURISDICTIONS MAY REQUIRE PERFORMANCE STANDARDS BEYOND THOSE SHOWN OR SPECIFIED. FURTHERMORE, LOCAL JURISDICTIONS MAY PREVENT THE USE OF COMMONLY ACCEPTED MATERIALS. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL LOCAL REQUIREMENTS FOR LICENSING, MATERIALS, AND PERFORMANCE STANDARDS, PRIOR TO SUBMITTING BID. ALL CONFLICTS BETWEEN THE CONTRACT DOCUMENTS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION AND RESOLVED, BY MUTUAL AGREEMENT, PRIOR TO SUBMISSION OF BID OR HIGHEST PRICED WORK. LOCAL REQUIREMENTS VERSUS SPECIFIED REQUIREMENTS SHALL BE INCLUDED IN THE BID.

2. THIS DESIGN CRITERIA IS PROVIDED FOR BUILDING OFFICIAL REVIEW CONVENIENCE ONLY AND IS NOT INTENDED FOR USE BY COMPONENT DESIGNERS OR MANUFACTURERS AS THEIR SOLE DESIGN CRITERIA WITHOUT VERIFICATION. EACH DESIGNER AND/OR MANUFACTURER MUST INDEPENDENTLY CONFIRM ALL CODE CRITERIA WITH WHICH HIS ELEMENTS OR COMPONENTS MUST COMPLY, INCLUDING BUT NOT LIMITED TO LOADING, APPLICATION, FUNCTIONALITY, ETC. PERFORMANCE CRITERIA PROVIDED ELSEWHERE BY A SPECIFIC DISCIPLINE SHOULD BE REGARDED AS THE MINIMUM STANDARDS ACCEPTABLE TO THE CLIENT. EACH SUPPLIER MUST EVALUATE THESE MINIMUMS AGAINST SPECIFIC INDUSTRY STANDARDS AS WELL AS CODES, LAWS, ORDINANCES, AND UNDERWRITER REQUIREMENTS GOVERNING HIS PRODUCT AS WELL AS OWNER INSURER REQUIREMENTS, AS APPLICABLE. THE MOST STRINGENT OF THESE CRITERIA SHALL GOVERN.

**NOTES TO CONTRACTOR REGARDING MOLD AND MILDEW**

1. THE FOLLOWING REQUIREMENTS SHALL APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.

2. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT / ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.

3. CONCURRENTLY, THE CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A MOLD AND MILDEW CERTIFIED TESTING AGENCY TO PERFORM AN INVESTIGATION AND TESTING AS REQUIRED TO EVALUATE THE NATURE AND EXTENT OF THE PROBLEM. IF THE TESTING AGENCY CONFIRMS HAZARDS, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A MINIMUM OF THREE (3) BIDS FROM COMPANIES QUALIFIED AND LICENSED TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.

4. ONCE DISCOVERY OR SUSPICION OF MOLD AND / OR MILDEW IS MADE, THE CONTRACTOR SHALL TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM THE EXPOSURE TO MOLD AND / OR MILDEW, AND SUCH PRECAUTIONS SHALL REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS SHALL NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD / MILDEW CONCERN, DUE TO THESE REQUIRED PRECAUTIONS.

5. THE CONTRACTOR SHALL MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED. IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION SHALL BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.

6. THE CONTRACTOR SHALL COMPLY WITH FEDERAL ENVIRONMENTAL AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.

7. ALL PENETRATIONS SHALL BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.

8. ALL CONDENSATE DRAIN PANS SHALL BE CLEANED AND KEPT FREE FROM DEBRIS UNTIL AND WHEN THE FACILITY IS TURNED OVER TO THE OWNER. ENSURE POSITIVE DRAINAGE AT ALL DRAIN PANS. INSURE THAT ALL "COLD" SURFACES ARE INSULATED AND COVERED WITH A FULLY SEALED AND CONTINUOUS VAPOR BARRIER. ("COLD" SURFACES INCLUDE, BUT ARE NOT LIMITED TO, DOMESTIC COLD WATER PIPING, CHILLED WATER PIPING, INTERIOR RAIN LEADERS, OUTDOOR AIR INTAKES, AND DUCTWORK CARRYING AIR CONDITIONED SUPPLY AIR.)

9. ENSURE THAT THERE ARE NO WATER LEAKS IN CONCEALED PLUMBING CHASES. RETURN AIR PATHS AND PLENUMS SHALL BE KEPT DRY. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE THE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS SHALL BE DRIED THOROUGHLY PRIOR TO ENCLOSURE.

**VESTIBULE**

1. A VESTIBULE IS NOT INCLUDED ON THIS PROJECT BASED ON EXCEPTION (b) OF ASHRAE STANDARD 90.1 - 2001, PARAGRAPH 5.5.3.4 AND ASHRAE STANDARDS 90.1 - 2004, PARAGRAPH 5.4.3.4. EXCEPTION (b) ALLOWS OMISSION OF VESTIBULES FOR COMMERCIAL BUILDINGS LESS THAN 4 STORIES ABOVE GRADE.

2. COMPLIANCE WITH IECC - 2003 WITH REGARD TO VESTIBULE OMISSION IS BASED ON CODE CHAPTER 7 WHICH REQUIRES COMPLIANCE WITH ASHRAE STANDARD 90.1.

3. IN LIEU OF THE PRESCRIPTIVE COMPLIANCE UNDER CHAPTERS 5 AND 8 OF THE IECC [2006 AND 2003 EDITIONS], THIS PROJECT IS DESIGNED PER CODE ALTERNATIVES TO COMPLY WITH ASHRAE STANDARD 90.1, AND, AS SUCH IS HEREBY SUBMITTED WITHOUT A VESTIBULE.

**ROOF DRAINAGE**

1. THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE TO PUT THE FOLLOWING **ROOF DRAINAGE NOTICE** IN THE BUILDING OWNER'S OPERATING AND MAINTENANCE MANUALS AT THE TIME THE FACILITY IS TURNED OVER TO THE OWNER. THE **NOTICE TO CONTRACTOR** BELOW SHALL APPLY TO PROJECTS HAVING INTERIOR ROOF DRAINS AND/OR SCUPPERS. IN ADDITION, THE GENERAL CONTRACTOR SHALL HAVE THE FOLLOWING NOTICE TYPED IN 12 POINT FONT, FRAMED UNDER GLASS, AND PERMANENTLY MOUNTED TO THE BACK SIDE OF THE MANAGER'S OFFICE DOOR.

**NOTICE TO BUILDING OWNERS AND TENANTS REGARDING ROOF DRAINAGE**

EXCESSIVE PONDING DUE TO CLOGGED ROOF DRAINS CAN CAUSE RAPID ROOF COLLAPSE. WHILE THE ROOF AND STRUCTURE HAVE BEEN DESIGNED TO CODE STANDARDS AT THE TIME OF BUILDING PERMIT ISSUE PONDING WATER, ESPECIALLY IN EXCESS OF 4.5 INCHES DEPTH, SHOULD BE AVOIDED.

A SECONDARY (OVERFLOW) ROOF DRAINAGE SYSTEM IS PROVIDED TO RELIEVE PONDING WHEN WATER DEPTH EXCEEDS 3 INCHES. HOWEVER, IT IS IMPERATIVE THAT THE OWNER, TENANT, OR FACILITY MANAGER PERIODICALLY INSPECT THE ROOF TO INSURE THAT BOTH THE PRIMARY AND SECONDARY ROOF DRAINAGE SYSTEMS ARE FUNCTIONING PROPERLY AND ARE UNOBSTRUCTED BY LEAVES OR DEBRIS. AN INSPECTION SHOULD BE PERFORMED PRIOR TO ANY PREDICTED MAJOR STORMS OR HURRICANES THAT ARE EXPECTED TO CAUSE LOCAL FLASH FLOODING AND UNUSUAL DEBRIS.

FACILITY MANAGERS SHOULD BE MADE AWARE OF THE ROOF COLLAPSE RISK ASSOCIATED WITH PONDING. MANAGERS SHOULD ALSO BE SENSITIVE TO THE FLOW OF STORM WATER THROUGH SECONDARY OR OVERFLOW OUTLETS, WHICH ARE GENERALLY LOCATED TO CALL ATTENTION TO FLOW THROUGH THE SECONDARY SYSTEM VIA SPILL-OUT OR WASHING. ANY UNUSUAL BUILDING SOUNDS OR MOVEMENTS OF THE ROOF STRUCTURE MIGHT INDICATE EXCESSIVE PONDING DURING A SIGNIFICANT STORM EVENT. THE MANAGER ON DUTY SHOULD EVACUATE THE BUILDING IF THERE IS ANY EVIDENCE OF EXCESSIVE PONDING THAT MIGHT RESULT IN ROOF COLLAPSE.

**DEFERRED SUBMITTALS:**  
1. FIRE PROTECTION SYSTEMS  
2. STRUCTURAL STEEL CONNECTION CALCULATIONS  
3. STEEL JOIST AND JOIST GIRDER SHOP DRAWINGS

### CIVIL ENGINEERING COORDINATION

NOTICE TO ALL PARTIES HAVING AN INTEREST IN THIS CONSTRUCTION PROJECT:  
1.) CIVIL ENGINEERING FOR THIS PROJECT IS BEING PERFORMED BY OTHERS.  
2.) CONTRACTORS RELYING ON DOCUMENTS NOT COORDINATED WITH THE CIVIL ENGINEERING WORK SHALL DO SO AT THEIR OWN RISK.  
3.) COORDINATION WITH THE CIVIL ENGINEERING DOCUMENTS HAS BEEN COMPLETED ONLY AS SHOWN BELOW. CIVIL ENGINEERING CONSULTANT IS:  
CKE GROUP INCORPORATED  
17190 ROYAL PALM BLVD. SUITE 2  
WESTON, FLORIDA, 33326  
PHONE: (954) 982-7211

| CIVIL SHEET DRAWING NUMBER | CIVIL SHEET DRAWING TITLE       | REVISION NUMBER | REVISION DATE | REVISION NUMBER | REVISION DATE | REVISION NUMBER | REVISION DATE |
|----------------------------|---------------------------------|-----------------|---------------|-----------------|---------------|-----------------|---------------|
| C-1.2                      | SITE GEOMETRY PLAN              | 0               | 07/06/22      |                 |               |                 |               |
| C-2                        | PAVING, GRADING & DRAINAGE PLAN | 0               | 07/06/22      |                 |               |                 |               |
| C-3                        | UTILITY PLAN                    | 0               | 07/06/22      |                 |               |                 |               |
| SD-1                       | SITE DEMOLITION PLAN            | 0               | 07/06/22      |                 |               |                 |               |

|                          |               |      |          |      |         |      |
|--------------------------|---------------|------|----------|------|---------|------|
| COORDINATION CHECKED BY: | INITIAL       | DATE | INITIAL  | DATE | INITIAL | DATE |
| DISCIPLINE:              | ARCHITECTURAL | djr  | 02/14/23 |      |         |      |

### CODE DATA

THESE PLANS WERE PREPARED AND SHALL COMPLY WITH THE FOLLOWING CODES:  
2020 FLORIDA BUILDING CODE  
2020 FLORIDA FIRE PREVENTION CODE  
2020 FLORIDA PLUMBING CODE  
2020 FLORIDA MECHANICAL CODE  
2020 FLORIDA ENERGY CONSERVATION CODE  
2017 NATIONAL ELECTRICAL CODE  
2018 LIFE SAFETY CODE NFPA 101 (WITH FLORIDA AMENDMENTS)  
2020 FLORIDA ACCESSIBILITY CODE

BUILDING TYPE: II B, (UNPROTECTED) △  
OCCUPANCY: MERCANTILE - CLASS "A"  
BUILDING IS FULLY SPRINKLED & HAS A FIRE ALARM SYSTEM & SPRINKLER SYSTEM THAT IS MONITORED  
RISK CATEGORY: II LARGE MISSILE IMPACT RATING  
EXISTING BUILDING AREA = 23,844 SQUARE FEET  
ADDITION BUILDING AREA = 12,193 SQUARE FEET  
TOTAL BUILDING AREA = 35,837 SQUARE FEET  
NET AREA (TOTAL) = 34,402 SQUARE FEET EXCLUDING EXTERIOR WALLS △

AREA CALCULATIONS:  
ALLOWABLE BUILDING AREA (TABLE 506.2) = 50,000 SQUARE FEET  
TOTAL ALLOWABLE AREA = 50,000 SQUARE FEET > 39,169 SQUARE FEET (OK)

**EXITING CALCULATIONS**

MINIMUM OCCUPANT LOAD (TABLE 1004.1.2):  
32,599 SQUARE FEET AT 30 SQUARE FEET / PERSON = 1,087 PEOPLE (MAIN SALES AREA) (MERCANTILE)  
1,034 SQUARE FEET AT 150 SQUARE FEET / PERSON = 7 PEOPLE (BUSINESS AREA)  
215 SQUARE FEET AT 15 SQUARE FEET / PERSON = 14 PEOPLE (ASSEMBLY)  
554 SQUARE FEET AT 300 SQUARE FEET / PERSON = 2 PEOPLE (STORAGE/UTILITY AREA)  
TOTAL = 1,110 PEOPLE

MINIMUM NUMBER OF EXITS (TABLE 1006.3.1) = 3  
MAXIMUM TRAVEL DISTANCE (TABLE 1017.2) = 250'  
SUFFICIENTLY REMOTE AND BALANCED (SECTIONS 1008 AND 1007)  
MAXIMUM DEAD END CORRIDOR (SECTION 1020.4) = 50'  
LEVEL EGRESS WIDTH PER PERSON (SECTION 1005.3.2) = 2'  
MINIMUM WIDTH OF MEANS OF EGRESS:  
44" MINIMUM AISLE OR CORRIDOR (TABLE 1020.2)  
1,110 PERSONS x 2" / PERSON (SECTION 1005.3.2) = 2220" △

WIDTH OF EGRESS PROVIDED:  
MAIN ENTRANCES / EXITS  
(EXISTING ADULTS) (4) DOORS AT 34" EACH = 136"  
(EXISTING KIDS) (2) DOORS AT 34" EACH = 68"  
SECONDARY EXITS (5) DOORS AT 34" EACH = 170"  
TOTAL DOOR INCHES 374" > 2220" (OK) △

**PLUMBING FIXTURES CALCULATIONS:**  
1,110 PEOPLE PER BUILDING CODE (TABLE 1004.1.2):  
50% MENS = 555 PEOPLE  
50% WOMENS = 555 PEOPLE  
MINIMUM PLUMBING FIXTURES REQUIRED (TABLE 2902.1)  
WATER CLOSETS: 1 PER 500 = 3 REQUIRED  
LAVATORIES: 1 PER 750 = 2 REQUIRED  
DRINKING FOUNTAIN: 1 PER 1,000 = 2 REQUIRED  
SERVICE SINK 1 REQUIRED

**PLUMBING FIXTURES PROVIDED:**  
MENS: 3 WATER CLOSETS, 1 URINAL, 2 LAVATORY  
WOMENS: 3 WATER CLOSETS, 2 LAVATORIES  
3 DRINKING FOUNTAINS  
1 SERVICE SINK

**SCOPE OF SERVICES:**  
SITE SURVEILLANCE AND OR SPECIAL INSPECTIONS. FOR THIS PROJECT HAS NOT BEEN INCLUDED IN THE PROFESSIONAL OF RECORDS SCOPE OF SERVICES. THE OWNER WILL BE PROVIDING FOR THESE SERVICES UNDER A SEPARATE MEANS.

### SYMBOLS LEGEND

|                                 |     |
|---------------------------------|-----|
| INTERIOR FINISHES.....          | XXX |
| ROOM NUMBER IDENTIFICATION..... | XXX |
| DOOR NUMBER IDENTIFICATION..... | ◇   |
| INTERIOR PARTITION TYPES.....   | ◇   |
| TOILET ACCESSORIES.....         | △   |
| REVISION MARK.....              | △   |
| BUILDING ELEVATION.....         | △   |
| WALL SECTION.....               | △   |
| INTERIOR ELEVATION MARK.....    | △   |
| DETAIL MARK.....                | △   |
| TYPICAL DETAIL DESIGNATION      | △   |

### DRAWING INDEX

**GENERAL**

A0.0 COVER SHEET  
CIVIL  
COVER SHEET  
1 SURVEY  
2 SURVEY  
SD-1 SITE DEMOLITION PLAN  
C-0 OVERALL SITE PLAN  
C-1.1 SITE PLAN  
C-1.2 SITE GEOMETRY PLAN  
C-2 PAVING, GRADING & DRAINAGE PLAN  
C-3 UTILITY PLAN  
C-4 SITE DETAILS  
C-5 SITE DETAILS  
C-6.1 STORMWATER POLLUTION PREVENTION PLAN  
C-6.2 STORMWATER POLLUTION PREVENTION DETAILS  
C-7 PAVEMENT MARKING & SIGNAGE PLAN  
C-8 TRASH ENCLOSURE DETAILS  
C-9 CONSTRUCTION STAGING PLAN  
TD-1 TREE DISPOSITION PLAN  
L-1 LANDSCAPE PLAN  
L-2 LANDSCAPE AND IRRIGATION SPECIFICATIONS  
IR-1 IRRIGATION PLAN

**ARCHITECTURAL**

D1.0 DEMOLITION FLOOR PLAN  
D2.0 DEMOLITION ROOF PLAN  
D3.0 DEMOLITION EXTERIOR ELEVATIONS  
A0.1 LIFE SAFETY PLAN  
A1.0 FLOOR PLAN  
A1.1 FLOOR FINISH PLAN  
A1.2 PARTITION FINISH PLAN  
A1.3 ROOF PLAN  
A2.0 ENLARGED PLANS AND ELEVATIONS  
A2.1 ENLARGED FLOOR FINISH PLANS  
A3.0 EXTERIOR ELEVATIONS  
A4.0 WALL SECTIONS  
A5.0 PARTITION TYPES AND DETAILS  
A5.1 MILLWORK DETAILS  
A5.3 CURTAIN WALL DETAILS  
A5.4 ROOF DETAILS  
A5.6 MISCELLANEOUS DETAILS  
A6.0 ADULT SALES INTERIOR ELEVATIONS AND DETAILS  
A6.1 ADULT SALES INTERIOR ELEVATIONS AND DETAILS  
A6.2 ADULT SALES INTERIOR ELEVATIONS AND DETAILS  
A6.3 ADULT SALES INTERIOR ELEVATIONS AND DETAILS  
A6.4 ADULT SALES INTERIOR ELEVATIONS AND DETAILS  
A6.6 KIDS SALES INTERIOR ELEVATIONS AND DETAILS  
A6.7 KIDS SALES INTERIOR ELEVATIONS AND DETAILS  
A7.0 TYPICAL INTERIOR DETAILS  
A7.1 TYPICAL INTERIOR DETAILS  
A8.0 SCHEDULES AND DETAILS

**STRUCTURAL**

S0.1 GENERAL STRUCTURAL NOTES  
S0.2 TYPICAL DETAILS  
S1.0 FOUNDATION PLAN  
S2.4 ROOF FRAMING PLAN AND DETAILS △

**MECHANICAL / PLUMBING**

M1.0 MECHANICAL SCHEDULES AND DETAILS  
M2.0 HVAC PLAN  
P1.0 PLUMBING SCHEDULES DETAILS AND ENLARGED PLANS  
P2.0 PLUMBING PLAN

**ELECTRICAL**

EO.1 ELECTRICAL SITE PLAN  
EO.2 SITE PHOTOMETRICS  
E1.0 NOTES, SYMBOLS AND DETAILS  
E1.1 ELECTRICAL DEMOLITION PLAN  
E2.0 POWER PLAN  
E2.1 POWER PLAN  
E2.2 POWER PLAN  
E3.0 LIGHTING PLAN  
E3.1 LIGHTING PLANS  
E4.0 RISER DIAGRAM AND SCHEDULES  
E4.1 PANEL SCHEDULES  
E4.2 SCHEDULES AND DETAILS

### BUILDING AREAS

|                        |                    |
|------------------------|--------------------|
| ADULT SALES            | 28,185 SQUARE FEET |
| KIDS SALES             | 4,414 SQUARE FEET  |
| MAIN SALES AREA TOTAL  | 32,599 SQUARE FEET |
| RAC OFFICE             | 101 SQUARE FEET    |
| RESTROOMS              | 370 SQUARE FEET    |
| OFFICE                 | 347 SQUARE FEET    |
| HALLS                  | 216 SQUARE FEET    |
| BUSINESS AREA TOTAL    | 1,034 SQUARE FEET  |
| BREAKROOM (ASSEMBLY)   | 215 SQUARE FEET    |
| JANITOR CLOSET         | 38 SQUARE FEET     |
| UTILITY ROOMS          | 256 SQUARE FEET    |
| STORAGE                | 197 SQUARE FEET    |
| FIRE RISER ROOM        | 63 SQUARE FEET     |
| UTILITY AREA TOTAL     | 554 SQUARE FEET    |
| NET AREA               | 34,402 SQUARE FEET |
| WALL AREA              | 1,435 SQUARE FEET  |
| EXISTING BUILDING AREA | 23,844 SQUARE FEET |
| ADDITION BUILDING AREA | 12,193 SQUARE FEET |
| GROSS BUILDING AREA    | 35,837 SQUARE FEET |

### COLD-FORMED STEEL IDENTIFICATION LEGEND

MEMBER DEPTH:  
(EXAMPLE: 6" = 600 x 1/100 INCHES) ALL MEMBER DEPTHS ARE TAKEN IN 1/100 INCHES

FLANGE WIDTH:  
(EXAMPLE: 1 1/4" = 125" = 125 x 1/100 INCHES) ALL FLANGE WIDTHS ARE TAKEN IN 1/100 INCHES

STYLE:  
S = STUD OR JOIST SECTION  
T = TRACK SECTIONS

MATERIAL THICKNESS:  
(EXAMPLE: 0.054" = 54 MILS 1 MIL = 1/1000 INCH)

### PRODUCT APPROVALS

NOTE: WHETHER LISTED IN THE PRODUCT APPROVALS TABLE OR NOT, ALL BUILDING COMPONENTS AND ASSEMBLIES WHICH ARE REQUIRED TO BE CONSTRUCTED IN ACCORDANCE WITH A PRODUCT APPROVAL, BY THE AUTHORITIES HAVING JURISDICTION, SHALL BE DONE SO BY THE CONTRACTOR. ALL PRODUCTS SHALL MEET THE HIGH VELOCITY HURRICANE ZONE (HVHZ) REQUIREMENTS.

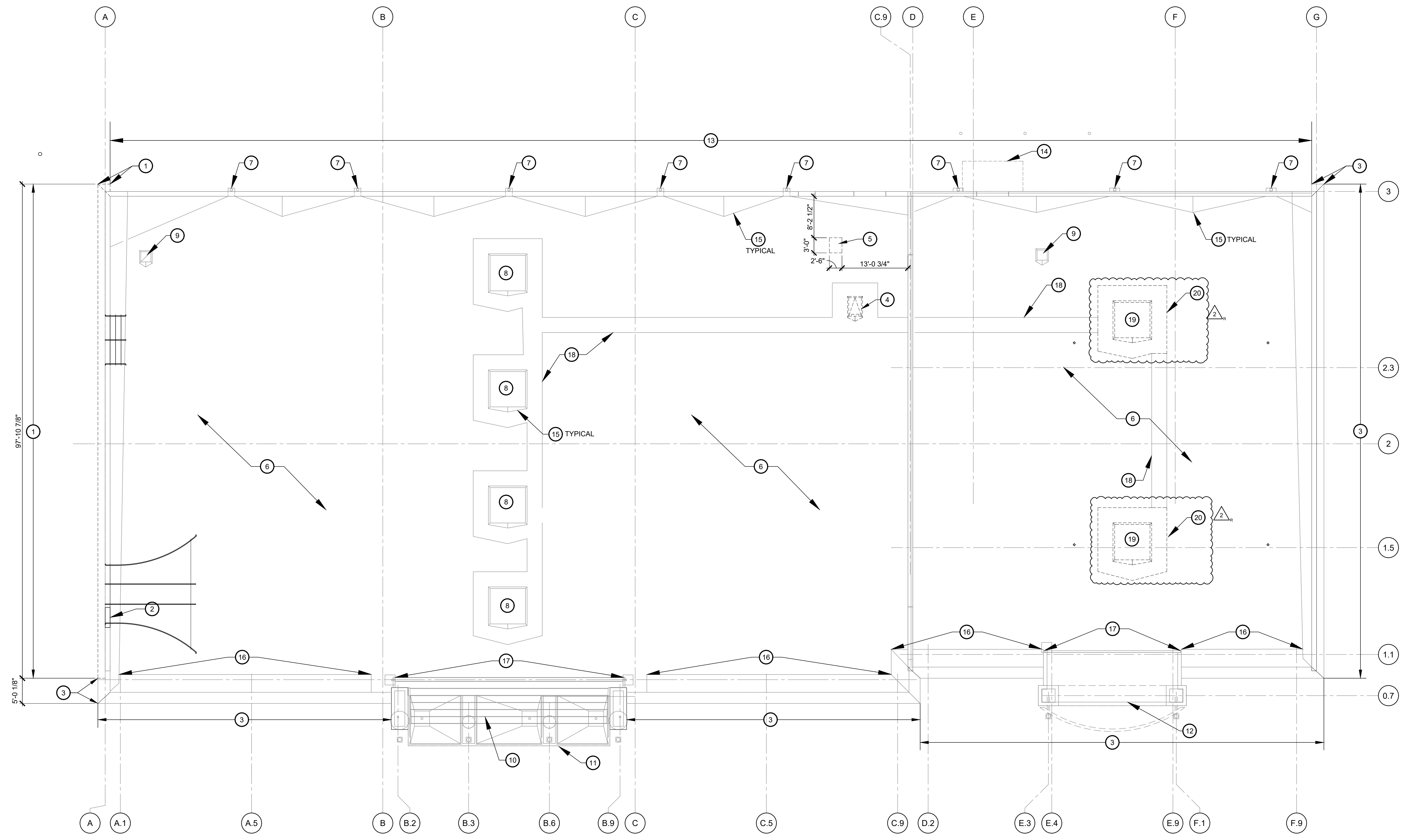
| PRODUCT CATEGORY      | SUB CATEGORY                      | MANUFACTURE LISTED IN SPECIFICATIONS | DESCRIPTION            | STATE OF FLORIDA APPROVAL NUMBER | DADE COUNTY - NOA APPROVAL NUMBER |
|-----------------------|-----------------------------------|--------------------------------------|------------------------|----------------------------------|-----------------------------------|
| PANEL WALLS           | EXTERIOR INSULATION FINISH SYSTEM | DRYVIT                               | OUTSULATION MD         | FL3423-R10                       | -                                 |
|                       | EXTERIOR INSULATION FINISH SYSTEM | STO CORP                             | STO THERM CI           | FL20110-R3                       | -                                 |
|                       | CURTAINWALL                       | KAWNEER                              | 1600 SYSTEM 2          | FL5388-R10                       | -                                 |
|                       | CURTAINWALL                       | YKK                                  | YHC 300 OG             | FL13433-R14                      | -                                 |
|                       | CURTAINWALL                       | US ALUMINUM                          | STORM WALL XL SSG      | FL21582-R3                       | -                                 |
| ROOFING               | SINGLE PLY ROOFING                | FIRESTONE                            | ULTRAPLY TPO           | FL10264-R17                      | -                                 |
|                       | SINGLE PLY ROOFING                | GAF                                  | EVERGUARD TPO          | FL5293-R56                       | -                                 |
|                       | SINGLE PLY ROOFING                | CARLISLE                             | SUREWELD TPO           | FL14083-R29                      | -                                 |
|                       | SINGLE PLY ROOFING                | JOHNS MANVILLE                       | JM-TPO-60              | FL11475-R11                      | -                                 |
| COMPONENTS            | SWINGING AT SOLID WALLS           | CECO DOOR                            | DOORS AND FRAMES       | FL10723-R8                       | -                                 |
|                       | SWINGING AT CURTAINWALL           | KAWNEER                              | 350 IR OUTSWING DOORS  | FL15850-R7                       | -                                 |
|                       | SWINGING AT CURTAINWALL           | YKK                                  | 35 H OUTSWING DOORS    | FL16554-R12                      | -                                 |
|                       | SWINGING AT CURTAINWALL           | OLD CASTLE                           | MSD MEDIUM STILE DOORS | FL17693-R5                       | -                                 |
|                       | SWINGING AT CURTAINWALL           | US ALUMINUM                          | MSD-375 MEDIUM STILE   | FL34947-R2                       | -                                 |
| STRUCTURAL COMPONENTS | ROOF HATCH                        | BILCO                                | SERIES S/NB            | FL15110-R5                       | -                                 |
|                       | DECK ROOF                         | NUCOR - VULCRAFT GROUP               | ROOF DECK              | FL9942-R7                        | -                                 |
|                       | OTHER - STEEL LINTELS             | POWERS STEEL, INC                    | LINTELS                | FL3119-R8                        | -                                 |

### COVER SHEET

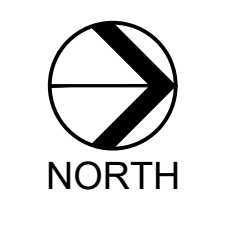
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**ROOF PLAN KEYED DEMOLITION NOTES:**

- 1 REMOVE EXISTING PARAPET METAL CAP, EXTERIOR INSULATION FINISH SYSTEM FRIEZE AND CORNICE, FRAMING, BLOCKING ETCETERA. SEE DETAIL 4/A4.0 FOR ADDITIONAL INFORMATION
- 2 CUT AND REMOVE 4'-0" WIDE PORTION OF EXISTING PARAPET FRAMING AND BRACING. REFRAME AS REQUIRED TO CLOSE OFF SIDES OF PASS-THRU. INSTALL 1/2" EXTERIOR GRADE PLYWOOD SHEATHING AND NEW SINGLE-PLY ROOF MEMBRANE. PROVIDE A WEATHER TIGHT CONDITION. SEE ROOF PLAN 1/A1.3 AND DETAIL 10/A5.4 FOR ADDITIONAL INFORMATION
- 3 EXISTING PARAPET METAL CAP, EXTERIOR INSULATION FINISH SYSTEM FRIEZE AND CORNICE TO REMAIN
- 4 REMOVE EXISTING ROOF HATCH COMPLETELY. PATCH AND REPAIR EXISTING METAL ROOF DECK TO MATCH EXISTING. PATCH AND REPAIR EXISTING ROOFING SYSTEM AND INSULATION WITH MATERIALS COMPATIBLE WITH EXISTING ROOF SYSTEM. WORK IS TO BE PERFORMED IN SUCH A MANNER AS TO NOT VOID ANY WARRANTY IN EFFECT. PROVIDE A PERMANENT WEATHERTIGHT CONDITION.
- 5 SAW CUT AND REMOVE PORTION OF EXISTING ROOFING AND ROOF DECK AS REQUIRED TO INSTALL NEW ROOF HATCH. INSTALL NEW ROOF FRAMING AS REQUIRED. (SEE STRUCTURAL DRAWINGS). PATCH AND REPAIR EXISTING ROOFING SYSTEM AND INSULATION AS REQUIRED. FLASH NEW ROOF HATCH INTO EXISTING ROOFING SYSTEM USING MATERIALS COMPATIBLE WITH EXISTING ROOF SYSTEM. WORK IS TO BE PERFORMED IN SUCH A MANNER AS TO NOT VOID ANY WARRANTY IN EFFECT. PROVIDE A PERMANENT WEATHERTIGHT CONDITION.
- 6 EXISTING SINGLE-PLY ROOF MEMBRANE SYSTEM TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION OPERATIONS
- 7 EXISTING SCUPPERS AND DOWNSPOUTS. TO REMAIN. REMOVE AND REPLACE EXISTING METAL SCUPPER LINING AND FLASHING WITH NEW. EXISTING DOWNSPOUTS AND COLLECTOR BOXES TO REMAIN
- 8 EXISTING ROOF-TOP UNIT TO REMAIN. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 9 EXISTING EXHAUST FAN TO REMAIN. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 10 EXISTING STANDING SEAM METAL BARREL VAULT ROOF TO REMAIN
- 11 EXISTING ENTRANCE CANOPY TO REMAIN
- 12 EXISTING KIDS ENTRANCE CANOPY TO REMAIN
- 13 EXISTING METAL PARAPET CAP TO REMAIN
- 14 EXISTING WALL HUNG CANOPY TO REMAIN
- 15 EXISTING CRICKETS TO REMAIN TYPICAL
- 16 EXISTING BUILT-UP PARAPET SUPPORT CANT TO REMAIN
- 17 EXISTING CANOPY GUTTER AND DOWNSPOUTS TO REMAIN
- 18 EXISTING WALK PADS TO REMAIN, TYPICAL
- 19 DISCONNECT AND REMOVE EXISTING ROOF-TOP UNIT AND PREPARE EXISTING CURB TO RECEIVE NEW ROOF-TOP UNIT. REFER TO MECHANICAL DRAWINGS
- 20 REMOVE EXISTING WALK PADS, PREPARE EXISTING ROOF MEMBRANE TO RECEIVE NEW WALK PADS



**1** DEMOLITION ROOF PLAN  
D2.0 SCALE: 3/32" = 1'-0"



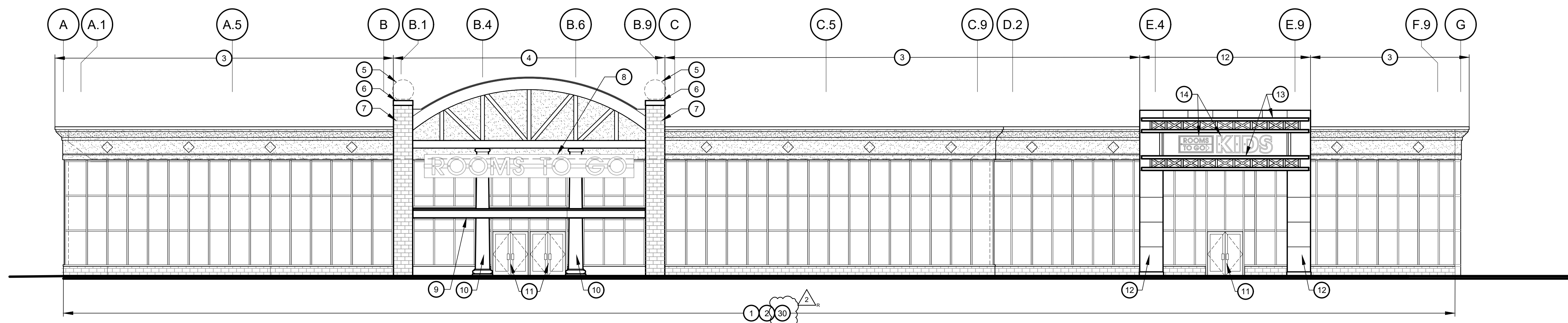
CONSTR. DOC. & REVISIONS

| No. | Description | Date     |
|-----|-------------|----------|
| 1   | ADDENDUM 2  | 11/29/23 |
| 2   | ADDENDUM #5 | 01/29/24 |

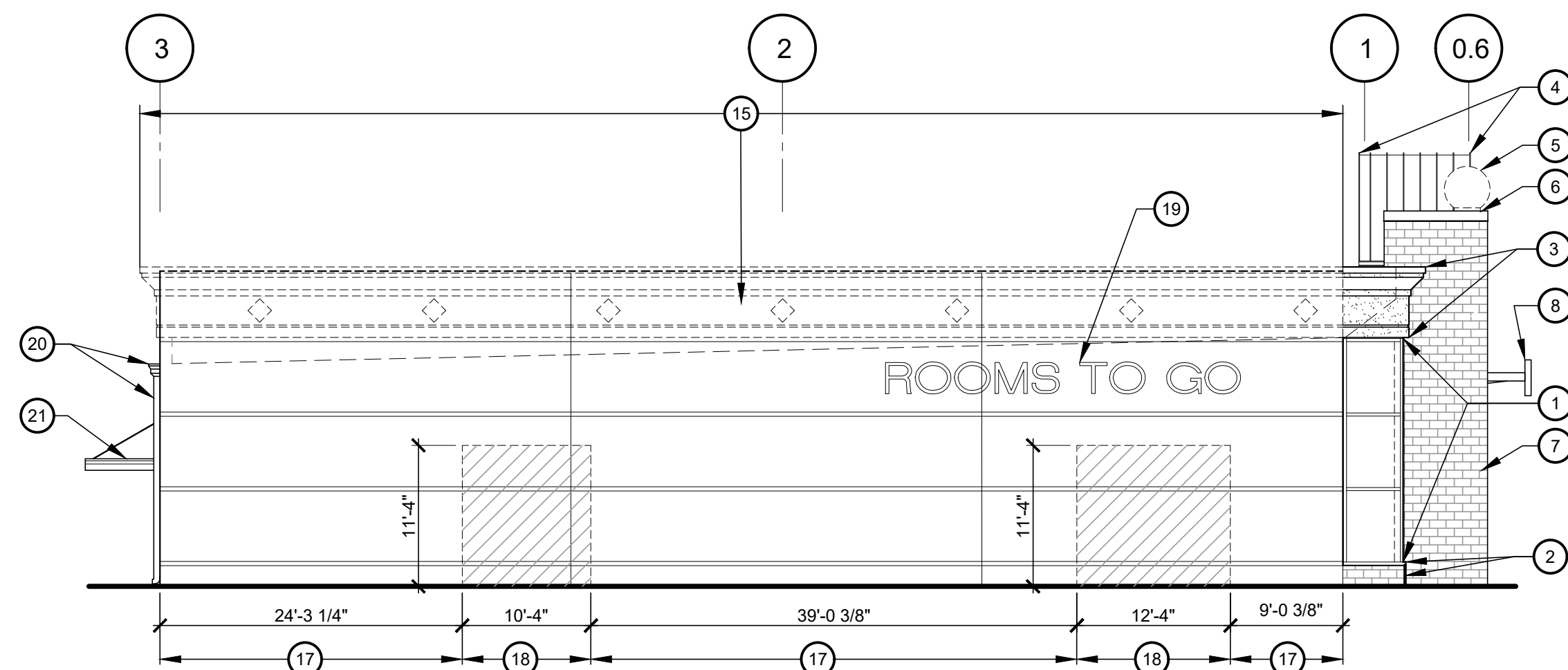
PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No.: AR030305  
Expiration Date: 02/28/25

Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

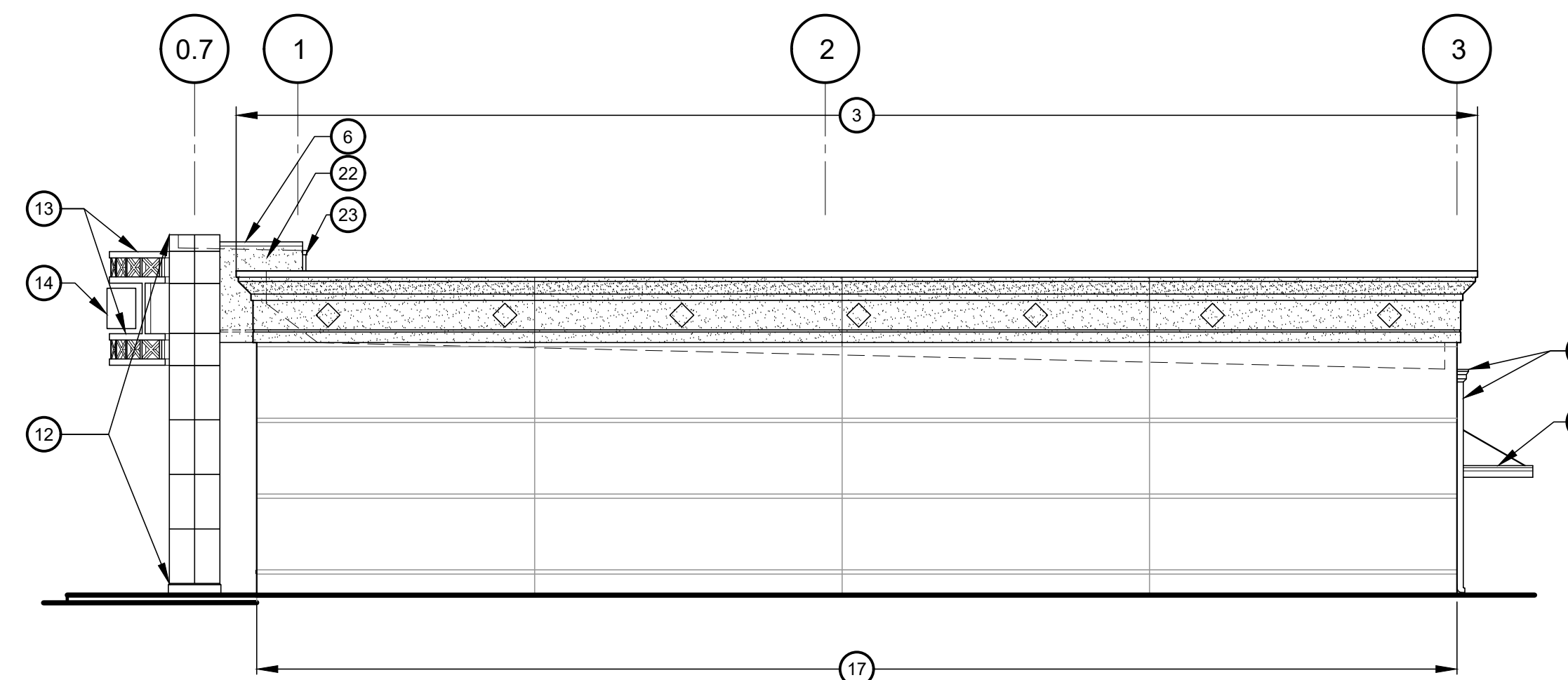




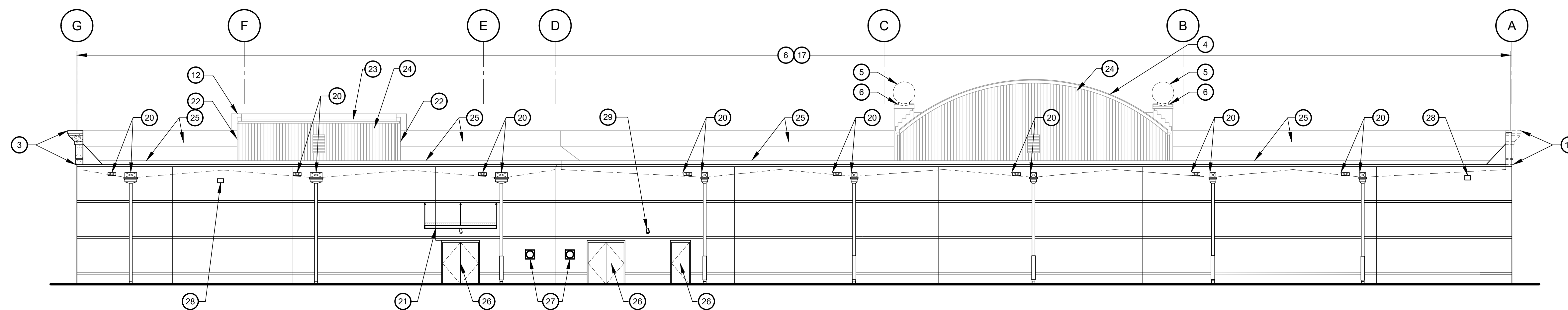
**1 DEMOLITION FRONT ELEVATION (EAST)**  
 D3.0 SCALE: 1/8" = 1'-0"



**2 DEMOLITION LEFT ELEVATION (SOUTH)**  
 D3.0 SCALE: 1/8" = 1'-0"



**3 DEMOLITION RIGHT ELEVATION (NORTH)**  
 D3.0 SCALE: 1/8" = 1'-0"



**4 DEMOLITION REAR ELEVATION (WEST)**  
 D3.0 SCALE: 1/8" = 1'-0"

**ELEVATIONS KEYED DEMOLITION NOTES:**

- 1 EXISTING CURTAINWALL SYSTEM AND GLAZING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION OPERATIONS
- 2 EXISTING MASONRY KNEEWALL AND SILL TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION OPERATIONS
- 3 EXISTING EXTERIOR INSULATION FINISH SYSTEM FRIEZE, CORNICE AND METAL CAP FLASHING TO REMAIN.
- 4 EXISTING STANDING SEAM BARREL VAULT ROOF TO REMAIN
- 5 REMOVE EXISTING EXTERIOR INSULATION FINISH SYSTEM SPHERE, COMPLETELY
- 6 REMOVE EXISTING METAL CAP FLASHING, AND REPLACE WITH NEW PRE-FINISHED METAL CAP FLASHING TO MATCH EXISTING
- 7 EXISTING MASONRY PILASTER TO REMAIN
- 8 EXISTING SIGNAGE AND CURVED SIGN SUPPORTS TO REMAIN
- 9 EXISTING STEEL CANOPY TO REMAIN
- 10 EXISTING COLUMN COVERS TO REMAIN
- 11 EXISTING ALUMINUM STOREFRONT AND GLAZING ENTRANCE DOORS TO REMAIN
- 12 EXISTING ALUMINUM COMPOSITE PANEL ENTRANCE ELEMENT TO REMAIN
- 13 EXISTING RADIUSSED STEEL CANOPY TO REMAIN
- 14 EXISTING SIGNAGE TO REMAIN
- 15 CUT AND REMOVE EXISTING EXTERIOR INSULATION FINISH SYSTEM FRIEZE AND CORNICE, DENSGLAS SHEATHING, AND FRAMING, DOWN TO EXISTING MASONRY WALL AND METAL STUDS
- 16 NOT USED
- 17 EXISTING EXTERIOR MASONRY WALL TO REMAIN. PROTECT DURING THE DEMOLITION PROCESS.
- 18 SAW CUT AND REMOVE PORTION OF EXISTING EXTERIOR MASONRY WALL TO THE EXTENT SHOWN BY 11'-4" ABOVE FINISH FLOOR, DOWN TO (1) COURSE BELOW FINISH FLOOR, INSTALL NEW STEEL LINTEL AND TOOTH IN NEW CONCRETE MASONRY UNITS INTO THE EXISTING MASONRY WALL - SEE STRUCTURAL FOR DETAILS AND SHORING REQUIREMENTS
- 19 DISCONNECT AND REMOVE EXISTING SIGNAGE. REMOVE EXISTING CONDUIT AND WIRING BACK TO PANEL.
- 20 EXISTING THRU-WALL SCUPPER, DOWNSPOUT AND DOWNSPOUT GUARD TO REMAIN
- 21 EXISTING WALL HUNG ALUMINUM CANOPY TO REMAIN
- 22 EXISTING EXTERIOR INSULATION FINISH SYSTEM FACIA/CANOPY, BEYOND TO REMAIN
- 23 EXISTING METAL GUTTER AND DOWNSPOUTS TO REMAIN
- 24 EXISTING METAL SIDING BEYOND
- 25 EXISTING SINGLE-PLY MEMBRANE ROOFING, BEYOND
- 26 EXISTING HOLLOW METAL DOORS TO REMAIN
- 27 EXISTING ELECTRICAL METERS
- 28 EXISTING WALL PACK LIGHT FIXTURES TO REMAIN
- 29 EXISTING LIGHT FIXTURE TO REMAIN
- 30 REMOVE EXISTING SEALANT AND BACKER ROD IN EXISTING MASONRY CONTROL JOINTS, PREPARE JOINT TO RECEIVE NEW SEALANT AND BACKER ROD

**ROOMS TO GO** STORE EXPANSION AND REMODEL

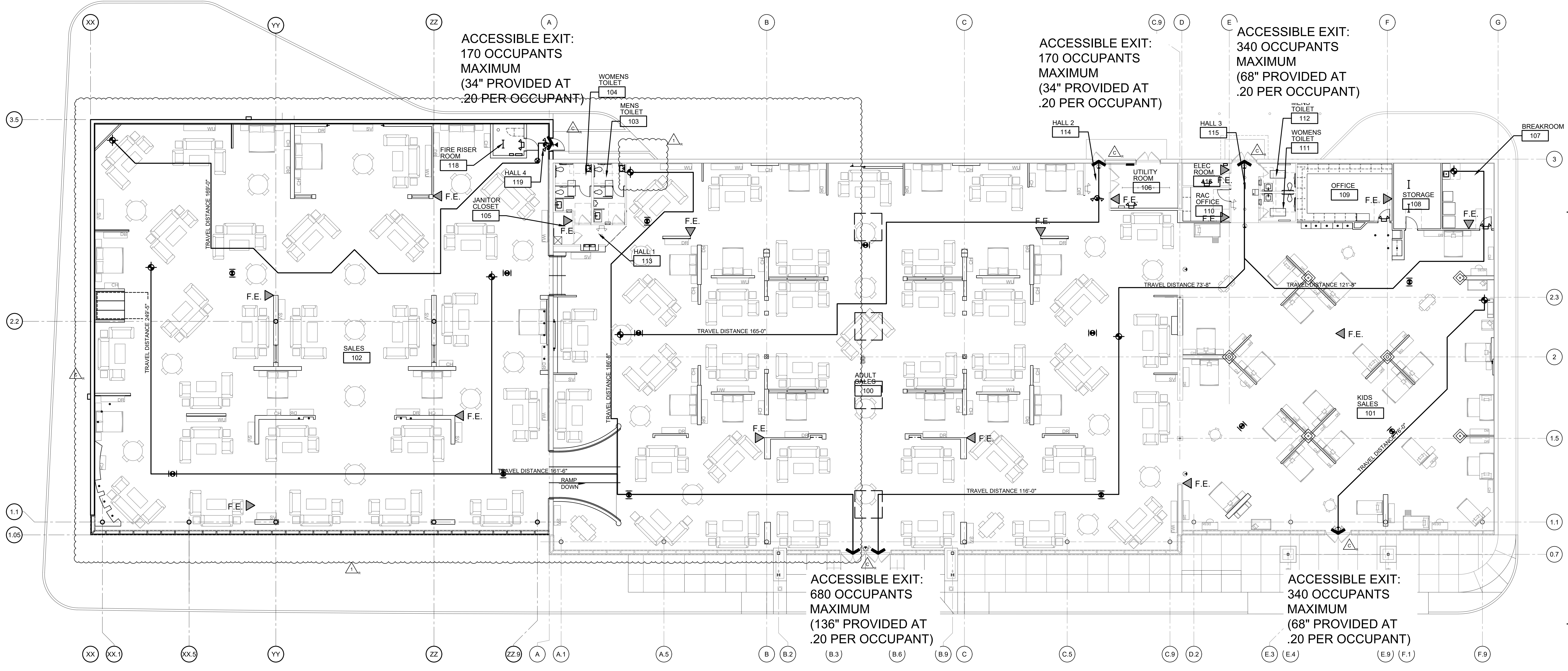
18722 SOUTH DIXIE HIGHWAY,  
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| No.                      | Description |
| 1                        | ADDENDUM 2  |
| 2                        | ADDENDUM #5 |

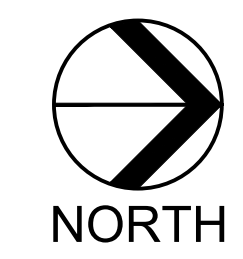
Date: 11/29/23  
 01/29/24  
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**DEMOLITION EXTERIOR ELEVATIONS**  
**D3.0**

PROFESSIONAL OF RECORD  
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**1 LIFE SAFETY PLAN**  
SCALE: 3/32" = 1'-0"



**EXITING CALCULATIONS**

MINIMUM OCCUPANT LOAD (TABLE 1004.1.2):  
 32,578 SQUARE FEET AT 30 SQUARE FEET / PERSON = 1,086 PEOPLE (MAIN SALES AREA)(MERCANTILE)  
 1,034 SQUARE FEET AT 150 SQUARE FEET / PERSON = 7 PEOPLE (BUSINESS AREA)  
 215 SQUARE FEET AT 15 SQUARE FEET / PERSON = 14 PEOPLE (ASSEMBLY)  
 575 SQUARE FEET AT 300 SQUARE FEET / PERSON = 2 PEOPLE (STORAGE/UTILITY AREA)  
 TOTAL = 1,109 PEOPLE

MINIMUM NUMBER OF EXITS (TABLE 1006.3.1) = 3  
 MAXIMUM TRAVEL DISTANCE (TABLE 1017.2) = 250'  
 SUFFICIENTLY REMOTE AND BALANCED (SECTIONS 1006 AND 1007)  
 MAXIMUM DEAD END CORRIDOR (SECTION 1020.4) = 50'  
 LEVEL EGRESS WIDTH PER PERSON (SECTION 1005.3.2) = 2"  
 MINIMUM WIDTH OF MEANS OF EGRESS:  
 44" MINIMUM AISLE OR CORRIDOR (TABLE 1020.2)  
 1,109 PERSONS x .2"/PERSON (SECTION 1005.3.2) = 221.8"

WIDTH OF EGRESS PROVIDED:  
 MAIN ENTRANCES / EXITS (EXISTING ADULTS) (4) DOORS AT 34" EACH = 136"  
 (EXISTING KIDS) (2) DOORS AT 34" EACH = 68"

SECONDARY EXITS (5) DOORS AT 34" EACH = 170"  
 TOTAL DOOR INCHES 374" > 221.8" (OK)

**EXITING REQUIREMENTS:**  
 PER SECTION (1005.1) - 1,109 TOTAL OCCUPANTS x 0.20 = 221.8" TOTAL REQUIRED EXIT WIDTH  
 - 374" TOTAL PROVIDED EXIT WIDTH

MAXIMUM TRAVEL DISTANCE WITH SPRINKLER SYSTEM 250'

**FIRE EXTINGUISHER NOTES:**

F.E. ▲ FIRE EXTINGUISHERS (15 TOTAL)  
 (10) EXISTING FIRE EXTINGUISHERS IN EXISTING BUILDING  
 (5) NEW FIRE EXTINGUISHERS IN NEW ADDITION

- MOUNT TO FREESTANDING SALES CENTER MILLWORK IN SHOWROOM AREAS. COORDINATE REQUIREMENTS WITH OWNER.  
 PER NFPA 10 - TABLE 6.2.1.1  
 BASED ON CLASS "A" FIRE HAZARD AND LIGHT / LOW HAZARD OCCUPANCY  
 -1 FIRE EXTINGUISHER REQUIRED FOR EVERY 3000 SQUARE FEET.  
 -AT 34,263 SQUARE FEET / 3000 = 12 TOTAL EXTINGUISHERS REQUIRED > (15) PROVIDED

**GENERAL FIRE PROTECTION NOTES:**

- BUILDING IS TO BE FULLY PROTECTED WITH AUTOMATIC SPRINKLER SYSTEM
- PROVIDE FIRE EXTINGUISHERS AS SHOWN ON PLAN.
- PROVIDE ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE MARSHAL. COORDINATE MOUNTING REQUIREMENTS WITH OWNER.
- PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10.
- SALES FLOOR FIRE EXTINGUISHERS ARE TO BE MOUNTED TO THE OWNER PROVIDED FREESTANDING SALES CENTER CABINETS ON THE SIDE OPPOSITE THE PHONE. DO NOT MOUNT TO THE WALLS IN THE SALES FLOOR AREA

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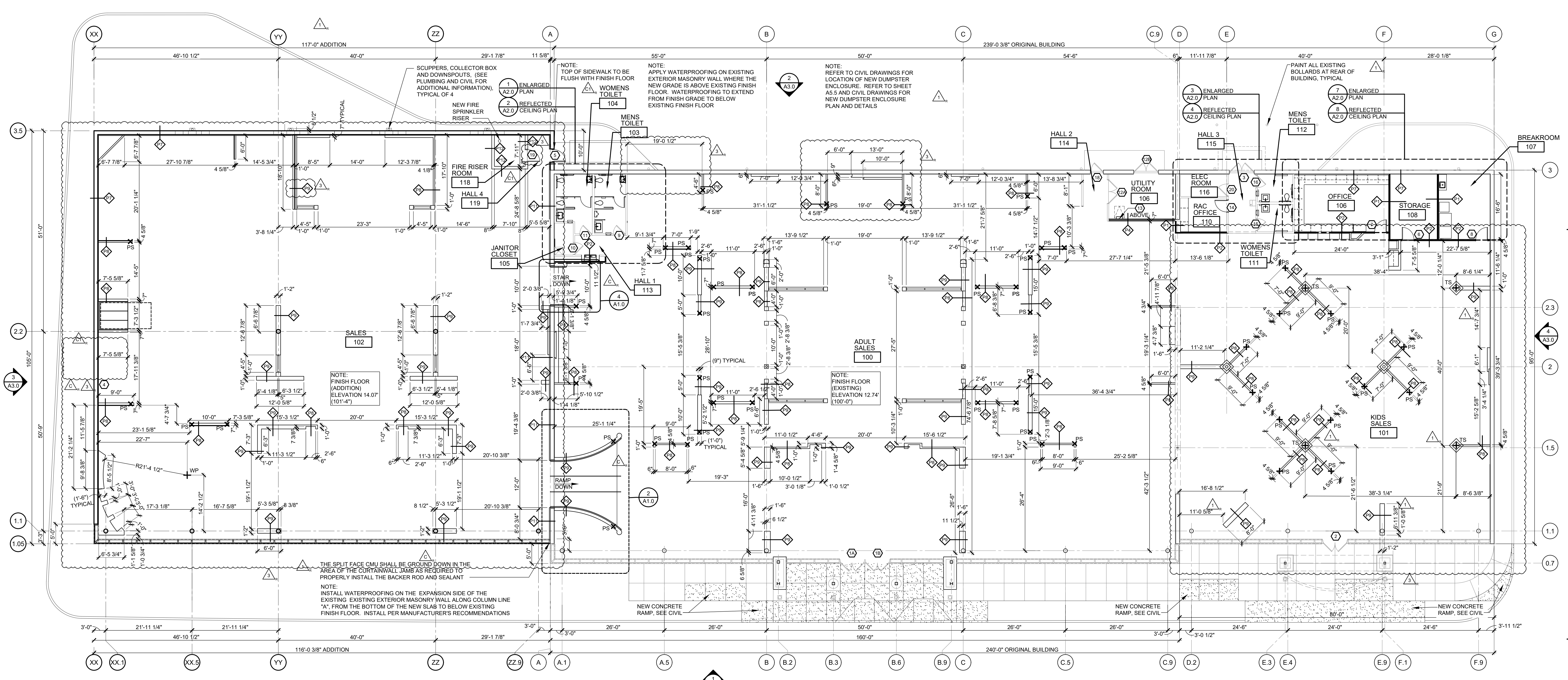
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| C   | FIRE DEPARTMENT CODE COMMENTS | 06/13/23 |
| 1   | ADDENDUM #15                  | 01/29/24 |

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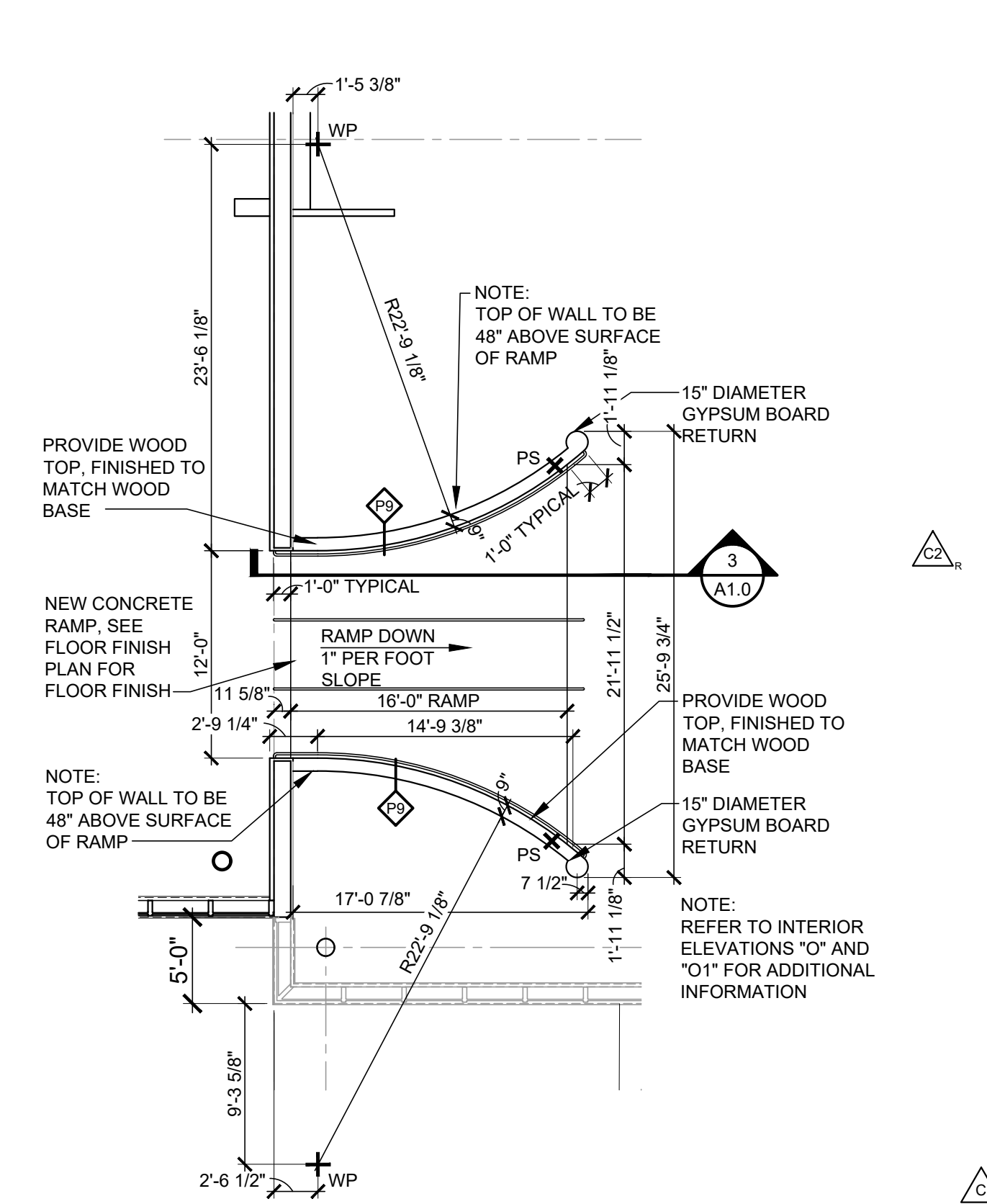
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**ROOMS TO GO** STORE EXPANSION AND REMODEL  
 18722 SOUTH DIXIE HIGHWAY,  
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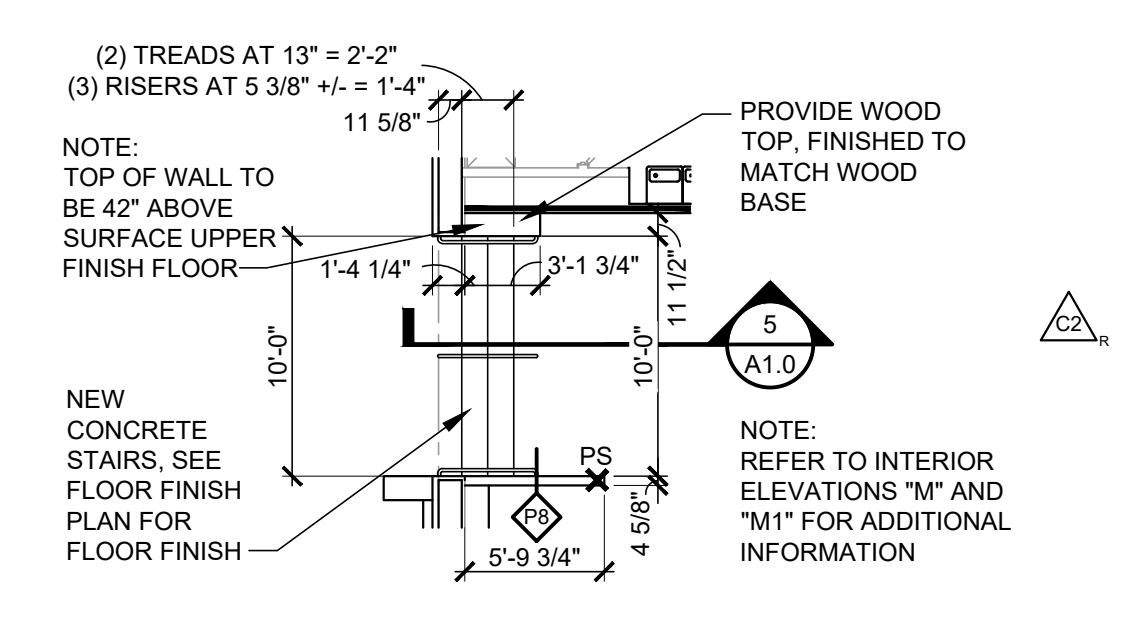




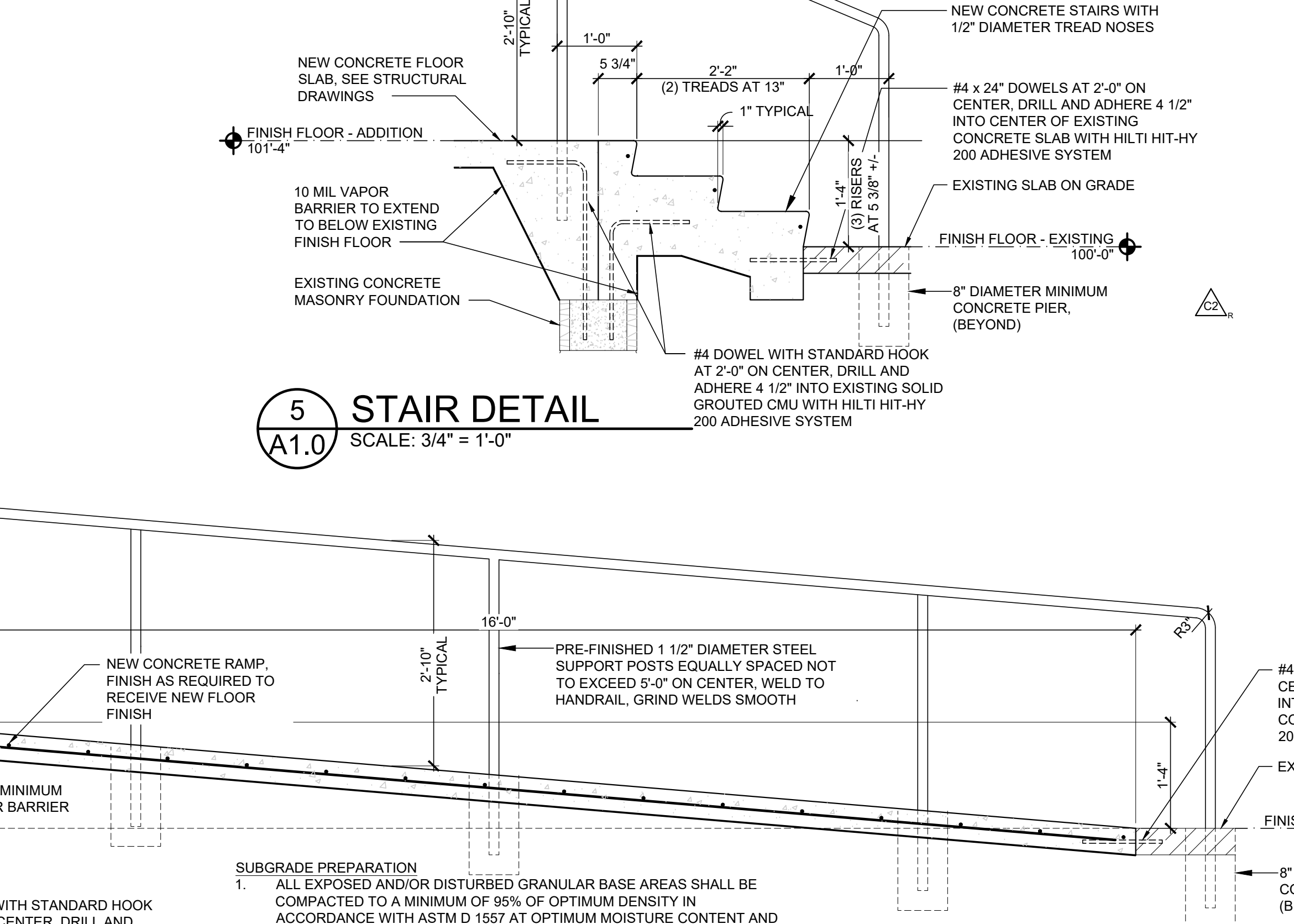
**1 FLOOR PLAN**  
SCALE: 3/32" = 1'-0"  
NORTH



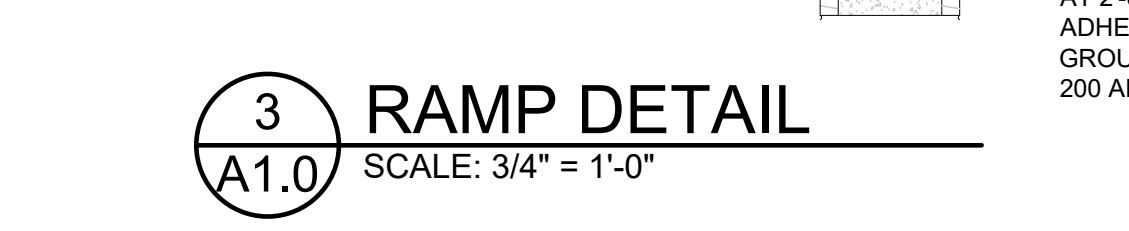
**2 ENLARGED RAMP PLAN**  
SCALE: 1/8" = 1'-0"



**4 ENLARGED STAIR PLAN**  
SCALE: 1/8" = 1'-0"



**5 STAIR DETAIL**  
SCALE: 3/4" = 1'-0"



**3 RAMP DETAIL**  
SCALE: 3/4" = 1'-0"

- GENERAL NOTES:**
1. ALL DIAGONAL WALLS AT 45° UNLESS NOTED OTHERWISE
  2. PROVIDE WOOD BLOCKING AT LOCATIONS WHERE OWNER PROVIDED DECORATIVE ITEMS ARE ATTACHED TO PARTITIONS. COORDINATE SPECIFIC REQUIREMENTS WITH OWNER'S FIELD REPRESENTATIVE
  3. ALL WOOD BLOCKINGS MUST BE FIRE TREATED WHERE / WHEN REQUIRED BY LOCAL CODE
  4. FIELD COORDINATE ALL GYPSUM BOARD OPENING DIMENSIONS TO ASSURE PROPER FIT OF ALL DECORATIVE ITEMS AND DECORATIVE FRAMES
  5. PROVIDE 1" MOULD AND SEALANT AT GYPSUM BOARD ENDS AND PROVIDE CORNER BEADS AT ANGLED OR SQUARE GYPSUM BOARD INTERSECTIONS UNLESS NOTED OTHERWISE
  6. REFER TO THE ACTIVE VERSION OF ASTM C1007, ASTM C955 AND C754 FOR INSTALLATION REQUIREMENTS OF METAL STUDS, RUNNERS, BRACING, BRIDGING AND SCREW ATTACHED GYPSUM BOARD
  7. REFER TO SHEET A1.1 FOR FLOORING INFORMATION
  8. REFER TO SHEET A1.2 FOR INTERIOR ELEVATION CALLOUTS
  9. ALL WALLS ARE DIMENSIONED TO THE FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE
  10. HOLD INTERIOR DOORS OFF 6" FROM WALL UNLESS NOTED OTHERWISE
  11. VERIFY MASONRY OPENING DIMENSIONS WITH CURTAIN WALL MANUFACTURER
  12. WALLS WHICH ENCOMPASS A BUILDING COLUMN SHALL BE CENTERED ON THE COLUMN, UNLESS NOTED OTHERWISE
  13. REFER TO DETAIL 7 ON SHEET A5.0 FOR DUCT THRU WALL DETAIL
  14. VERTICAL CONTROL JOINTS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS UNLESS NOTED OTHERWISE:
    - A. EXTERIOR CONCRETE MASONRY WALLS ALIGNED WITH MASONRY CONTROL JOINTS
    - B. INTERIOR PARTITIONS AT 30'-0" ON CENTER MAXIMUM
    - C. DOOR FRAME JAMB LINE AT ONE TOP CORNER
    - D. CEILINGS WITH PERIMETER RELIEF: 50'-0" MAXIMUM EACH WAY, CEILINGS WITHOUT PERIMETER RELIEF: 30'-0" MAXIMUM EACH WAY. COORDINATE LOCATIONS WITH OWNER IF LAYOUT IS NOT INDICATED.
  15. APPLY TERRAZZO PREVENTION CHEMICAL TREATMENT PER LOCAL REQUIREMENTS

- SYMBOLS**
- PS INDICATES STEEL ANGLE PARTITION SUPPORT LOCATION - SEE DETAIL
  - TS INDICATES STEEL TUBE PARTITION SUPPORT LOCATION - SEE DETAIL
  - ◆ PARTITION TYPE - INTERIOR PARTITIONS ARE TYPE "P1" UNLESS NOTED OTHERWISE. SEE DETAILS
  - EJ EXPANSION JOINTS TYPICAL, REFER TO CIVIL FOR FURTHER INFORMATION
  - CJ CONTROL JOINTS TYPICAL, REFER TO CIVIL FOR FURTHER INFORMATION
  - WP WORK POINT - LOCATED FROM A COLUMN GRID LINE TYPICAL
  - DOOR NUMBER - REFER TO SHEET A8.0
  - LOCATED WITHIN A PARTITION INDICATES FULL HEIGHT PARTITION - REFER TO PARTITION CALLOUTS ON A1.0 AND PARTITION TYPES A5.0
  - AP METAL ACCESS PANEL (REFER TO ELEVATIONS FOR ACCESS PANEL SIZE AND MATERIAL SPECIFICATION SHEET A1.2 FOR MANUFACTURER, TYPICAL) - WHERE NOT NOTED ON INTERIOR ELEVATIONS ACCESS PANELS ARE TO BE 2'-0" x 2'-0" WITH THE BOTTOM OF THE PANEL AT 10" ABOVE FINISHED FLOOR
  - DECORATIVE ALUMINUM TRUSS

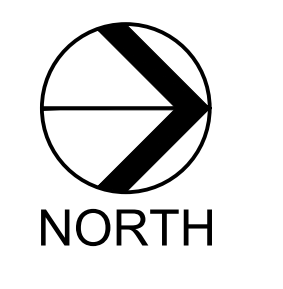
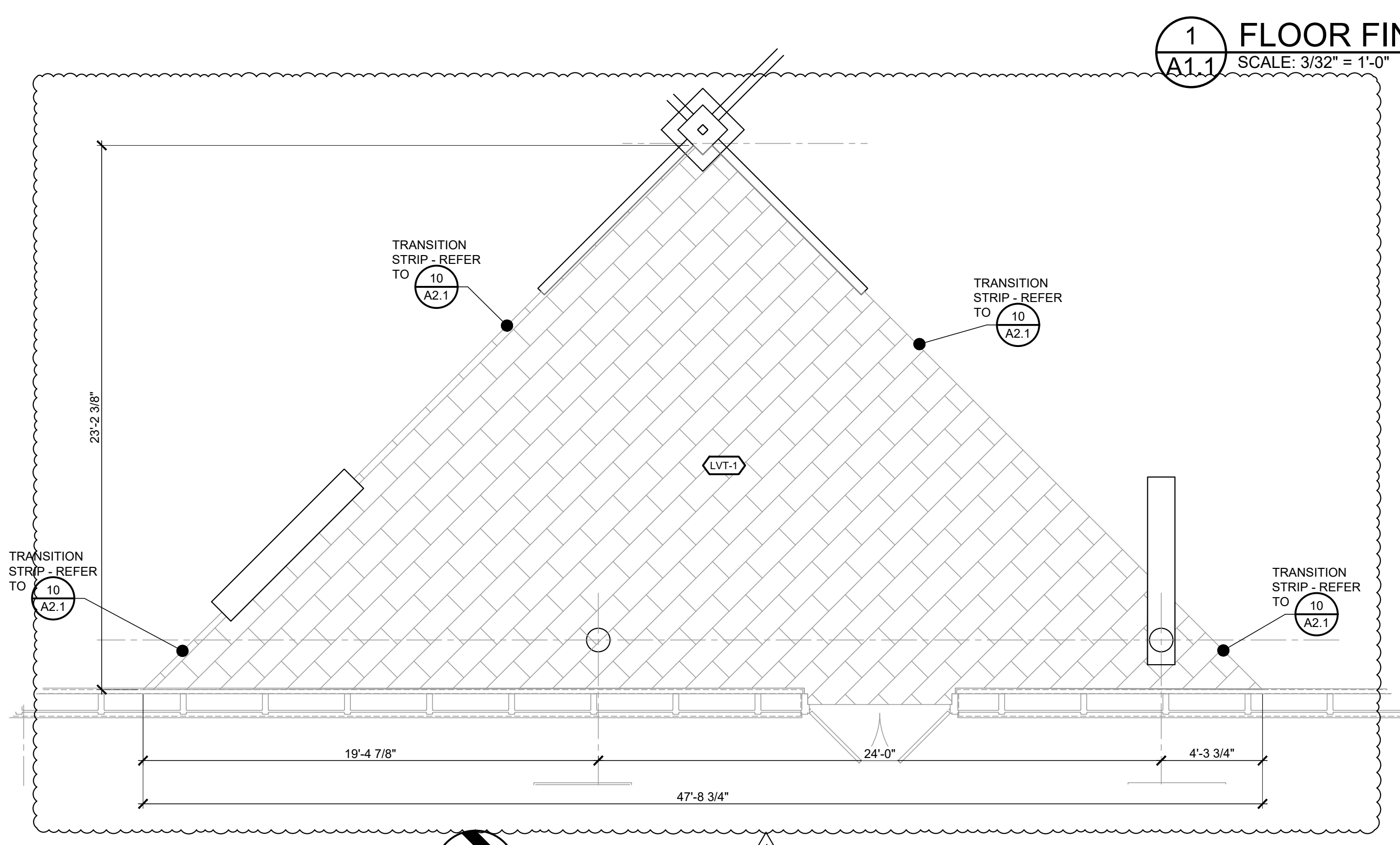
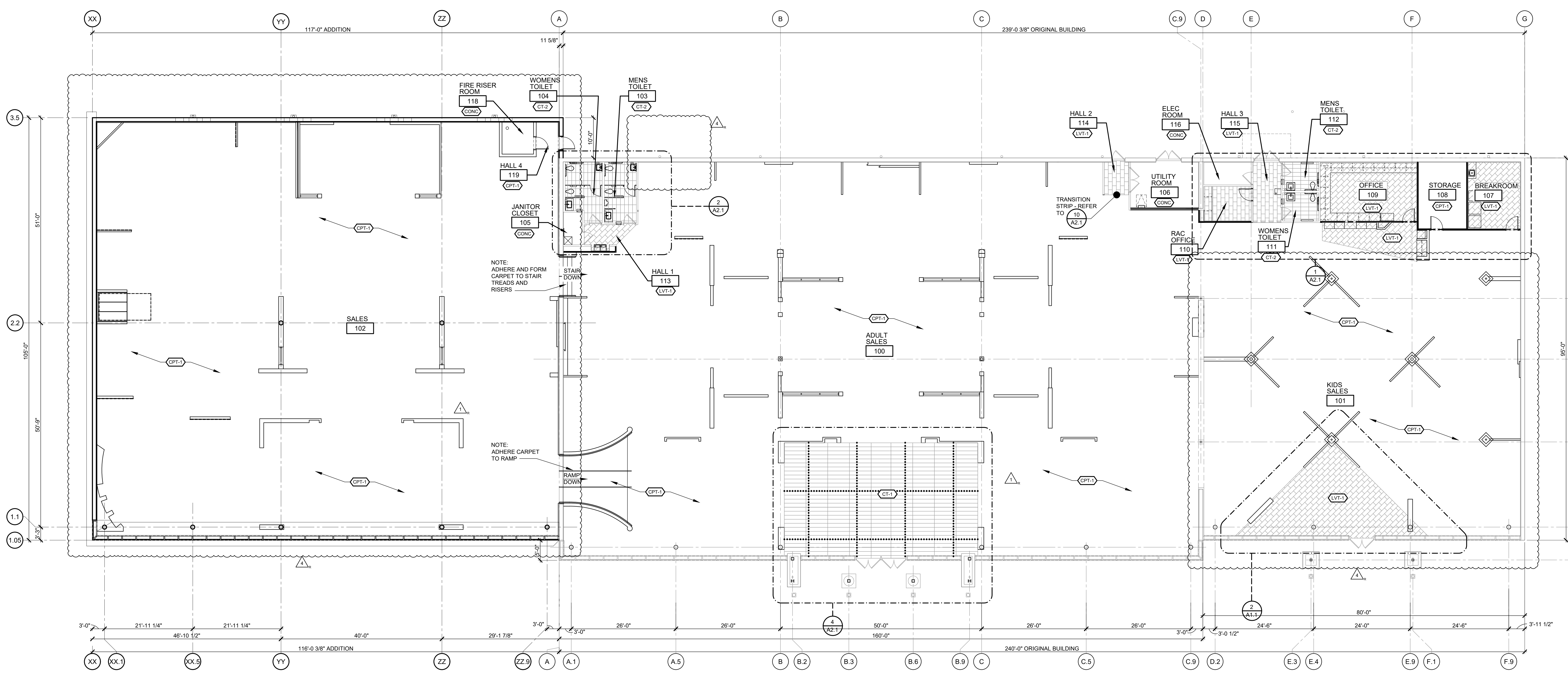
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| No. | Description                      | Date     |
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| C1  | CODE RESPONSE                    | 12/06/22 |
| C2  | FIRE DEPARTMENT CODE RESPONSE #2 | 06/13/23 |
| C3  | FIRE DEPARTMENT CODE RESPONSE #3 | 07/10/23 |
| 1   | ADDENDUM 1                       | 08/12/23 |
| 2   | ADDENDUM 2                       | 11/29/23 |
| 3   | ADDENDUM 3                       | 12/05/23 |
| 4   | ADDENDUM 4                       | 01/29/24 |
| 5   | ADDENDUM 5                       | 01/29/24 |

PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No. AR030035  
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Owner Date: 07/06/22

**ROOMS TO GO** STORE EXPANSION AND REMODEL  
18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157



TYPICAL AT ANGLED FLOORING (UNLESS NOTED OTHERWISE)  
REFER TO SHEET A1.0 FOR PARTITION RADIUS WORKPOINT AND PARTITION DIMENSIONS

**LEGEND**

TILE MOVEMENT JOINT ..... AT 12'-0" ON CENTER EACH WAY

| FLOOR FINISH LEGEND      |  |
|--------------------------|--|
| <b>LUXURY VINYL TILE</b> |  |
| (LVT-1)                  | PATCRAFT COLLECTION: SUBSTRACTIVE LAYERS. STYLE: WITHDRAW 1418V. SIZE 11.81" X 23.62". COLOR: 00565 MOUNTAIN GRAY. PATTERN: RUNNING BOND   |
| <b>CARPET</b>            |  |
| (CPT-1)                  | J-J INVISION. RTG 924460722-00113 SOLUTION DYE. SOLID  |
| <b>CERAMIC TILE</b>      |  |
| (CT-1)                   | FLOOR & DECOR. WOODVILLE NATURAL WOOD PLANK, SKU: 100581628, 12" x 59", PATTERN: STACK BOND. GROUT: CUSTOM BUILDING PRODUCTS -PRISM #186 KHAKI 186 SEAL JOINTS PER SPECIFICATIONS. |
| (CT-2)                   | DAL TILE, ASTRONOMY, ORION AT71. SIZE 12" X 24". PATTERN: STACK BOND. GROUT: CUSTOM BUILDING PRODUCTS -PRISM #135 MUSHROOM. SEAL JOINTS PER SPECIFICATIONS.                        |
| <b>CONCRETE</b>          |  |
| (CONC)                   | EXPOSED CONCRETE WITH SMOOTH TOWELED FINISH. APPLY 2 COATS OF ACRYLIC FLOOR ENAMEL (MEDIUM GRAY COLOR)   |

**FLOOR GENERAL NOTES:**  
1- IN THE CASE OF VINYL TILE AND CERAMIC TILE, THE PATTERN DEPICTED INDICATES THE FLOOR COVERING JOINT PATTERN  
2- DIMENSIONS TO FLOORING FROM COLUMN GRID LINES OR FACE OF GYPSUM BOARD TYPICAL UNLESS NOTED OTHERWISE  
3- LUXURY VINYL TILE SHALL BE INSTALLED PER MANUFACTURERS GLUE DOWN INSTALLATION GUIDELINES.

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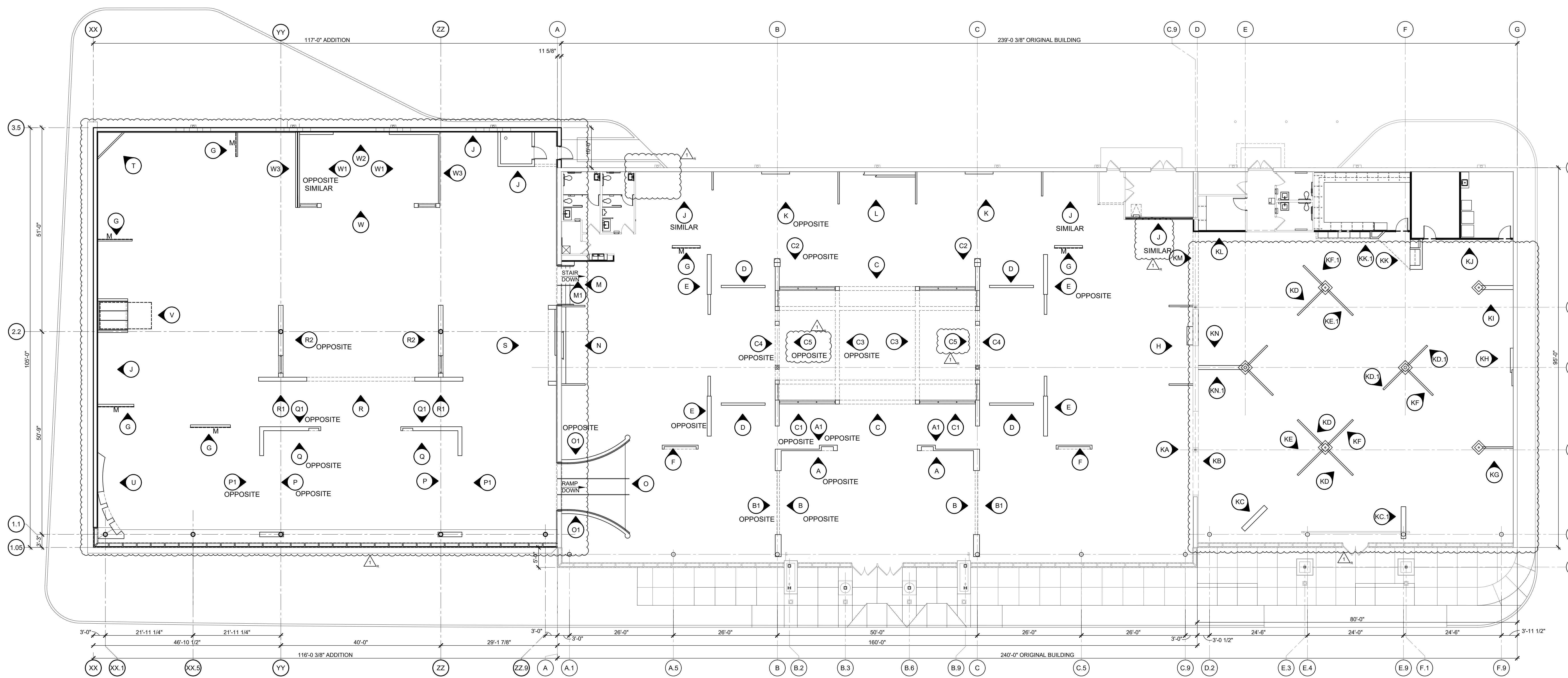
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| 1   | ADDENDUM 2  | 11/29/23 |
| 2   | ADDENDUM 3  | 12/05/23 |
| 3   | ADDENDUM #4 | 01/02/24 |
| 4   | ADDENDUM #5 | 01/29/24 |

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MICHAEL SCOTT SUNDERMEYER  
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**FLOOR FINISH PLAN**  
**A1.1**





**1 PARTITION FINISH PLAN**  
SCALE: 3/32" = 1'-0"  
NORTH

**GENERAL NOTES:**

- ALL DIAGONAL WALLS AT 45° UNLESS NOTED OTHERWISE ON SHEET A1.0
- PROVIDE WOOD BLOCKING AT LOCATIONS WHERE OWNER PROVIDED DECORATIVE ITEMS ARE ATTACHED TO PARTITIONS. COORDINATE SPECIFIC REQUIREMENTS WITH OWNER'S FIELD REPRESENTATIVE
- ALL WOOD BLOCKING MUST BE FIRE TREATED WHERE AND WHEN REQUIRED BY LOCAL CODE TYPICAL
- FIELD COORDINATE ALL GYPSUM BOARD OPENING DIMENSIONS TO ASSURE PROPER FIT OF ALL DECORATIVE ITEMS AND DECORATIVE FRAMES.
- CHOOSE OWNER SUPPLIED DECORATIVE ITEMS AS CLOSELY MATCHED DIMENSIONAL PAIRS WHEN ADJACENT OR OPPOSITE.
- GYPSUM BOARD ON FULL HEIGHT WALLS (TYPICAL CONDITION) - CONTINUOUS TO UNDERSIDE OF STRUCTURE ON EXPOSED SIDE  
- STOP 6" ABOVE CEILING ON NON-EXPOSED SIDE, UNLESS NOTED OTHERWISE.
- ALL GENERIC WALLS NOT SPECIFIED WITH INTERIOR ELEVATION REFERENCE HAVE STANDARD BASE AND CROWN / TRIM - SEE SHEET A8.0 FOR FINISH SPECIFICATIONS.
- ALL PARTITIONS TO HAVE A 1/2" FIXED PLYWOOD OR MEDIUM DENSITY FIBERBOARD TOP (OPERABLE WHERE INSTALLED ABOVE LIGHTS AND MUST BE LIGHT TIGHT) TO PREVENT LIGHT FROM PROJECTING ONTO OTHER SURFACES.
- FIXED TOPS AND OPERABLE TOPS - ALLOW VENT HOLES IN THUMBHOLE LOCATIONS, FOR OPERATION AND HEAT ESCAPE. LOCATE TO PREVENT LIGHT FROM PROJECTING ONTO OTHER SURFACES
- COORDINATE ALL INTERIOR WALLS CREATING A "CAVITY" WHERE A LIGHT FIXTURE IS BEING INSTALLED WITH OWNER  
- GENERAL CONTRACTOR MUST FULLY COVER ALL STUDS IN CAVITY WITH 1/4" GYPSUM BOARD, TAPE, MUD, FINISH AND PAINT WITH HIGH GLOSS WHITE PAINT

- USE ALUMINUM J - MOULD AT BASE OF MIRROR - ONLY WHERE INDICATED AND AT ALL VERTICAL EXPOSED EDGES. SET MIRROR UP TO UNDERSIDE OF LEVEL WOOD OR METAL TRIM, UNLESS NOTED OTHERWISE
- MIRROR WIDTHS MORE THAN ONE MIRROR WIDE REQUIRE COMPONENT MIRRORS 4-FEET OR WIDER (6-FEET PREFERRED). BORDERS AROUND MIRROR TO BE SQUARE AND PLUMB TO AVOID GAPS AT MIRROR EDGE. DO NOT PROVIDE GYPSUM BOARD EXPANSION JOINTS BEHIND MIRROR LOCATIONS, UNLESS MIRROR JOINT ALIGNS WITH GYPSUM BOARD EXPANSION JOINTS.
- PROVIDE J-MOULD AND SEALANT AT GYPSUM BOARD ENDS AND PROVIDE CORNER BEADS AT ANGLED OR SQUARE GYPSUM BOARD INTERSECTIONS TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE 1/4" TEMPERED CLEAR GLASS WITH POLISHED EDGES AT GYPSUM BOARD AND WOOD FINISHED SHELVING IN SHOWROOM
- ALL METAL FABRICATIONS - SHOP CONSTRUCTED AND FINISHED AND FULLY WELDED, WELDS TO BE GROUND SMOOTH - ATTACHMENT TO BLOCKING IN GYPSUM BOARD PARTITIONS TO BE HIDDEN
- INSTALLATION OF STUDS PER ASTM C1007-00, ASTM C955-90a AND C754-00 FOR INSTALLATION OF METAL STUDS, RUNNERS, BRACING, BRIDGING AND SCREW ATTACHED GYPSUM BOARD.
- SEE SHEET A0.1 FOR LIFE SAFETY / FIRE EXTINGUISHER PLAN LOCATIONS
- SEE SHEET A1.0 FOR DIMENSIONAL PLAN, DOORS NUMBERS, PARTITIONS TYPES, DETAIL AND SECTION MARKS, AND EXTERIOR INFORMATION
- SEE SHEET A1.1 FOR FLOOR FINISH INFORMATION
- SEE SHEET A2.0 FOR ENLARGED PLANS AND REFLECTED CEILING PLANS
- ALL WALL, FLOOR AND CEILING FINISHES MUST MEET OR EXCEED A CLASS C FIRE RESISTANCE, FLAME SPREAD AND SMOKE DEVELOPMENT RATING

**SYMBOLS:**

- INDICATES INTERIOR PARTITION ELEVATION - REFER TO A6 SHEETS
- DENOTES WALL MIRROR LOCATIONS - PROVIDE NAILERS AT BASE AS DETAILED AND PRIME COAT GYPSUM BOARD BEHIND MIRROR. SEE INDIVIDUAL ELEVATIONS FOR ADDITIONAL MIRROR LOCATIONS AND INFORMATION ON PARTITIONS.
- INDICATES INTERIOR PARTITION ELEVATION - REFER TO A6 SHEETS
- DENOTES WALL MIRROR LOCATIONS - PROVIDE NAILERS AT BASE AS DETAILED AND PRIME COAT GYPSUM BOARD BEHIND MIRROR. SEE INDIVIDUAL ELEVATIONS FOR ADDITIONAL MIRROR LOCATIONS AND INFORMATION ON PARTITIONS.
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**MATERIAL SPECIFICATIONS:**

- PLEXIGLAS:**  
BY AULTUGLAS INTERNATIONAL,  
MATTIE FINISH SIDE TO FACE SALES FLOOR UNLESS NOTED OTHERWISE.  
- PLEXIGLAS G 3190 (FLUORESCENT GREEN), CLEAR, 1/8" THICK  
- PLEXIGLAS G 3192 (FLUORESCENT PINK), CLEAR, 1/8" THICK
- GLASS BLOCK:**  
- KIDS SALES 6"x6" CLEAR, EITHER SEVES GLASS BLOCK WITH "NUBI" PATTERN OR QUALITY GLASS BLOCK WITH "WAVE" PATTERN.
- ACCESS PANELS:**  
- USE MILCOR - STYLE M 24" x 24" (UNLESS NOTED OTHERWISE) ACCESS PANELS, FACTORY PRIME AND PAINTED STEEL THEN FINISH TO MATCH ADJACENT SURFACES TYPICAL. NOTE: VERIFY STUD SPACING REQUIREMENTS AT ACCESS PANEL LOCATIONS WITH MANUFACTURER PRIOR TO PARTITION CONSTRUCTION.
- DECORATIVE ALUMINUM TRUSS:**  
VERSA TRUSS 10" WITH 2" TUBE - ALUMINUM FINISH - (888)430-7613
- METAL CROWN:**  
- AMERICAN COLONIAL CROWN MOULDINGS CORPORATION - 316 WEST WALNUT STREET PERKASIE, PA 18944 (215) 257-6873 OR info@americancolonialcrown.com. PROFILE: PRESTIGE V RAKE CROWN, MATERIAL 12 OUNCE COPPER, LENGTHS: UP TO 16'-0", FINISH: SHOP APPLIED CLEAR GLOSS LACQUER COAT TO MAINTAIN SHINY COPPER APPEARANCE. PLEASE NOTE: THAT METAL CROWN HAS SHARP EDGES AND SHALL BE HANDLED AND INSTALLED WITH GLOVES. VISIBLE FASTENERS ARE TO APPROVED BY ROOMS TO GO PROJECT REPRESENTATIVE BEFORE INSTALLATION. METAL CROWN PATTERN TO BE CONTINUOUS IN RUN AND MITERED CORNERS. INSTALLER TO MINIMIZE THE NUMBER OF JOINTS AND PROVIDE LENGTHS NO SHORTER THAN 18".
- HALF LADY STATUE:**  
HALF GREEK LADY STATUE #1026,  
PAINT PT-2  
HOUSE PARTS  
VAL JEWELL  
404-577-5584  
vjewell@houseparts.com
- WALL COVERING #1:**  
WOLF-GORDON - CONTRACT WALL COVERING - FOUNDRY  
SKU #BY 4075  
COLOR: GLINT
- WALL COVERING #2:**  
WOLF-GORDON - LONDON CHIC - BRITXON  
SKU #BRX 8-3337  
COLOR: BLUE-STEEL
- MURAL:**  
MURAL YOUR WAY - "HARING PATTERN WALLPAPER MURAL"  
RF4836104

**STACKED STONE VENEER:**  
FLOOR & DECOR - ROCK RIDGE ROMAN BEIGE SPLITFACE TRAVERTINE LEDGER PANEL - SKU #100527399 - 6" x 24"

**GLASS:**  
- ALL GLASS INSTALLED AT INTERIOR ELEVATIONS SHALL BE TEMPERED PER PROJECT SPECIFICATION SECTION 08811

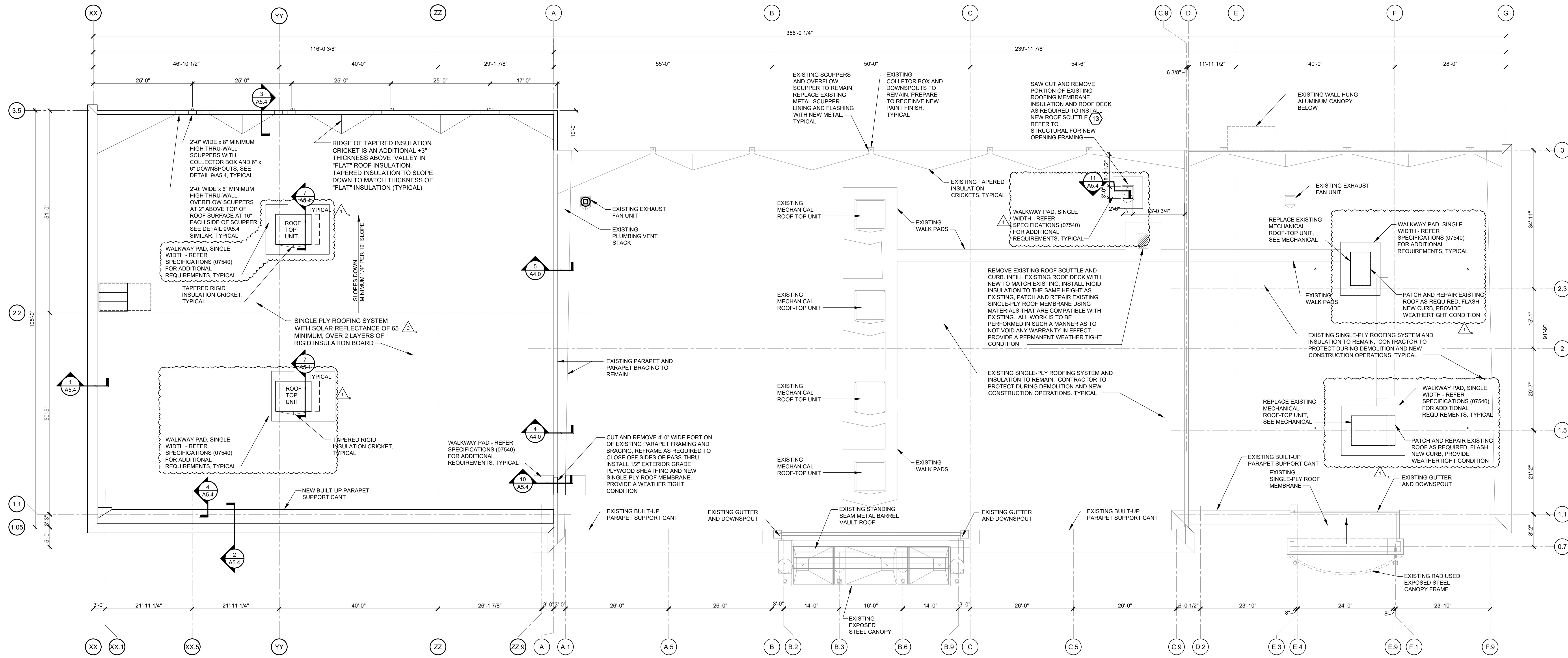
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PROFESSIONAL OF RECORD

MICHAEL SCOTT SUNDERMEYER  
License No.: AR030305  
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Owner Date: 07/06/22



**1** ROOF PLAN  
**A1.3** SCALE: 3/32" = 1'-0"



**GENERAL NOTES:**  
 1. NOT USED  
 2. THE FM WIND UPLIFT RATING FOR THIS PROJECT IS: FM CLASS 1-145, REFER TO SPECIFICATIONS

CONSTR. DOC. & REVISIONS

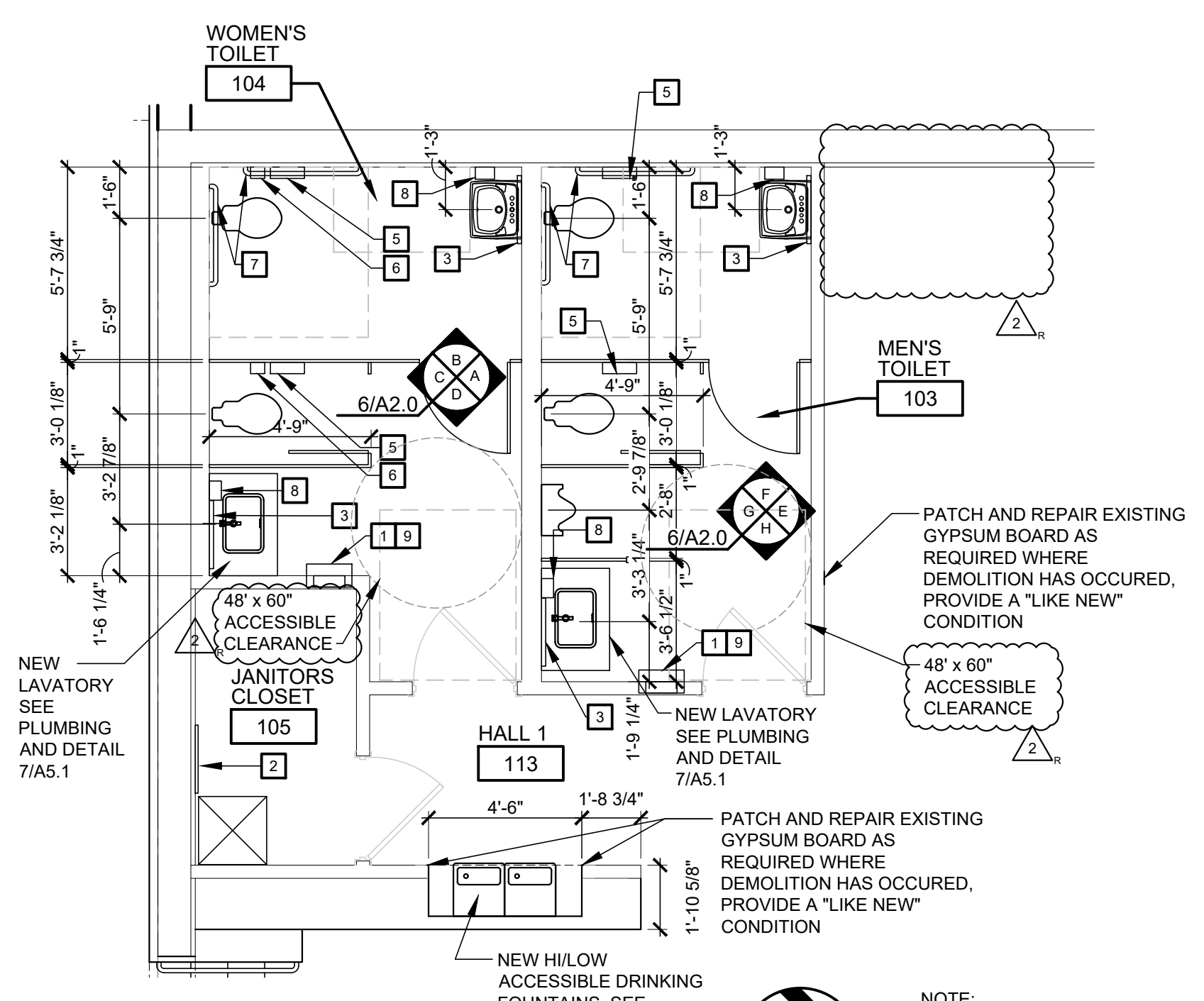
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| 1   | ADDENDUM #15  | 01/29/24 |

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 MICHAEL SCOTT SUNDERMEYER  
 License No.: AR03035  
 Expiration Date 02/28/25

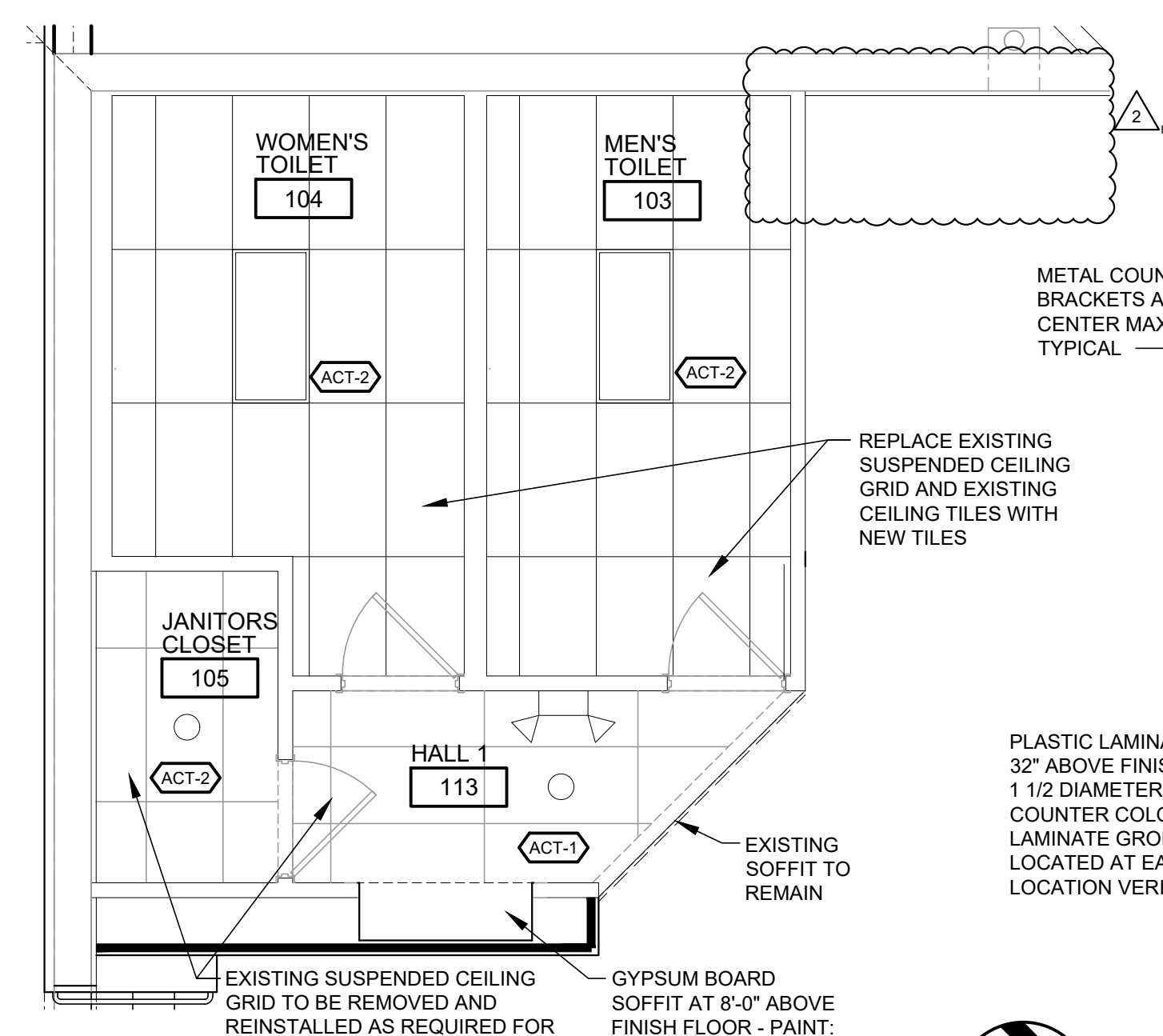
Drawn By/Checked By: dir/MSB  
 Project Number: 2101445  
 Bid Date: 11/09/23  
 Permit: 03/28/23  
 Owner Date: 07/06/22

**ROOMS TO GO** STORE EXPANSION AND REMODEL  
 18722 SOUTH DIXIE HIGHWAY,  
 CUTLER BAY, FL 33157

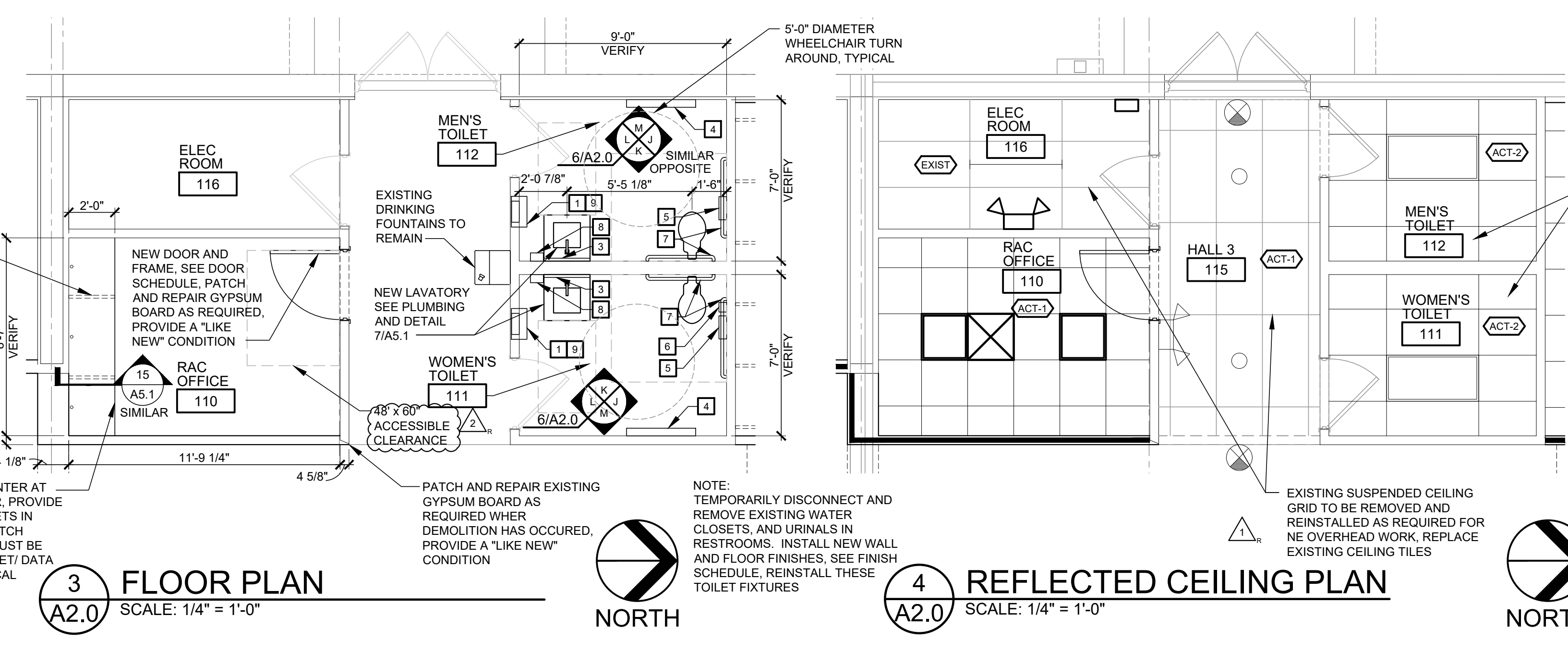




**1 FLOOR PLAN**  
A2.0 SCALE: 1/4" = 1'-0"



**2 REFLECTED CEILING PLAN**  
A2.0 SCALE: 1/4" = 1'-0"



**3 FLOOR PLAN**  
A2.0 SCALE: 1/4" = 1'-0"

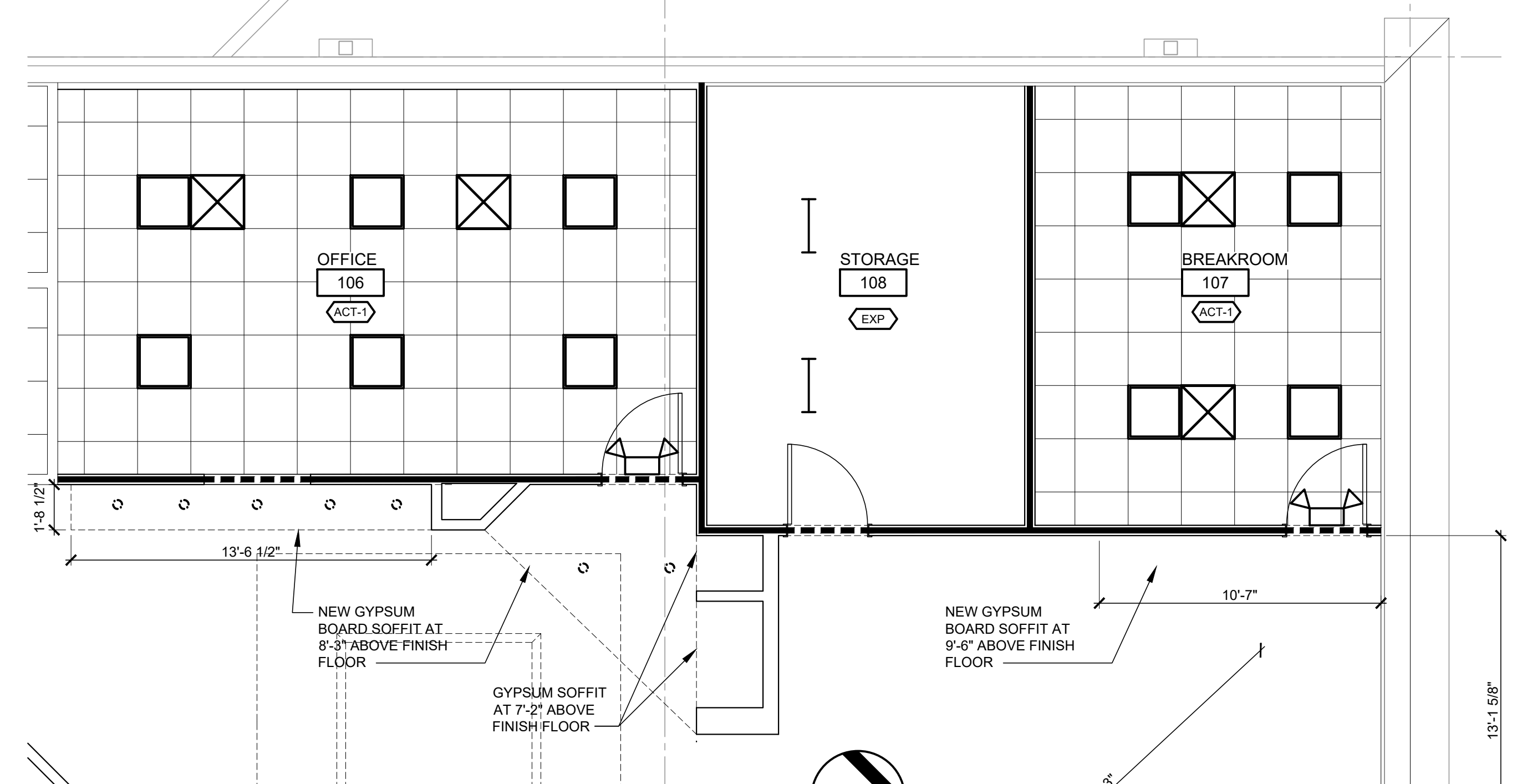
**4 REFLECTED CEILING PLAN**  
A2.0 SCALE: 1/4" = 1'-0"

**FLOOR PLAN GENERAL NOTES**

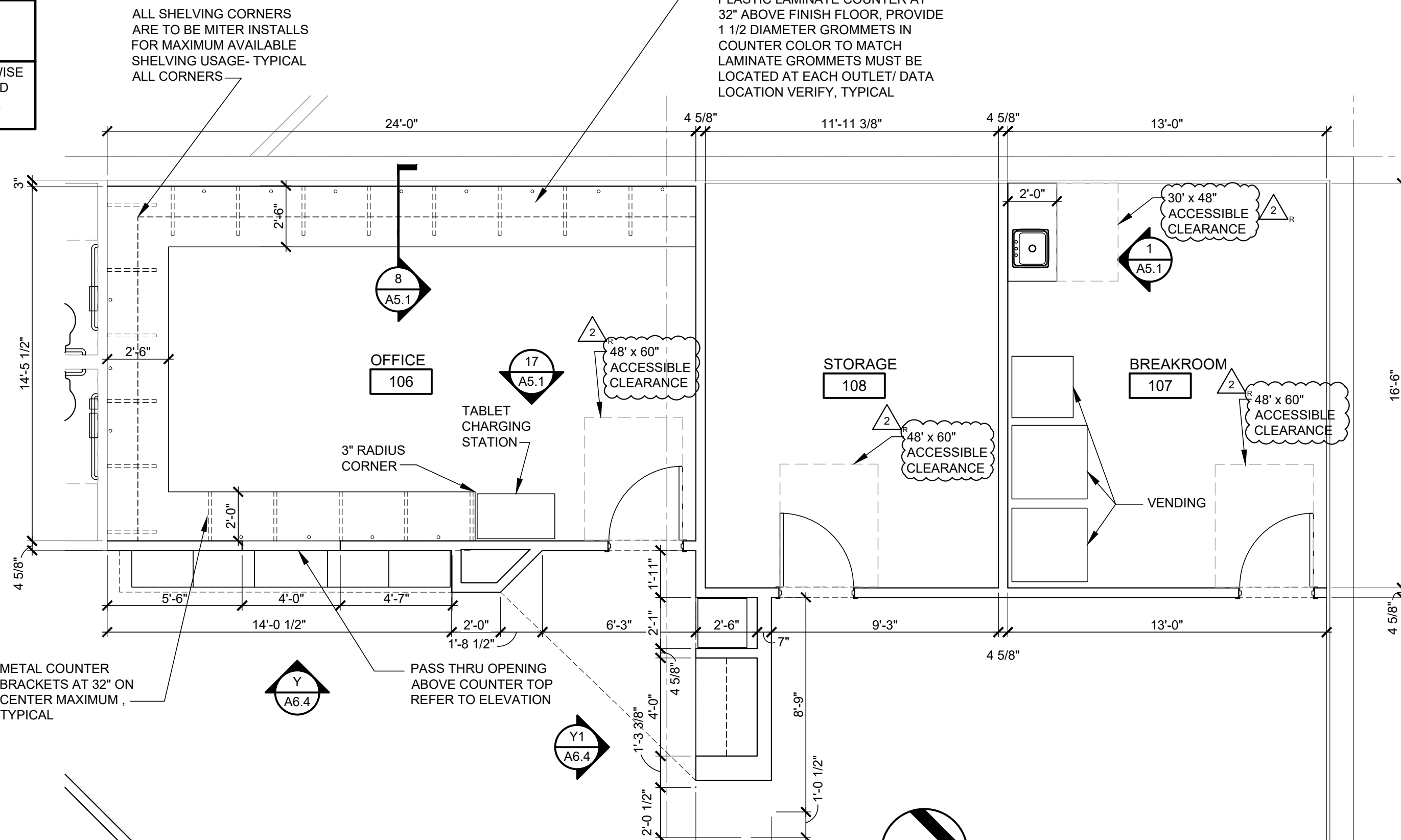
- HOLD INTERIOR DOORS OFF 6" FROM WALL UNLESS NOTED OTHERWISE
- ALL INTERIOR DIMENSIONS SHOWN ARE TO FACE OF GYPSUM BOARD
- ALL ANGLED WALLS SHOWN ARE AT 45° UNLESS NOTED OTHERWISE
- DIMENSIONS TO CENTER OF TOILET FIXTURES TYPICAL

**REFLECTED CEILING PLAN LEGEND**

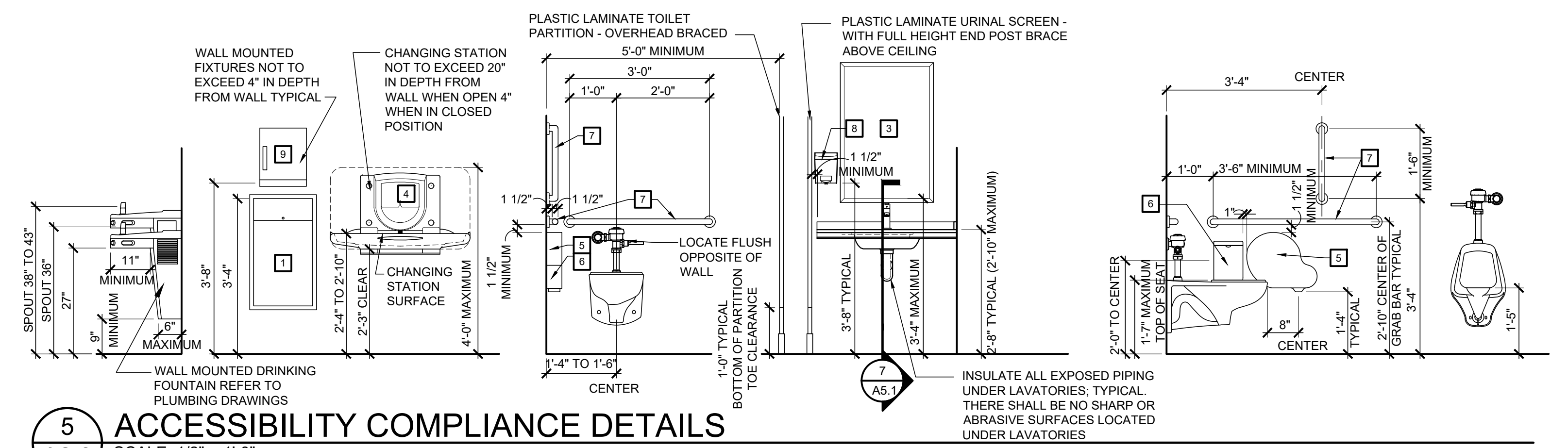
- FULL HEIGHT WALL - REFER TO PARTITION TYPES
- GYPSUM BOARD SOFFIT ABOVE DOORWAY / WALL OPENING TO CONTINUE TO STRUCTURE ABOVE
- CEILING MATERIAL - REFER TO ROOM FINISH SCHEDULE ON SHEET A8.0
- RECESSED LIGHT FIXTURE - REFER TO ELECTRICAL
- SURFACE MOUNTED STRIP LIGHT FIXTURE - REFER TO ELECTRICAL
- SUPPLY AIR DIFFUSER - REFER TO MECHANICAL
- EXHAUST DIFFUSER - REFER TO MECHANICAL
- RECESSED DOWNLIGHT - REFER TO ELECTRICAL
- EXIT LIGHT FIXTURE - REFER TO ELECTRICAL
- EMERGENCY LIGHT FIXTURE - REFER TO ELECTRICAL



**8 REFLECTED CEILING PLAN**  
A2.0 SCALE: 1/4" = 1'-0"

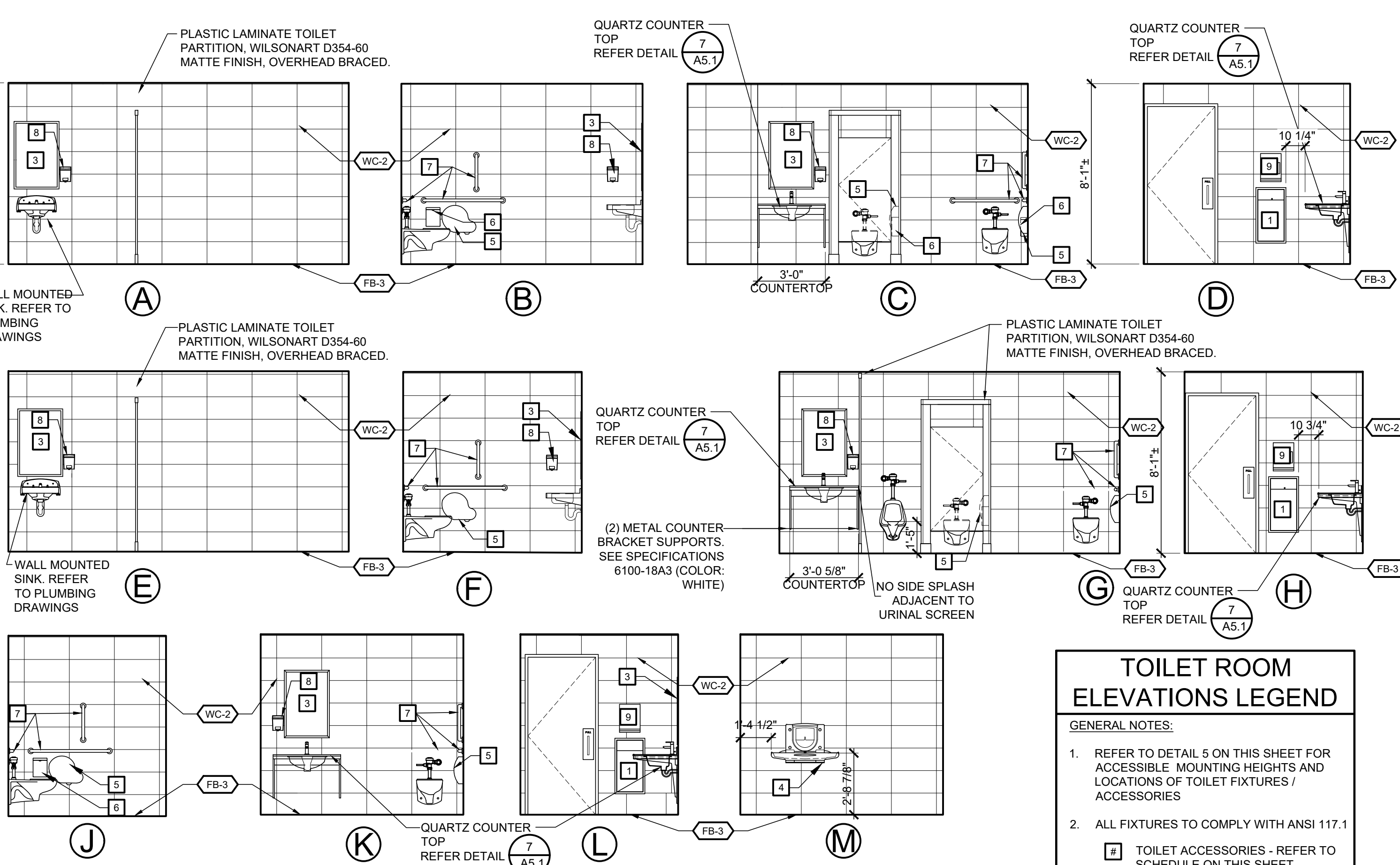


**7 FLOOR PLAN**  
A2.0 SCALE: 1/4" = 1'-0"



**5 ACCESSIBILITY COMPLIANCE DETAILS**  
A2.0 SCALE: 1/2" = 1'-0"

| TOILET ACCESSORIES |                                  |                            |  |                 |   |
|--------------------|----------------------------------|----------------------------|--|-----------------|---|
| NUMBER             | DESCRIPTION                      | MANUFACTURER               | CATALOG NUMBER                                       | FINISH          | REMARKS   |
| 1                  | WASTE RECEPTACLE (SEMI-RECESSED) | BOBRICK                    | B-3644   | STAINLESS STEEL | THE OPERATING PARTS OF ANY DISPENSING / DISPOSAL FIXTURE SHALL BE WITHIN 48" MAXIMUM OF FINISHED FLOOR  |
| 2                  | MOP HOLDER                       | BOBRICK                    | B-223x24   | STAINLESS STEEL | MOUNT CENTER AT 5'-0" ABOVE FINISHED FLOOR  |
| 3                  | MIRROR                           | BOBRICK                    | B-165-2436   | STAINLESS STEEL | MOUNT AT 3'-4" ABOVE FINISHED FLOOR TO BOTTOM EDGE OF REFLECTIVE SURFACE  |
| 4                  | BABY CHANGING STATION            | AMERICAN SPECIALTIES, INC. | 9012   | FACTORY         | SEE ACCESSIBILITY COMPLIANCE DETAILS ON THIS SHEET FOR MOUNTING HEIGHT INFORMATION  |
| 5                  | TOILET PAPER HOLDER              | BY OWNER                   |  |                 | MOUNT TO MAINTAIN 1 1/2" MINIMUM CLEAR FROM GRAB BAR ABOVE. LOCATE CENTER LINE 7" MINIMUM 9" MAXIMUM FROM FRONT OF TOILET AND 15" MINIMUM ABOVE FINISHED FLOOR TO CENTER OF DISPENSER OPENING   |
| 6                  | FEMININE NAPKIN DISPOSAL         | BOBRICK                    | B-270  | STAINLESS STEEL | MOUNT AT 2'-0" ABOVE FINISHED FLOOR TO CENTER OF DISPOSAL MOUNT ADJACENT TO TOILET PAPER HOLDER   |
| 7                  | GRAB BARS                        | BOBRICK                    | B-6806.99 18" VERTICAL 36" HORIZONTAL 42" HORIZONTAL | STAINLESS STEEL | 18" VERTICAL BAR MOUNT AT 3'-4" ABOVE FINISHED FLOOR TO CENTER OF BOTTOM BAR END. LOCATE BAR 3'-4" FROM REAR WALL. 36" HORIZONTAL BAR MOUNT AT 2'-10" ABOVE FINISHED FLOOR TO CENTER. LOCATE ONE END 6" FROM SIDE WALL. 42" HORIZONTAL BAR MOUNT AT 3'-10" ABOVE FINISHED FLOOR TO CENTER. LOCATE ONE END 12" FROM REAR WALL. |
| 8                  | SOAP DISPENSER                   | BY OWNER                   |  |                 | MOUNT AT 3'-8" ABOVE FINISHED FLOOR TO CENTER OF NOZZLE   |
| 9                  | HAND TOWEL DISPENSER             | BY OWNER                   |  |                 | MOUNT AT 3'-8" ABOVE FINISHED FLOOR TO CENTER OF OPERATOR MECHANISM   |



**6 TOILET ROOM ELEVATIONS**  
A2.0 SCALE: 1/4" = 1'-0"

**TOILET ROOM ELEVATIONS LEGEND**

GENERAL NOTES:

- REFER TO DETAIL 5 ON THIS SHEET FOR ACCESSIBLE MOUNTING HEIGHTS AND LOCATIONS OF TOILET FIXTURES / ACCESSORIES
- ALL FIXTURES TO COMPLY WITH ANSI 117.1

TOILET ACCESSORIES - REFER TO SCHEDULE ON THIS SHEET

XX WALL / FLOOR BASE FINISHES - REFER TO SHEET A8.0

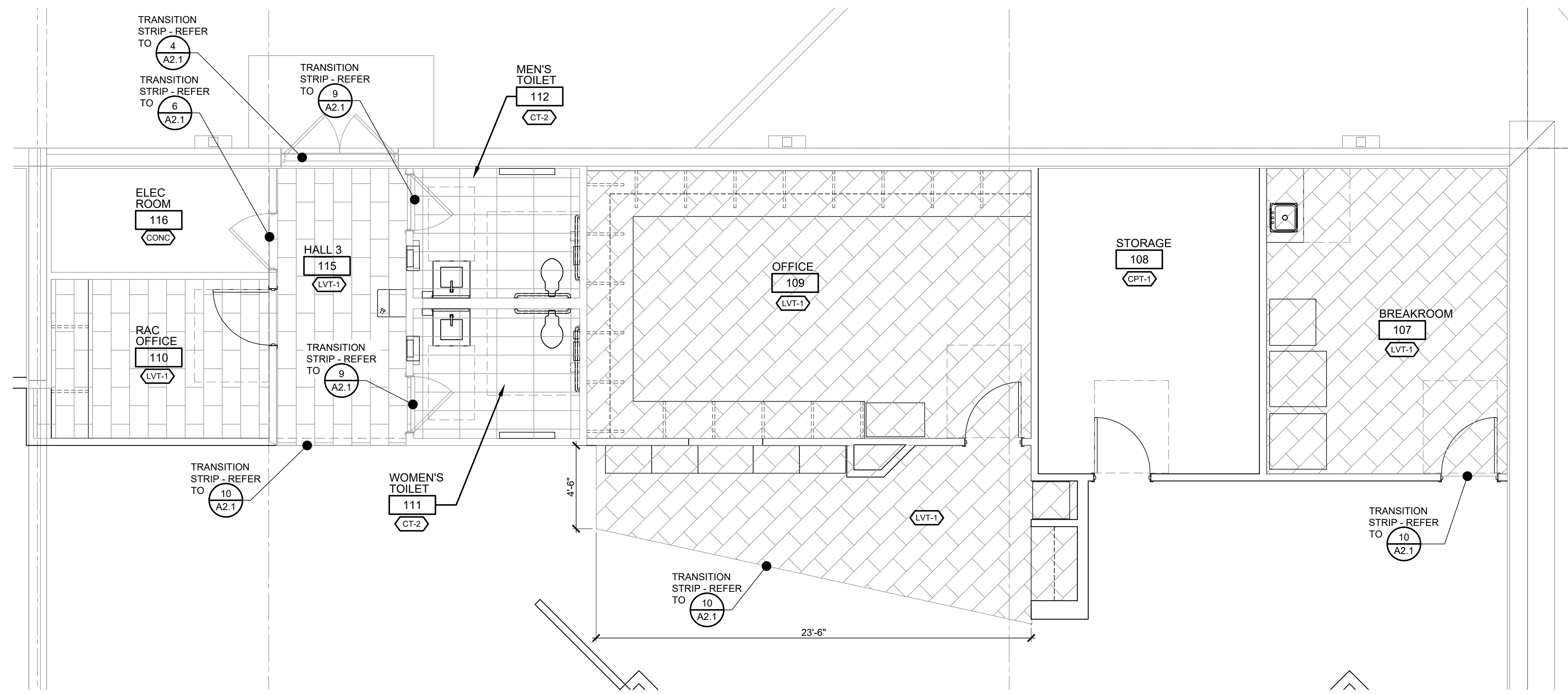
CONSTR. DOC. & REVISIONS

No. Description  
1 ADDENDUM 2  
2 ADDENDUM #5

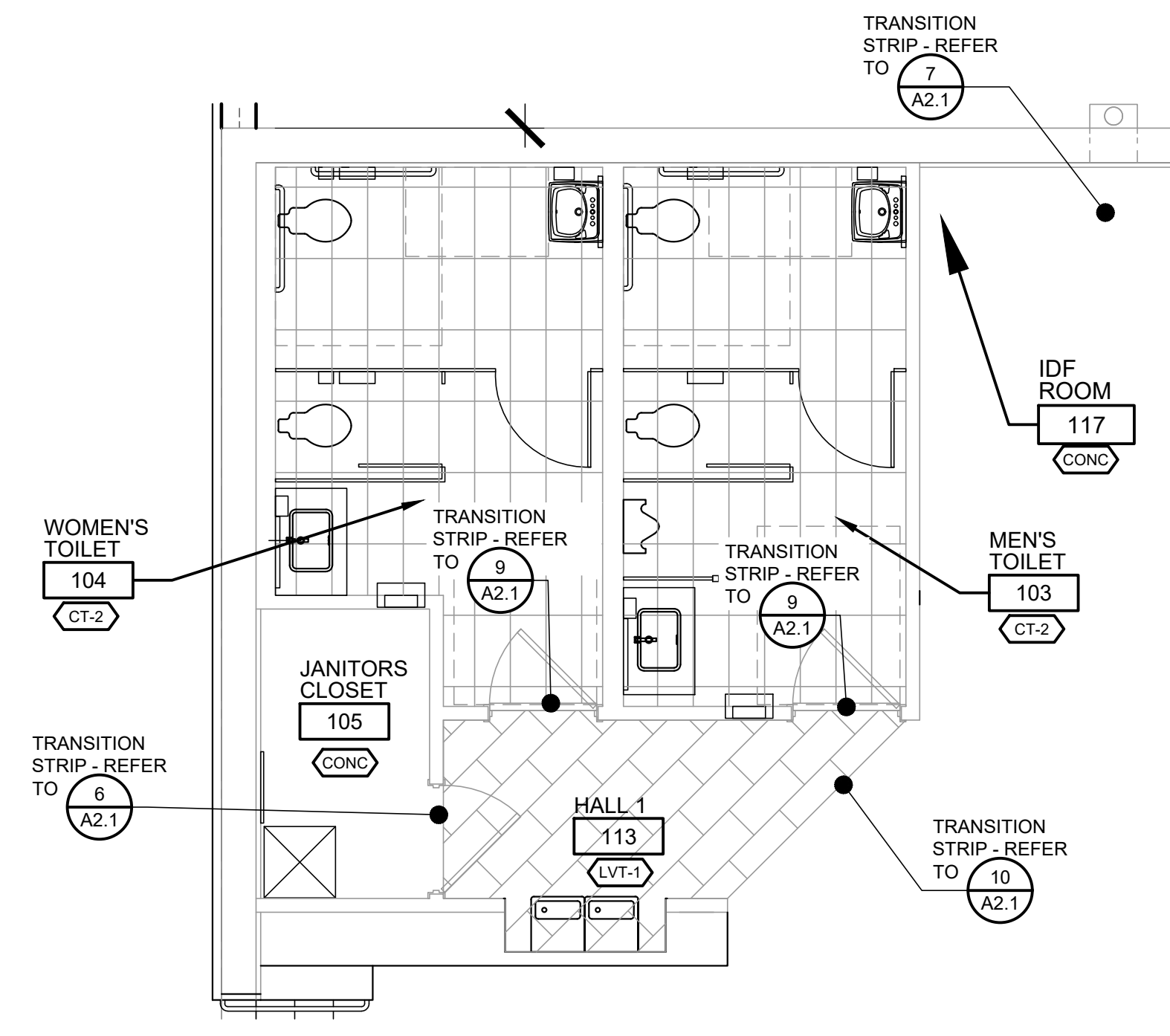
Date  
11/29/23  
01/29/24

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MICHAEL SCOTT SUNDERMEYER  
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Expiration Date 02/28/25

Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22



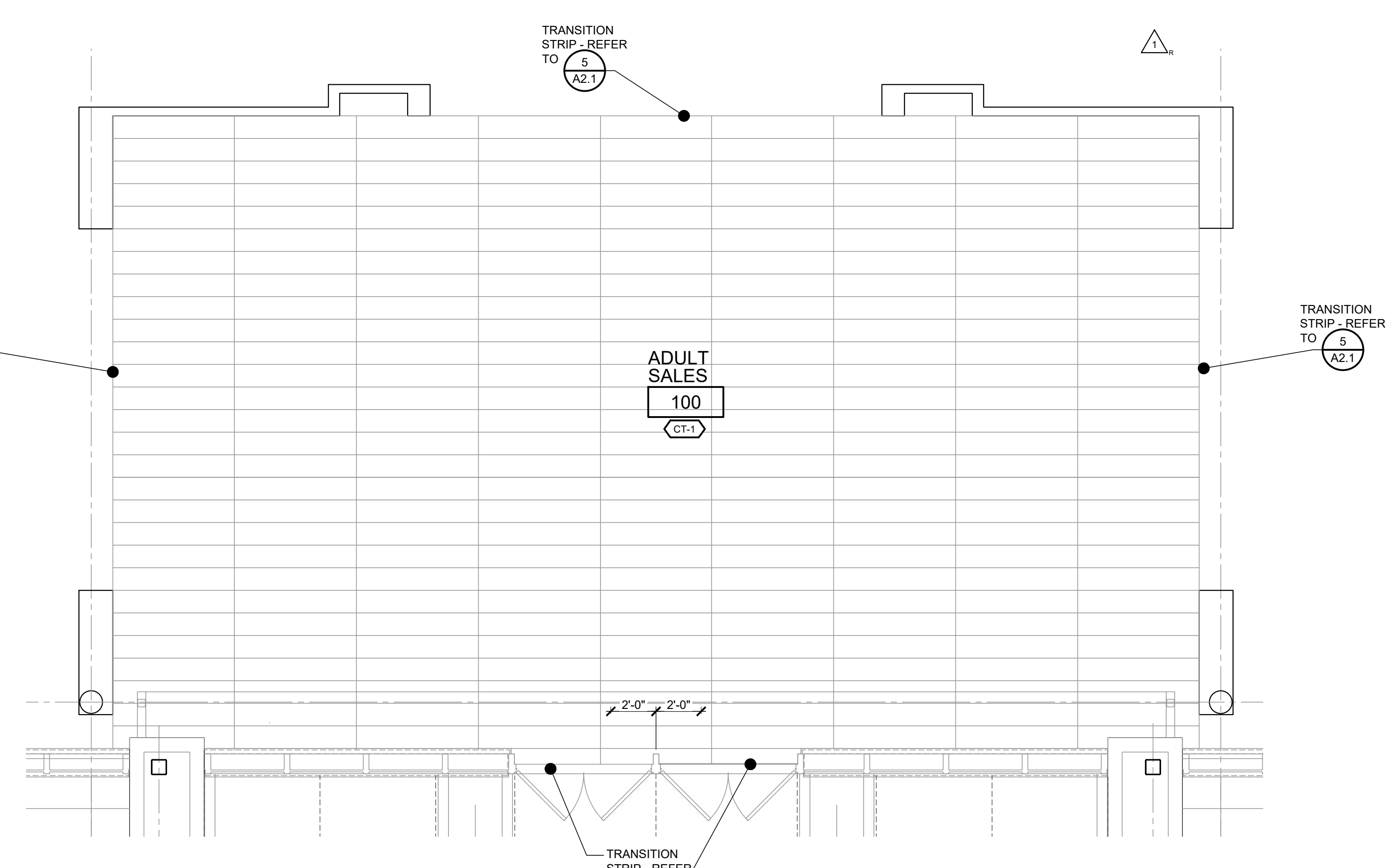
**1 FLOORING PLAN**  
 A2.1 SCALE: 1/4" = 1'-0"  
 NORTH



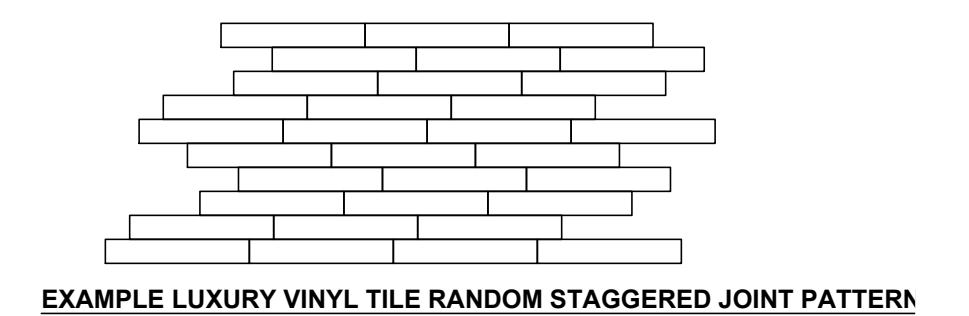
**2 FLOORING PLAN**  
 A2.1 SCALE: 1/4" = 1'-0"  
 NORTH



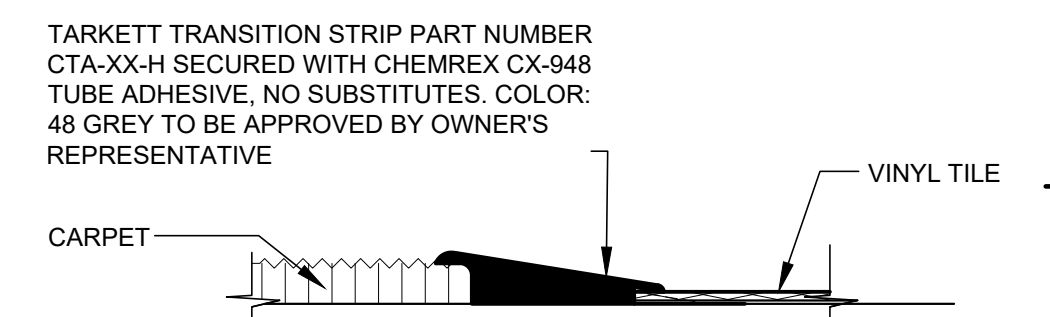
**3 NOT USED**  
 A2.1 SCALE: 1/4" = 1'-0"  
 NORTH



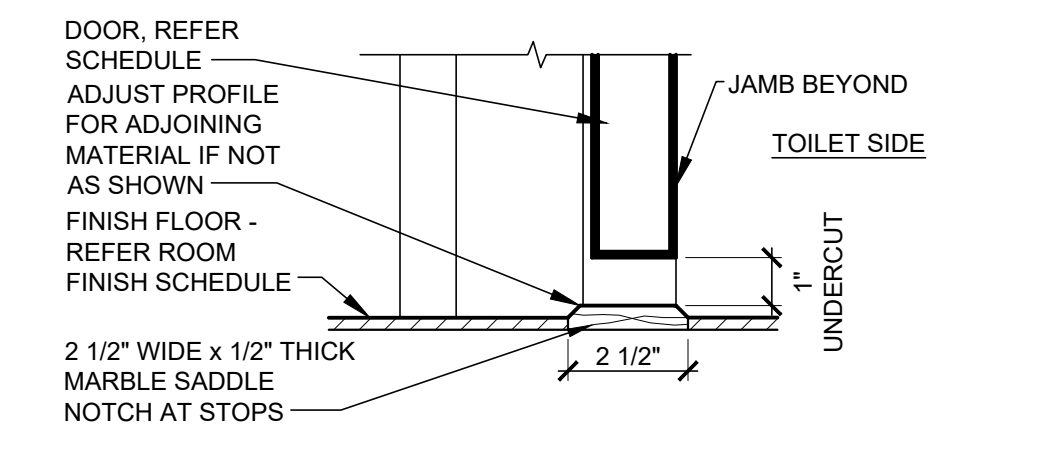
**4 FLOORING PLAN**  
 A2.1 SCALE: 1/4" = 1'-0"  
 NORTH



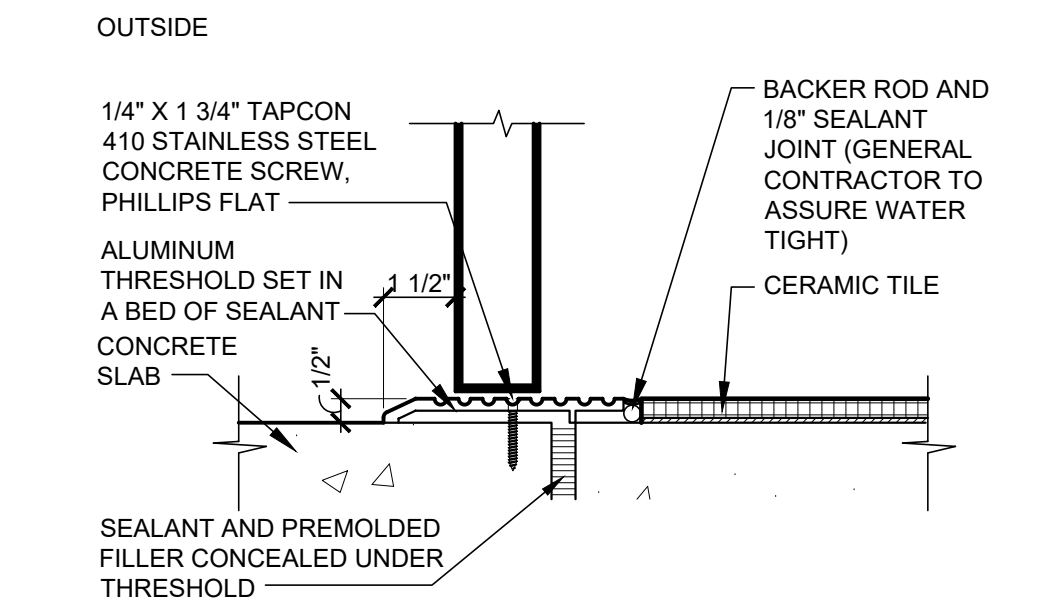
**11 JOINT PATTERN EXAMPLE**  
 A2.1 SCALE: NOT TO SCALE



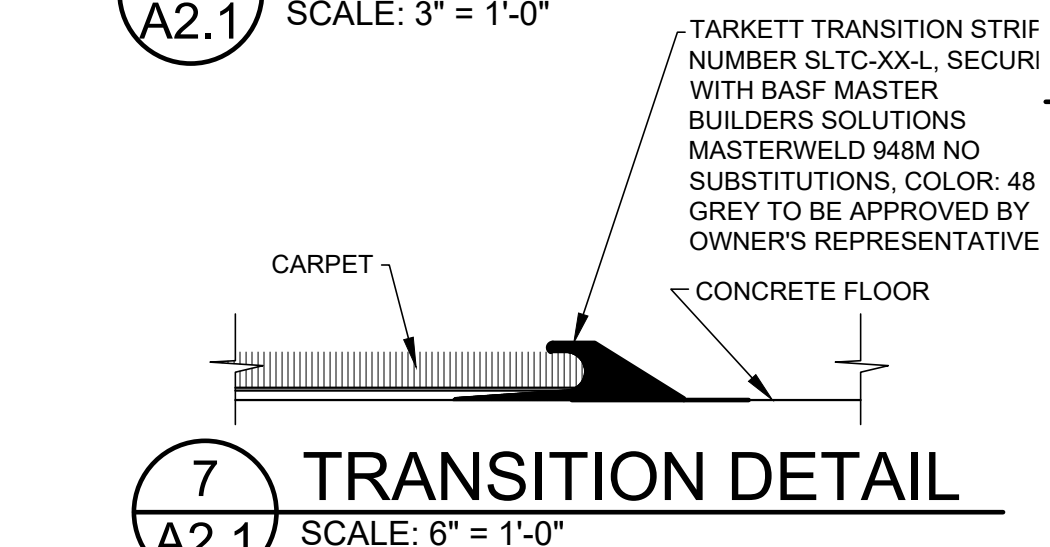
**10 TRANSITION DETAIL**  
 A2.1 SCALE: 3" = 1'-0"



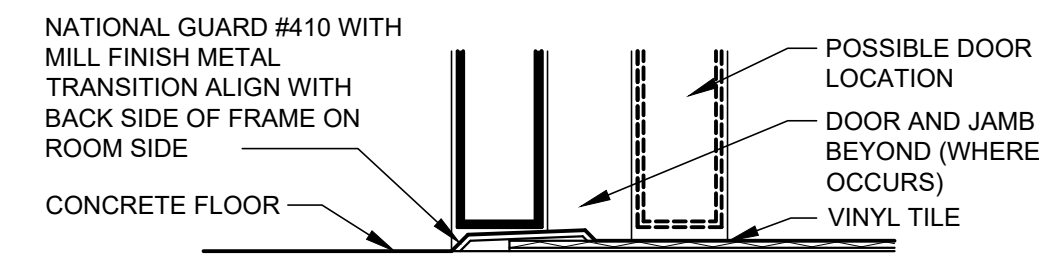
**9 TRANSITION DETAIL**  
 A2.1 SCALE: 3" = 1'-0"



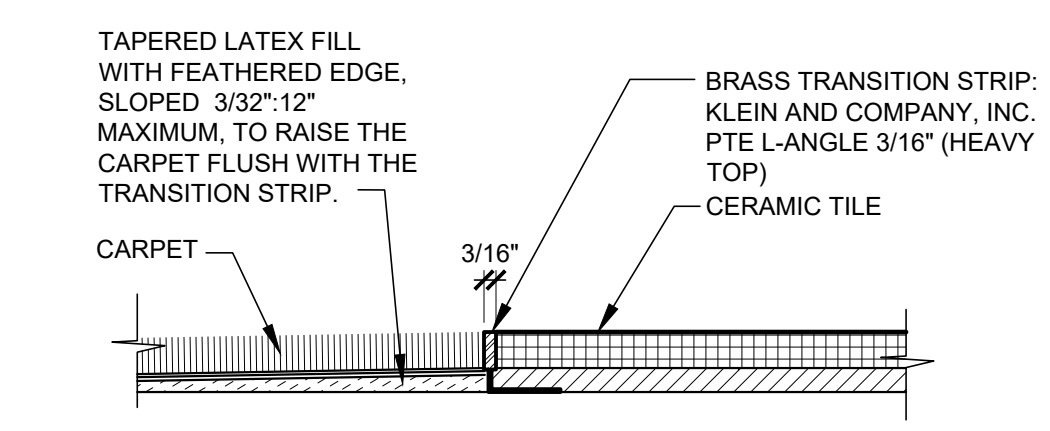
**8 TRANSITION DETAIL**  
 A2.1 SCALE: 3" = 1'-0"



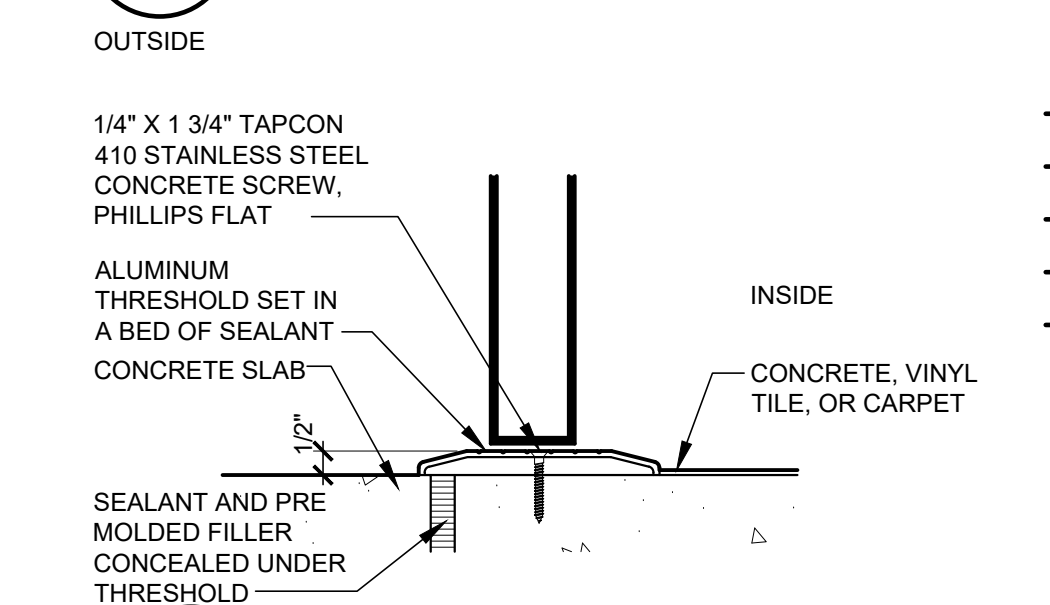
**7 TRANSITION DETAIL**  
 A2.1 SCALE: 6" = 1'-0"



**6 TRANSITION DETAIL**  
 A2.1 SCALE: 3" = 1'-0"



**5 TRANSITION DETAIL**  
 A2.1 SCALE: 3" = 1'-0"



**4 TRANSITION DETAIL**  
 A2.1 SCALE: 3" = 1'-0"

STORE EXPANSION AND REMODEL

**ROOMS TO GO**

18722 SOUTH DIXIE HIGHWAY,  
 CUTLER BAY, FL 33157

CONSTR. DOC. & REVISIONS

| No. | Description | Date     |
|-----|-------------|----------|
| 1   | ADDENDUM 2  | 11/29/23 |
| 2   | ADDENDUM #5 | 01/29/24 |

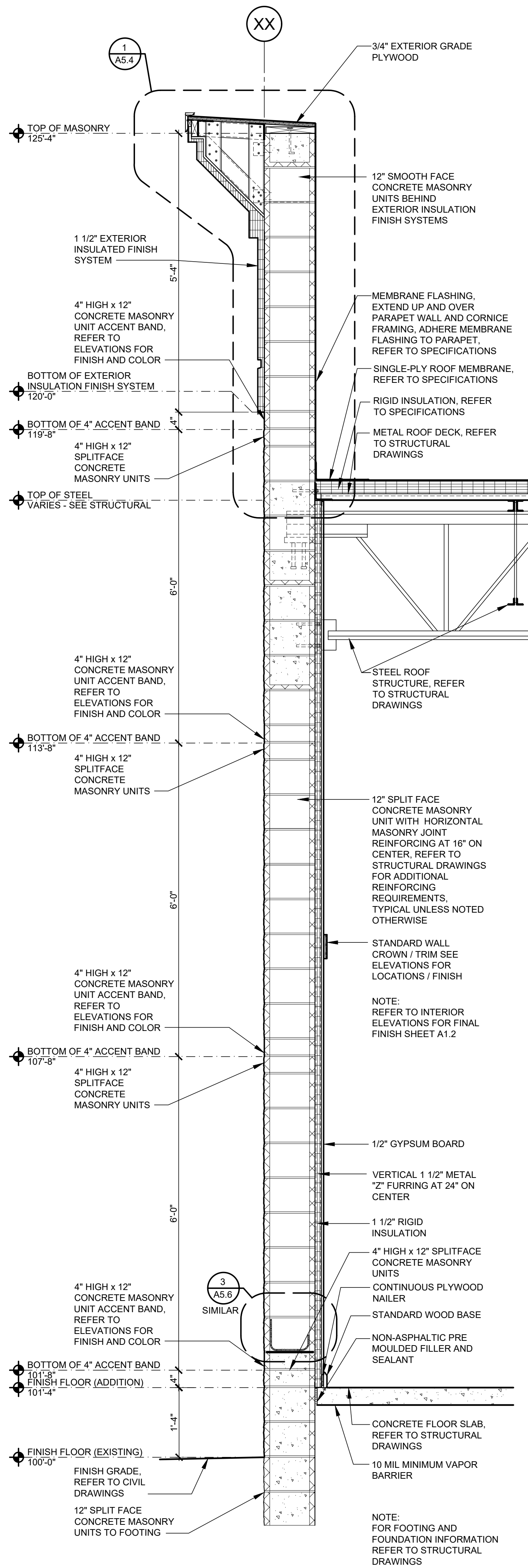
PROFESSIONAL OF RECORD  
 MICHAEL SCOTT SUNDERMEYER  
 License No.: AR03035  
 Expiration Date 03/28/25

|                      |          |
|----------------------|----------|
| Drawn By/Checked By: | dir/MSB  |
| Project Number       | 2101445  |
| Bid Date             | 11/09/23 |
| Permit               | 03/28/23 |
| Owner Date           | 07/06/22 |

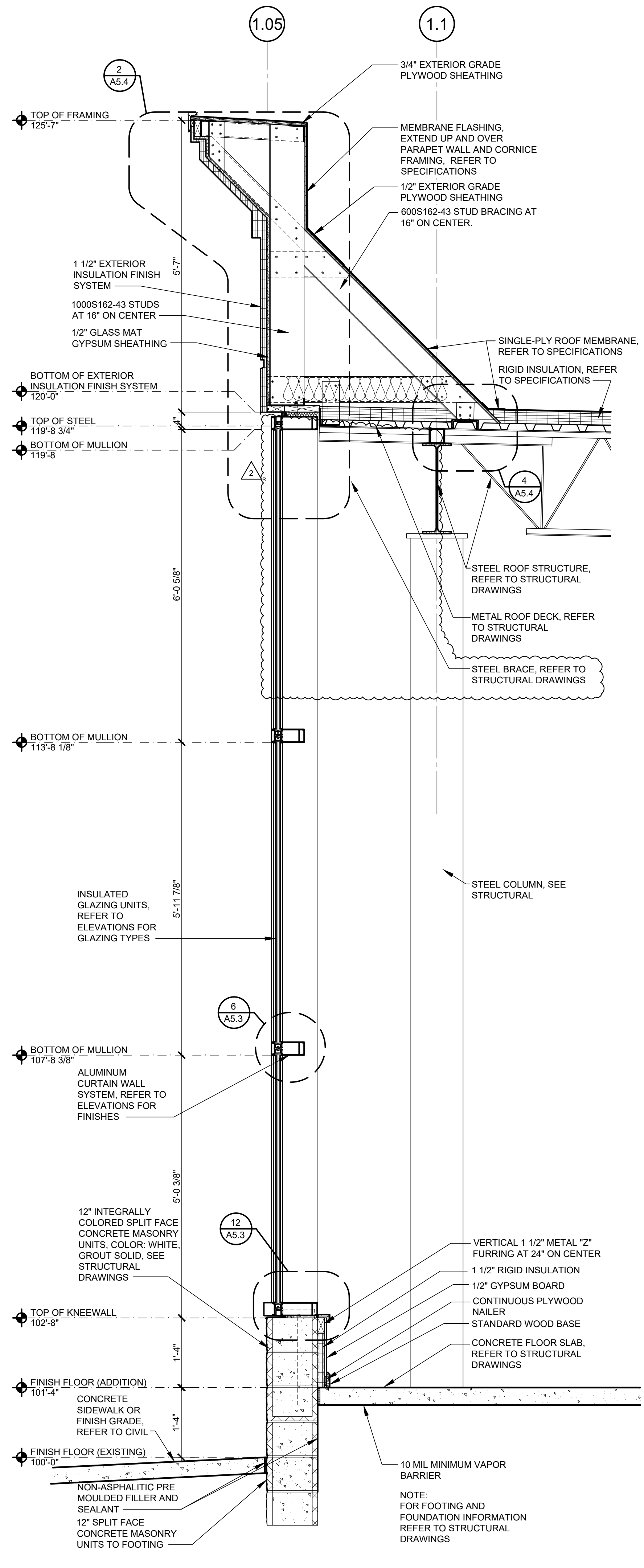
**ENLARGED FLOOR FINISH PLANS**  
**A2.1**



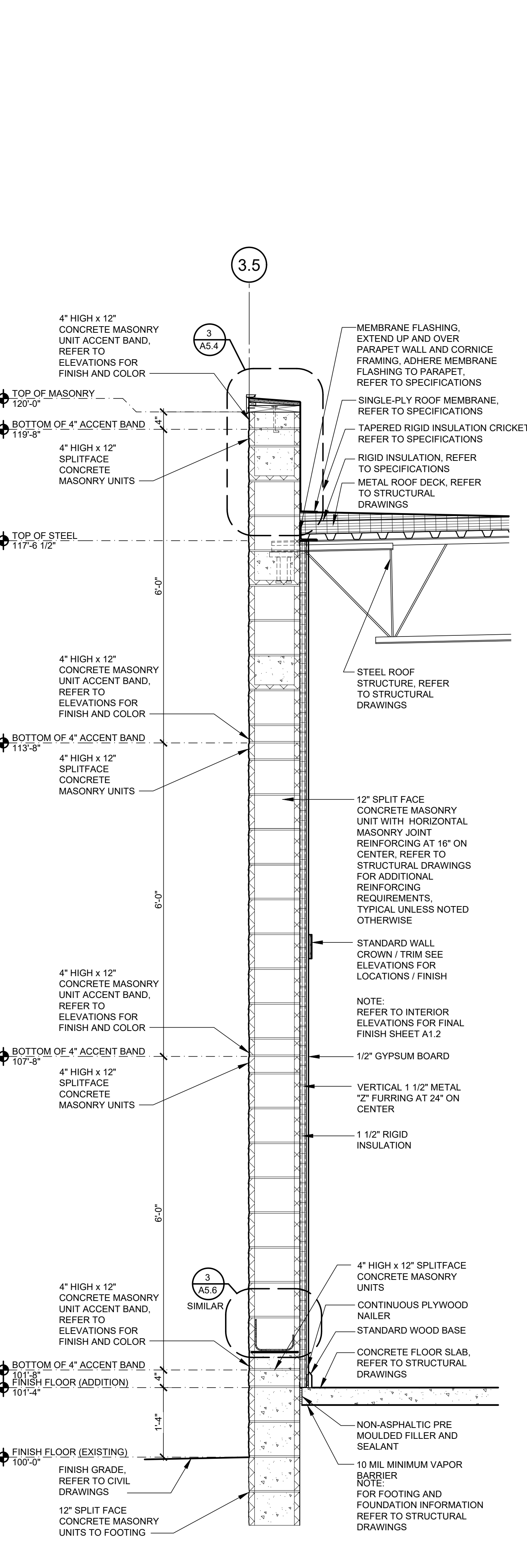




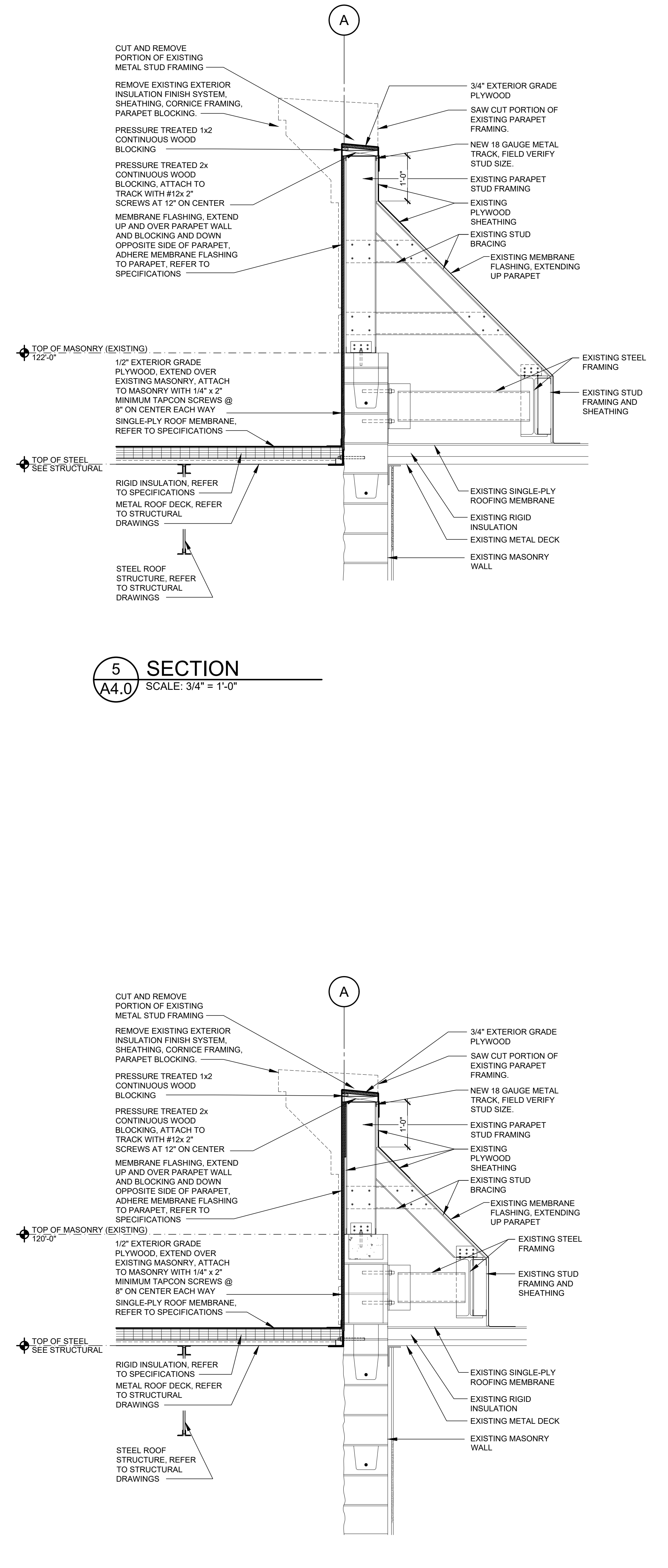
**1 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**2 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**3 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**4 SECTION**  
SCALE: 3/4" = 1'-0"

**ROOMS TO GO** STORE EXPANSION AND REMODEL

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |

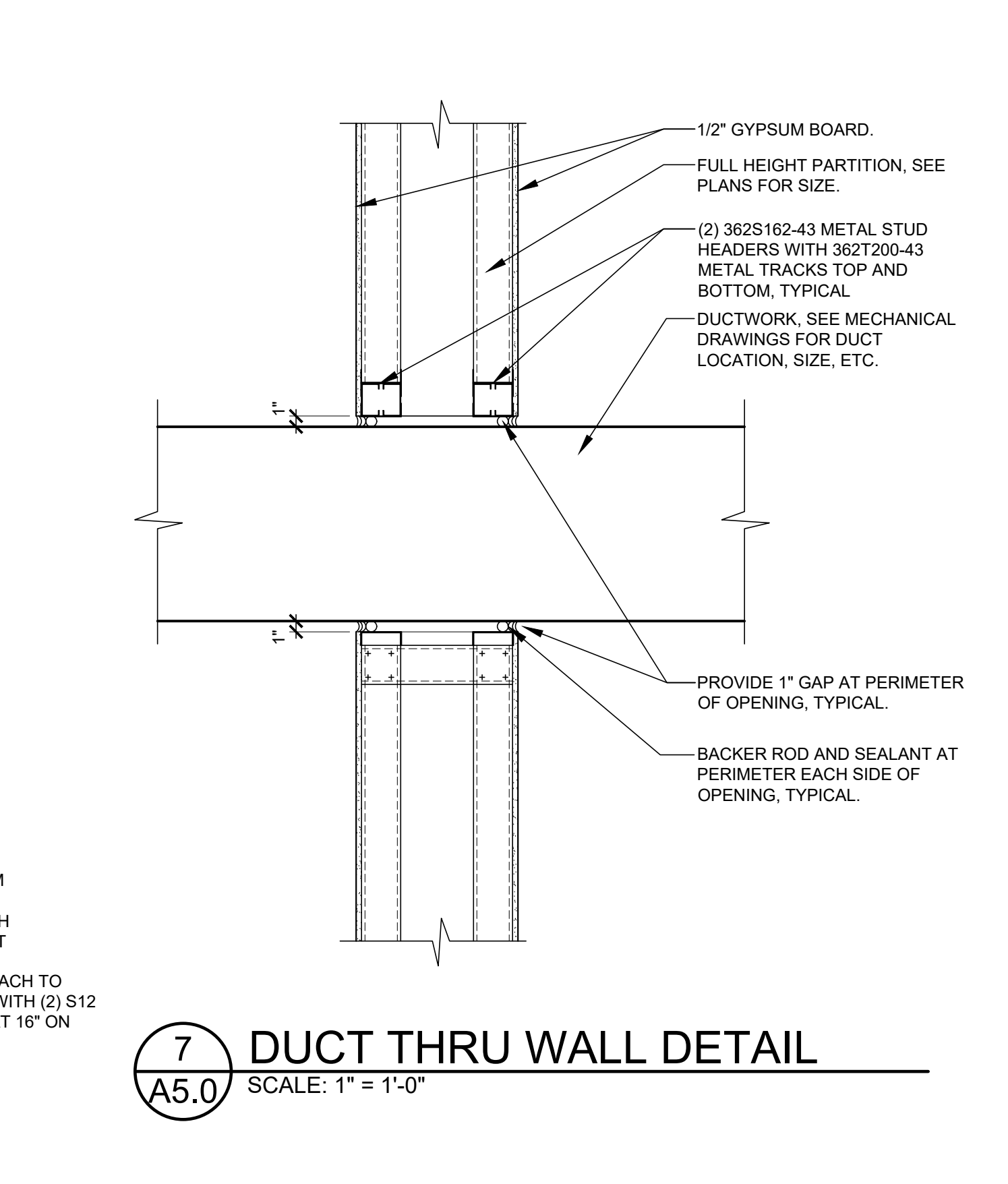
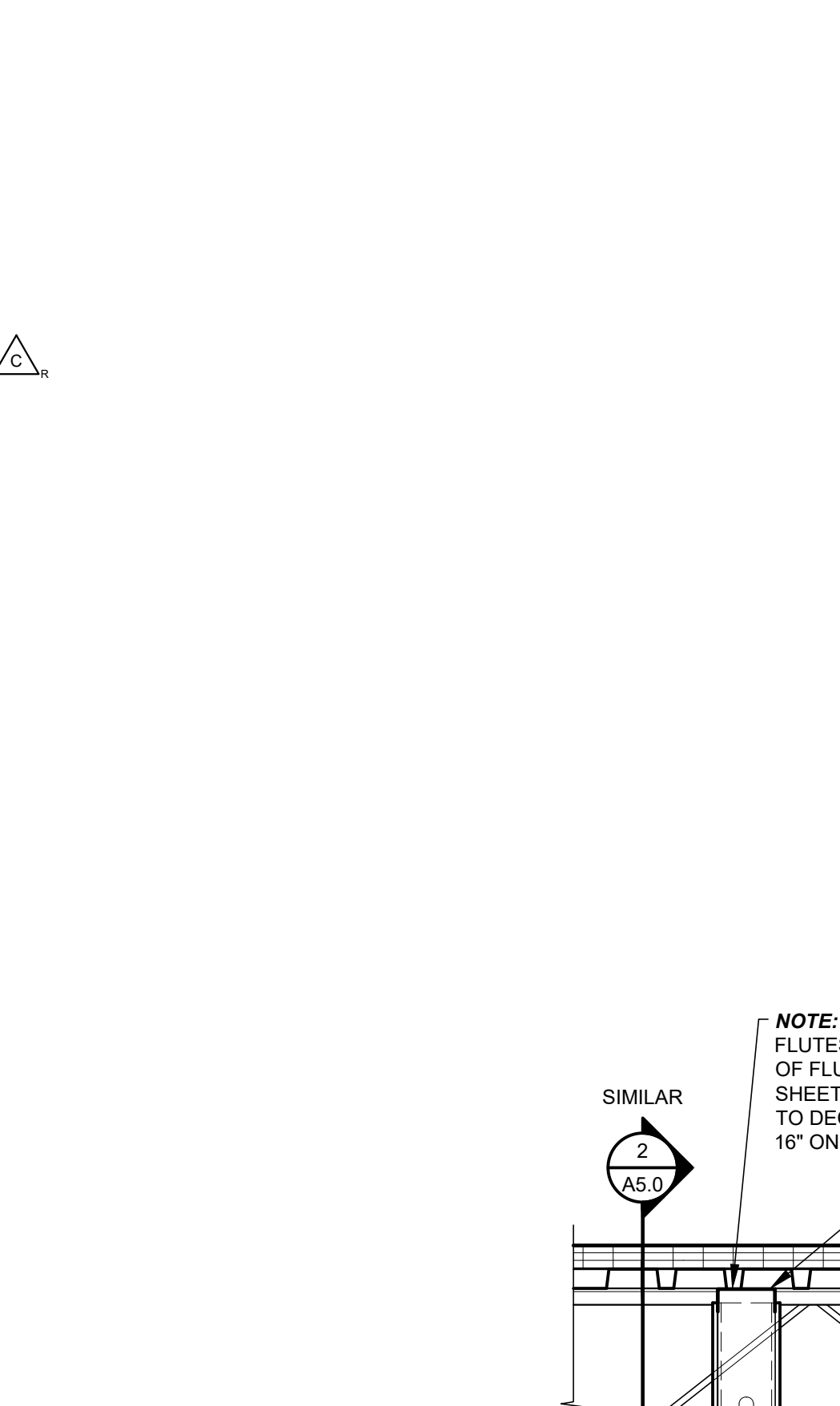
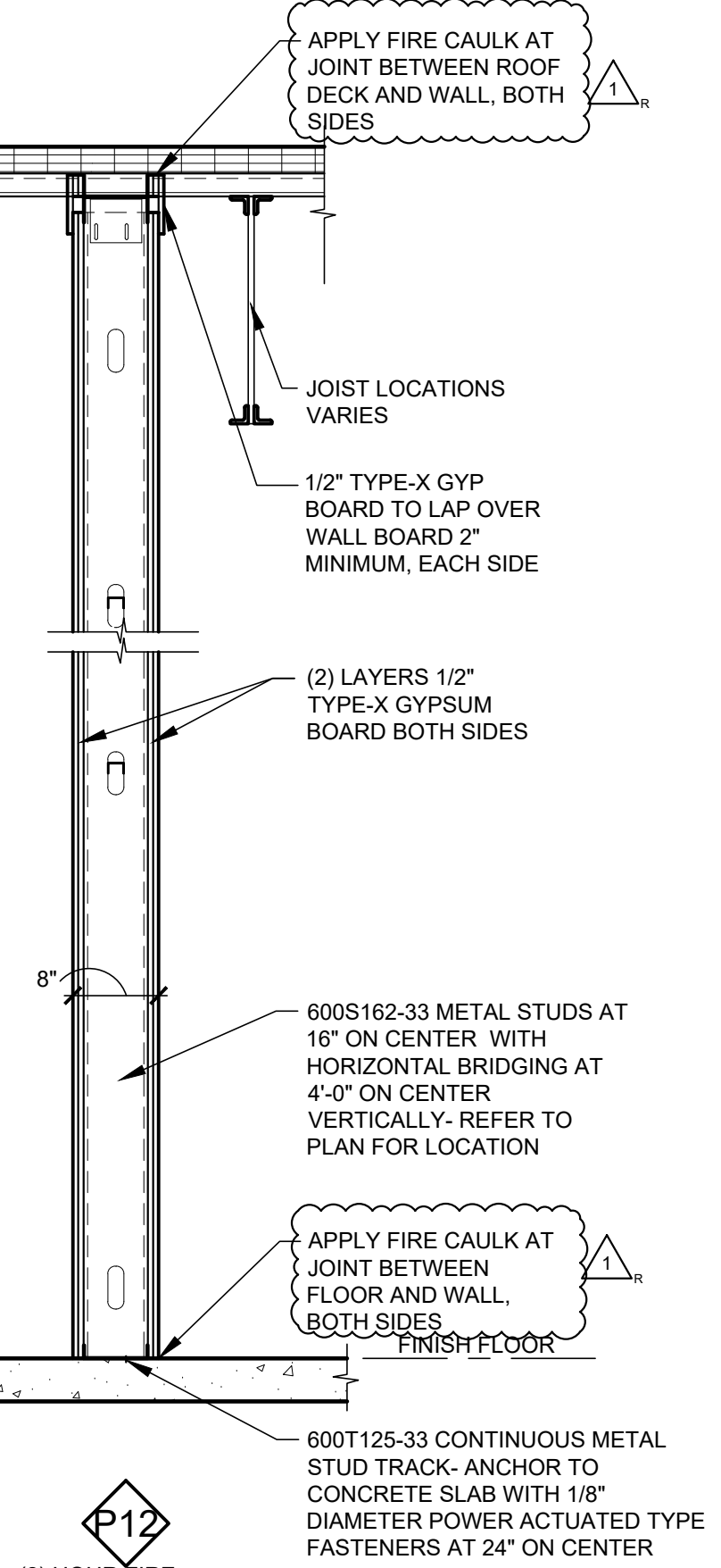
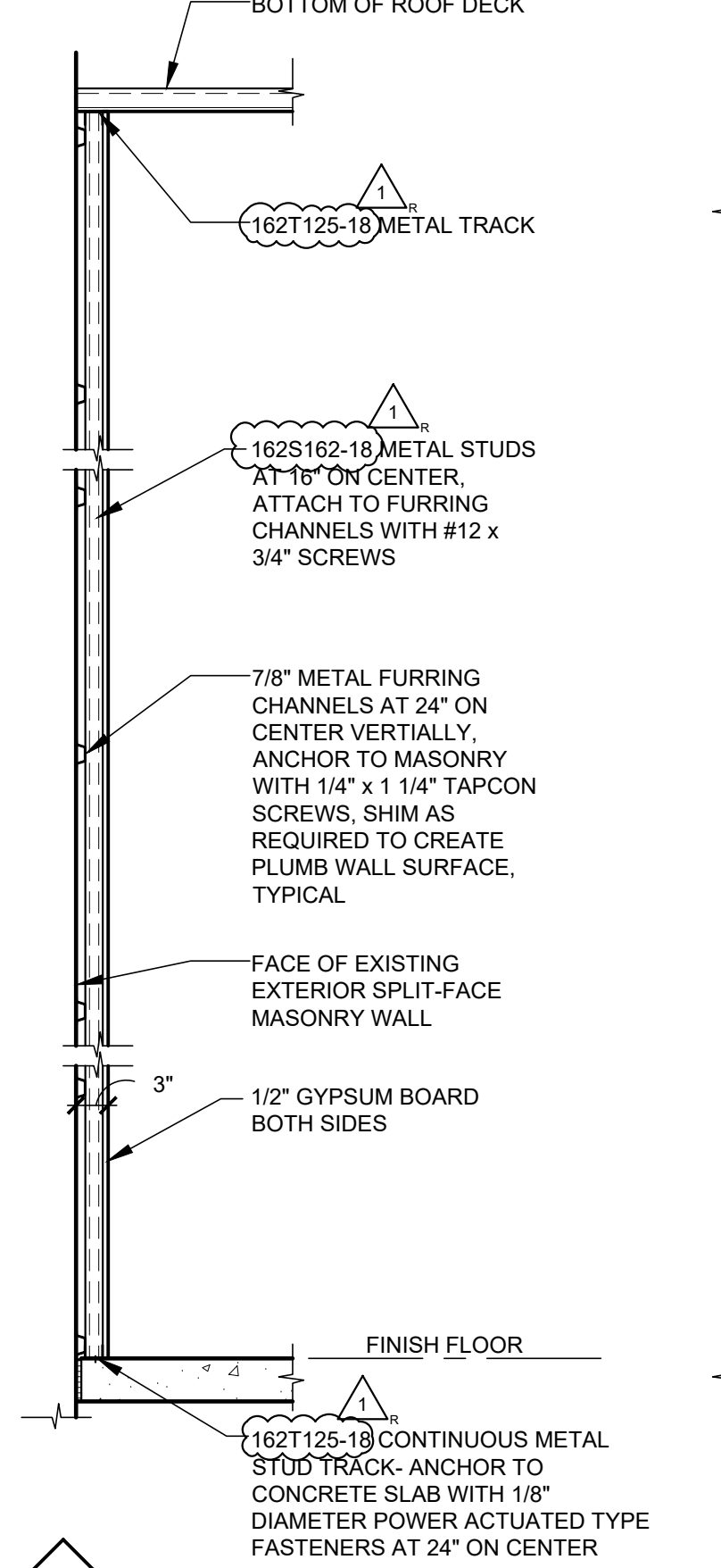
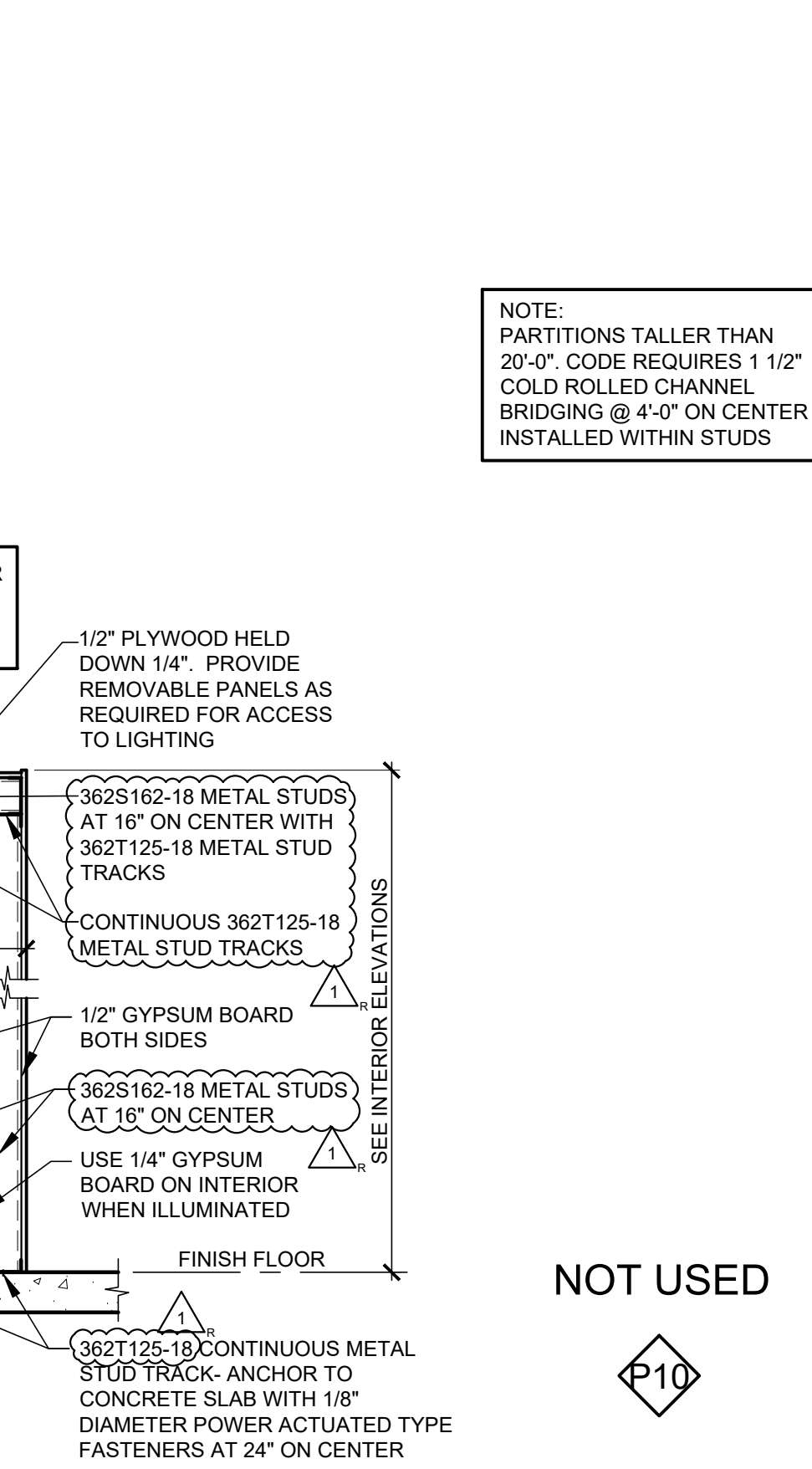
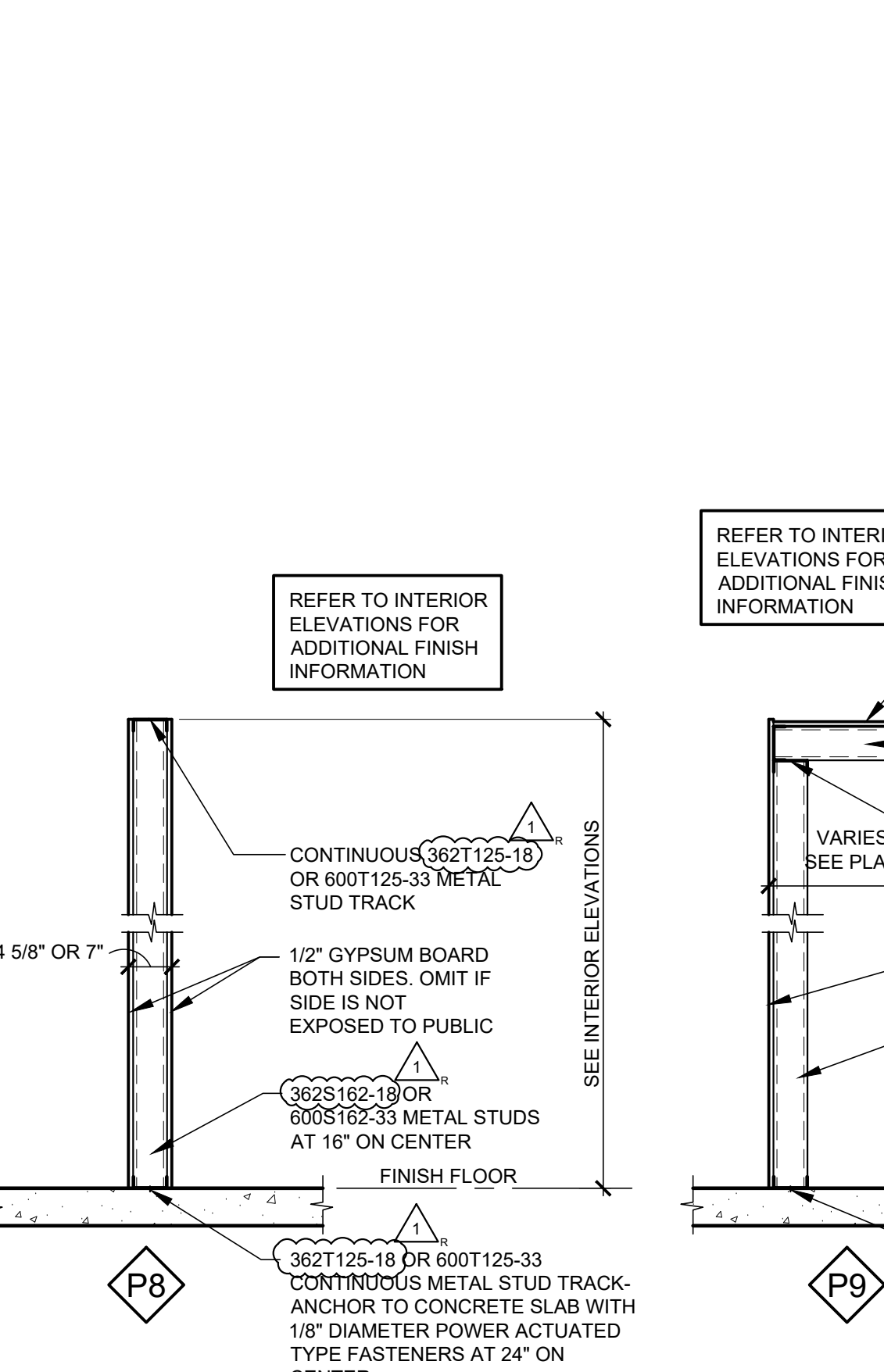
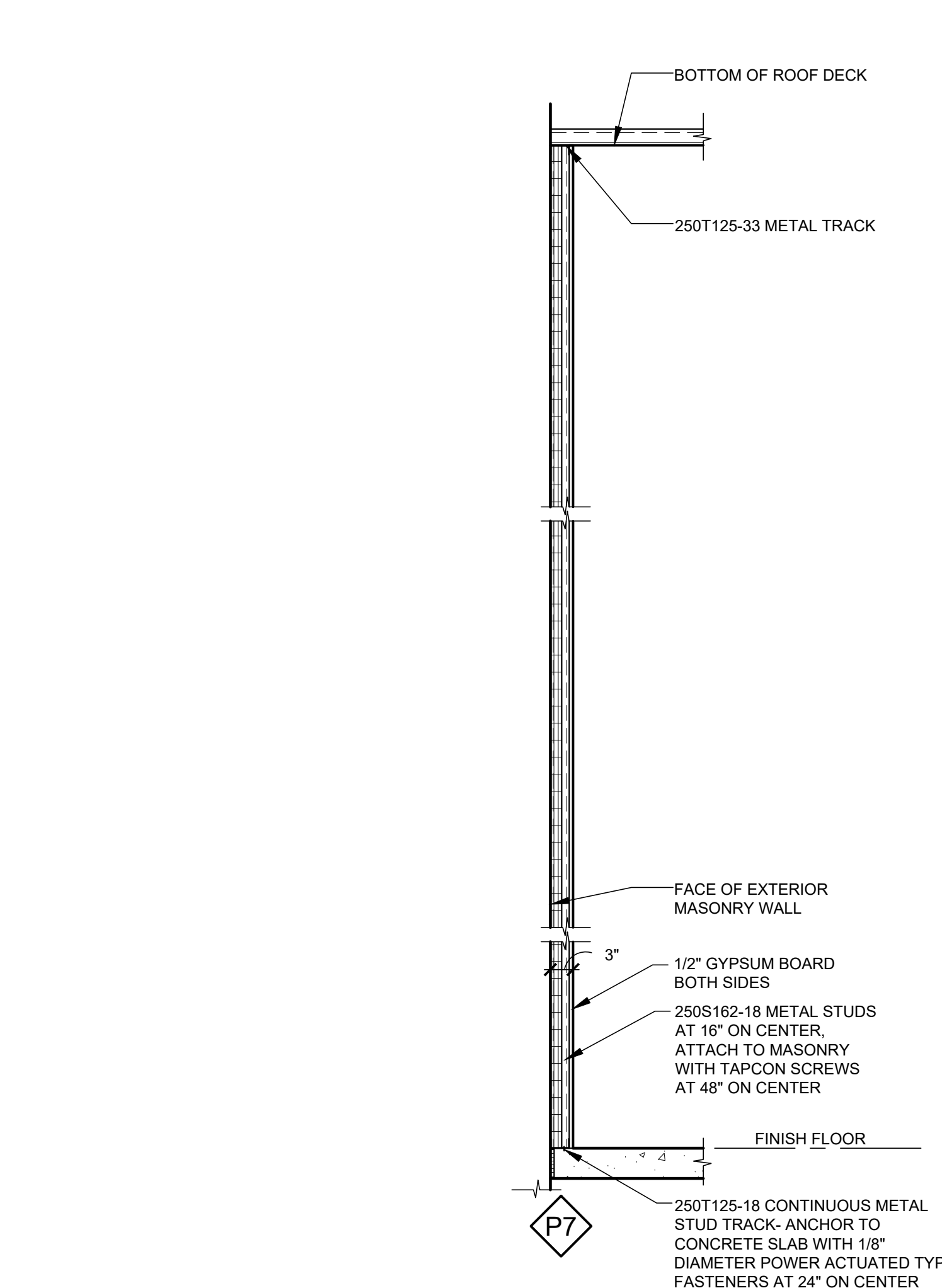
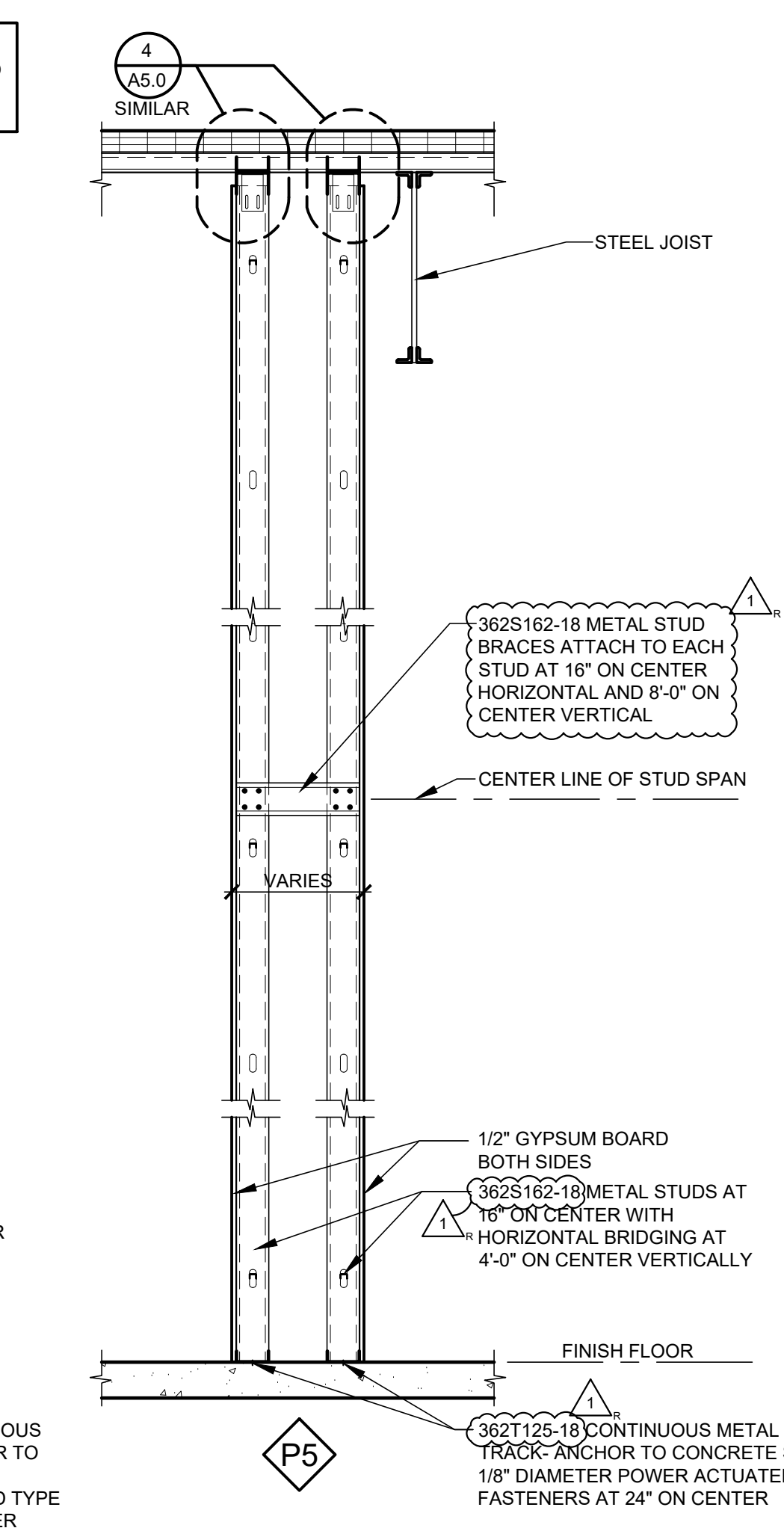
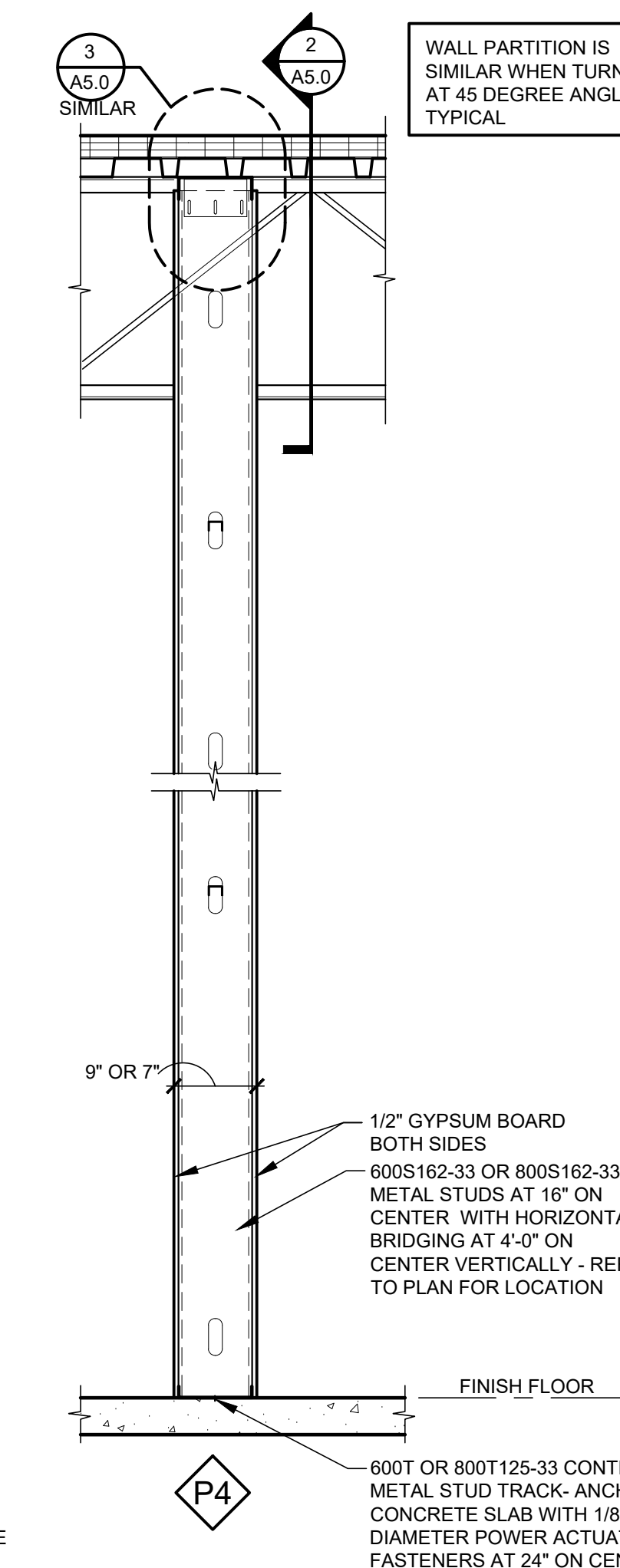
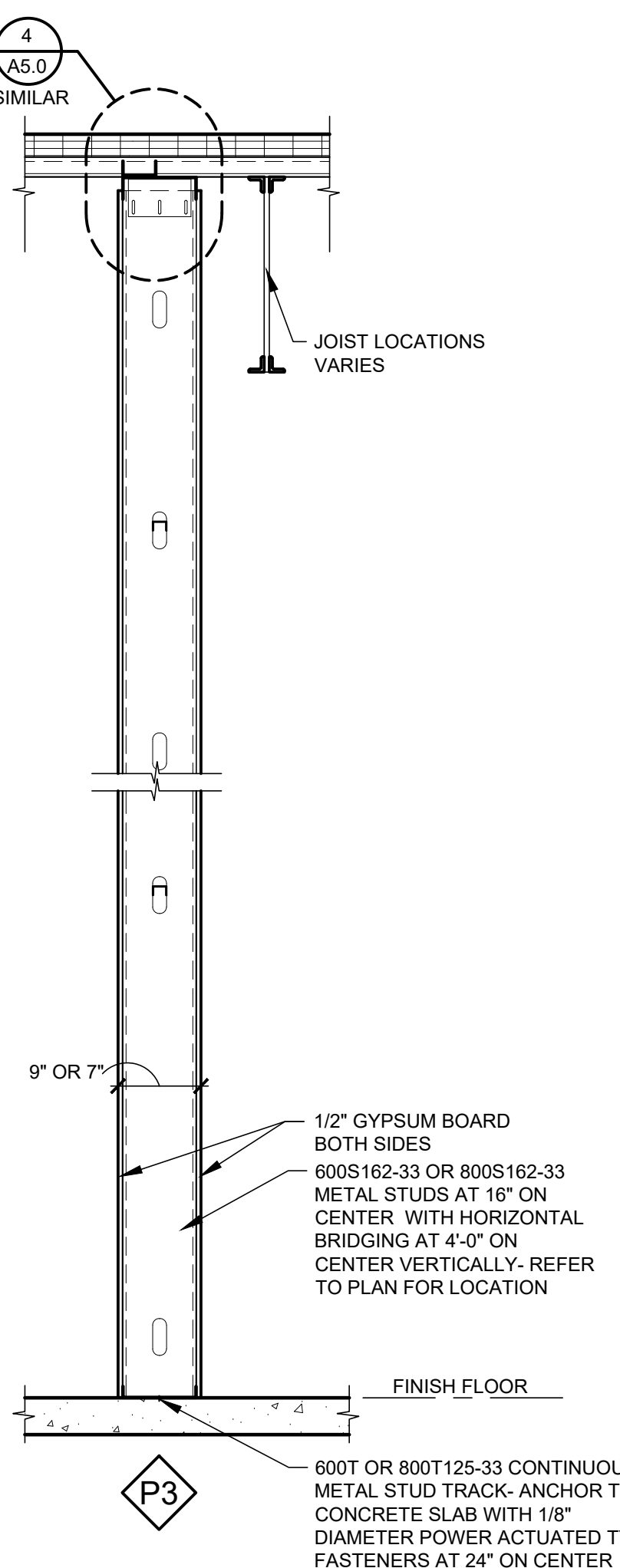
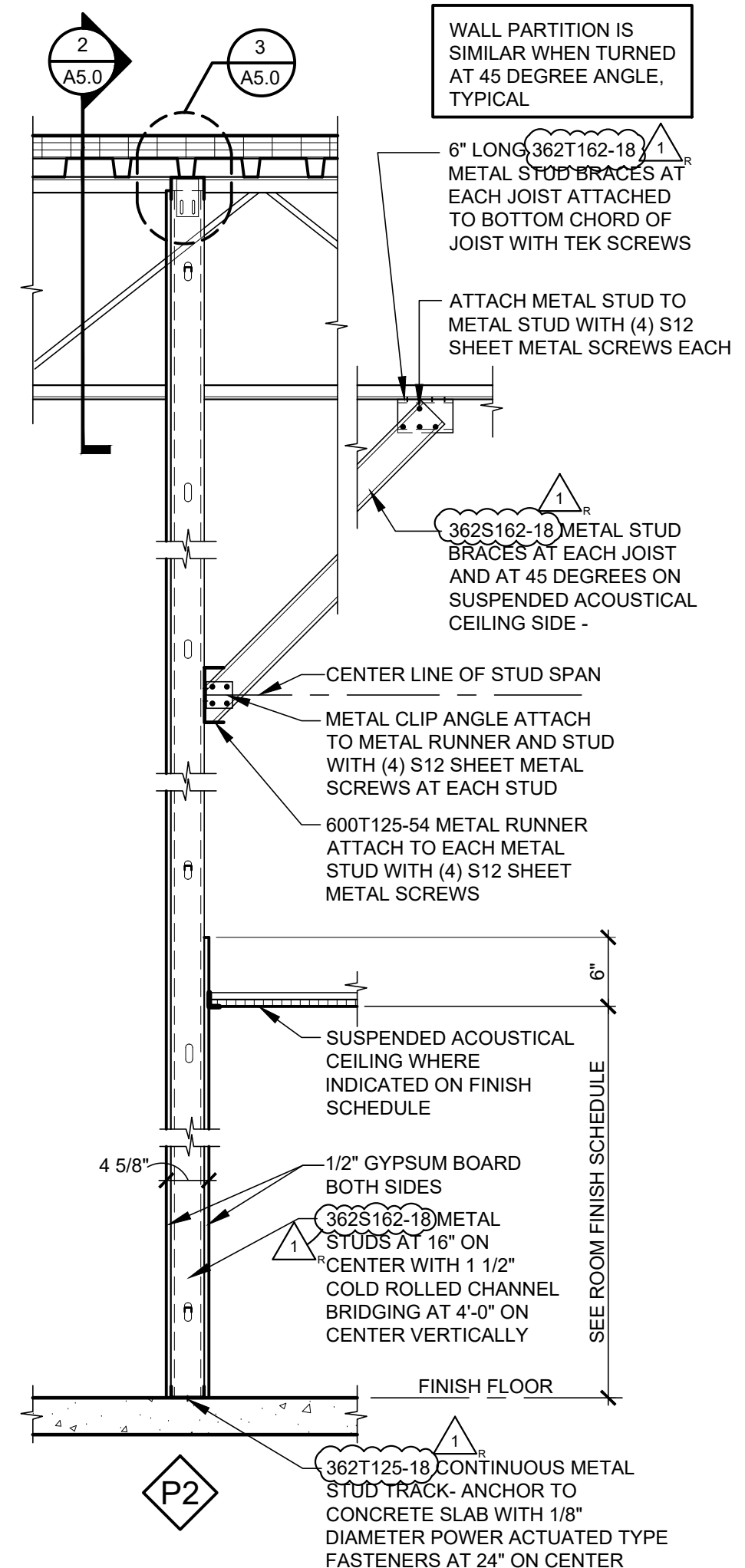
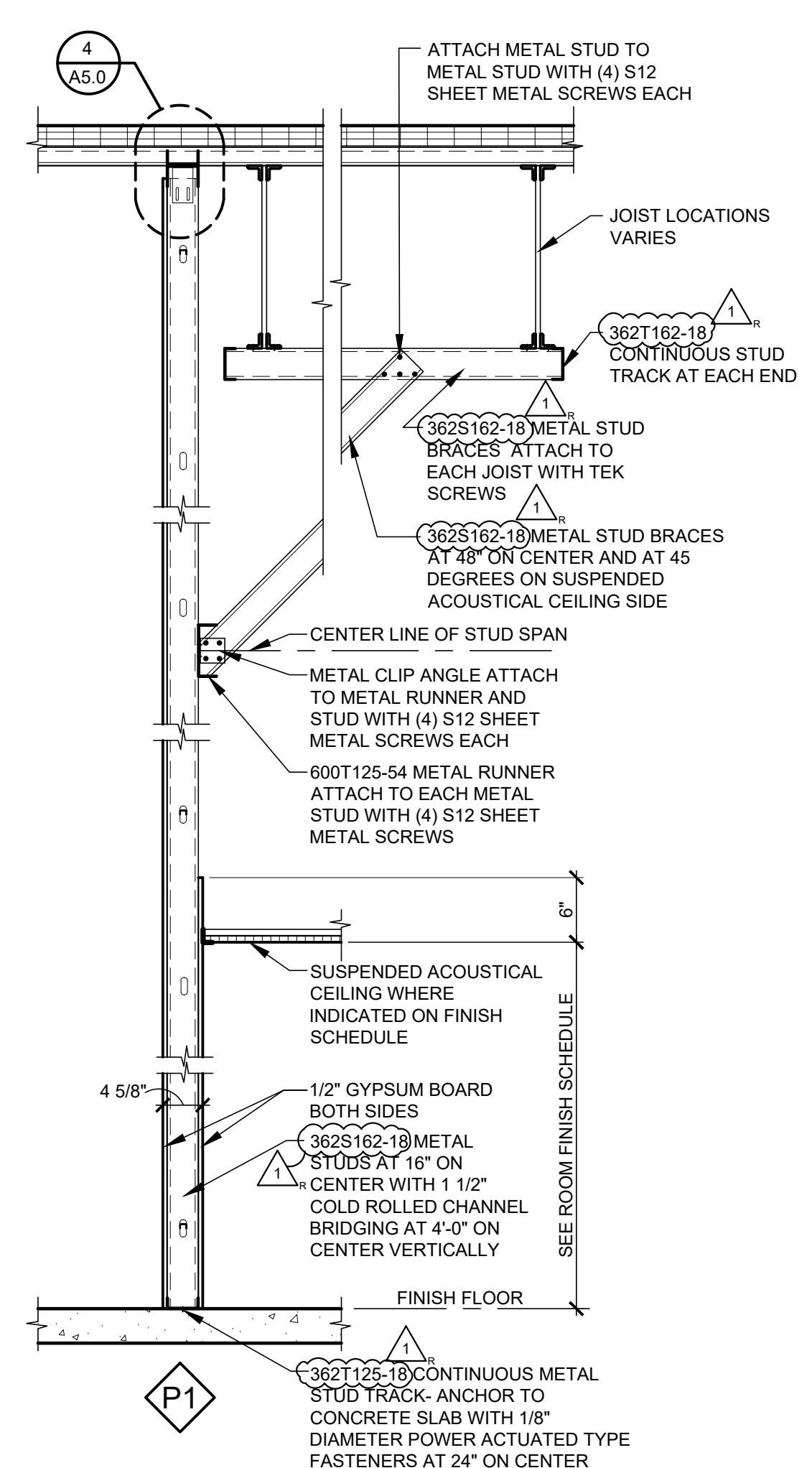
PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMAYER  
License No.: AR030305  
Expiration Date: 02/28/25

Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**WALL SECTIONS**

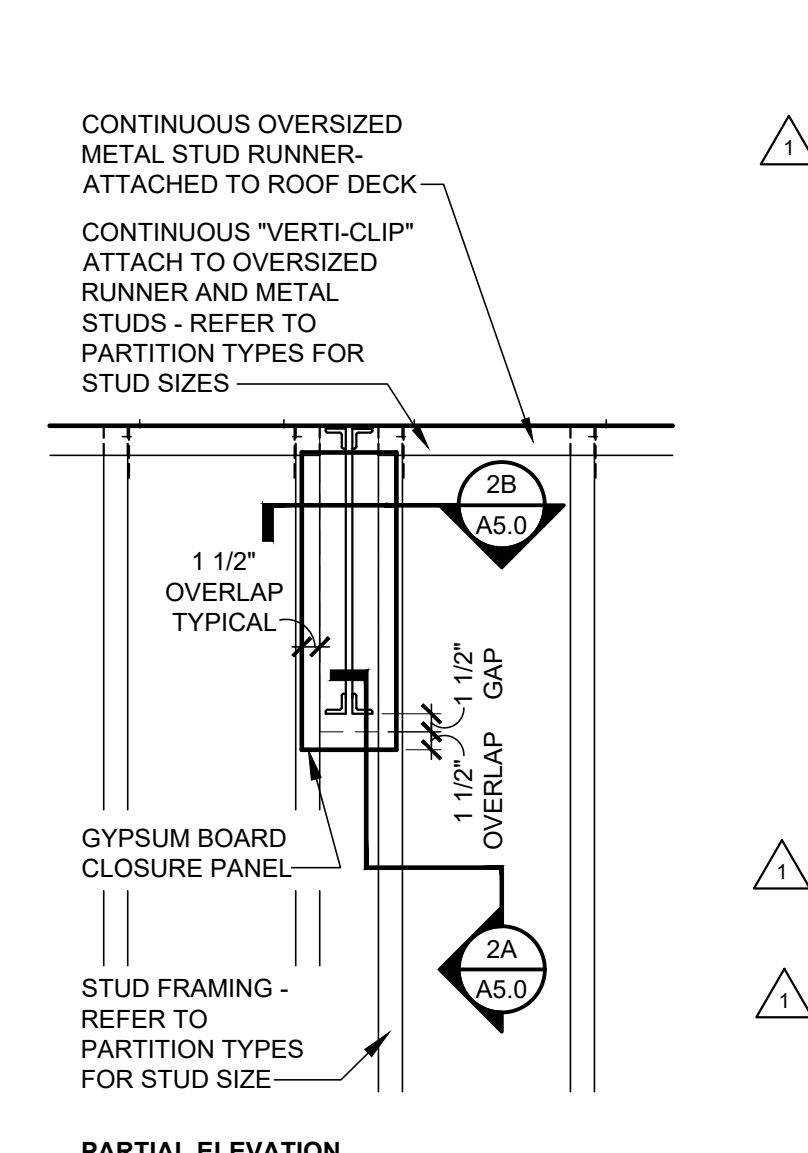
**A4.0**



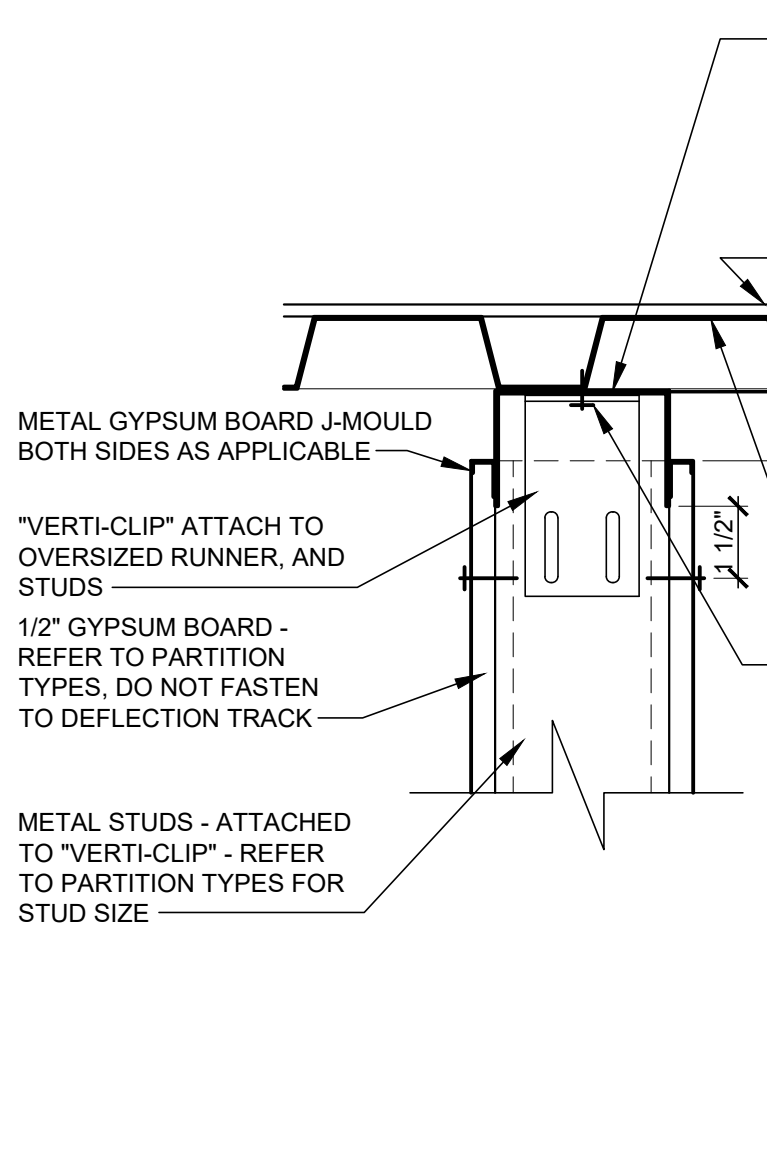
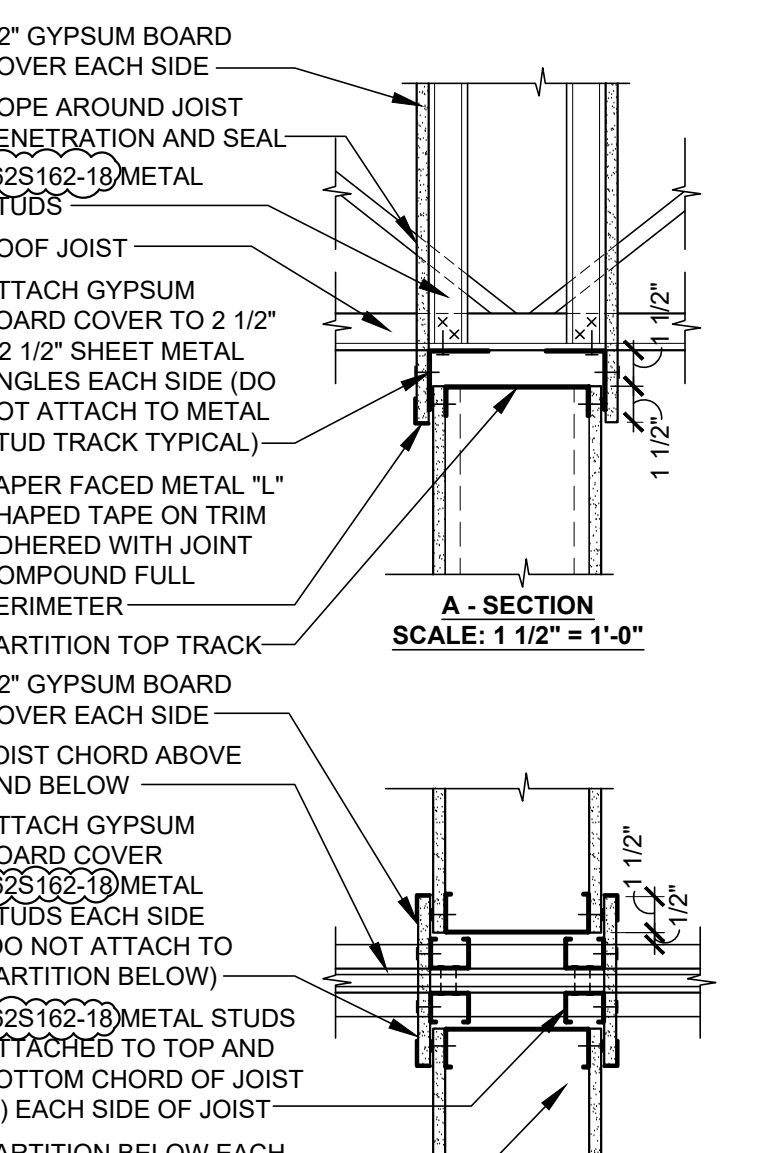


7 DUCT THRU WALL DETAIL  
SCALE: 1" = 1'-0"

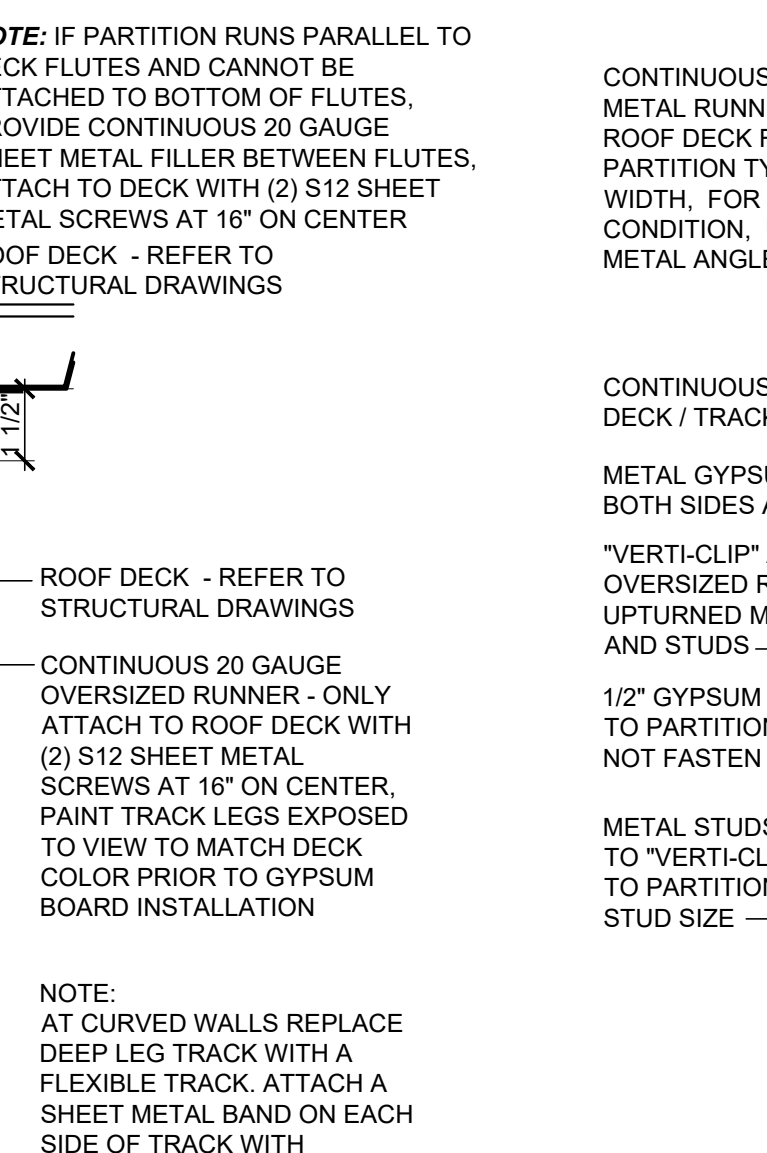
1 PARTITION TYPES  
SCALE: 3/4" = 1'-0"



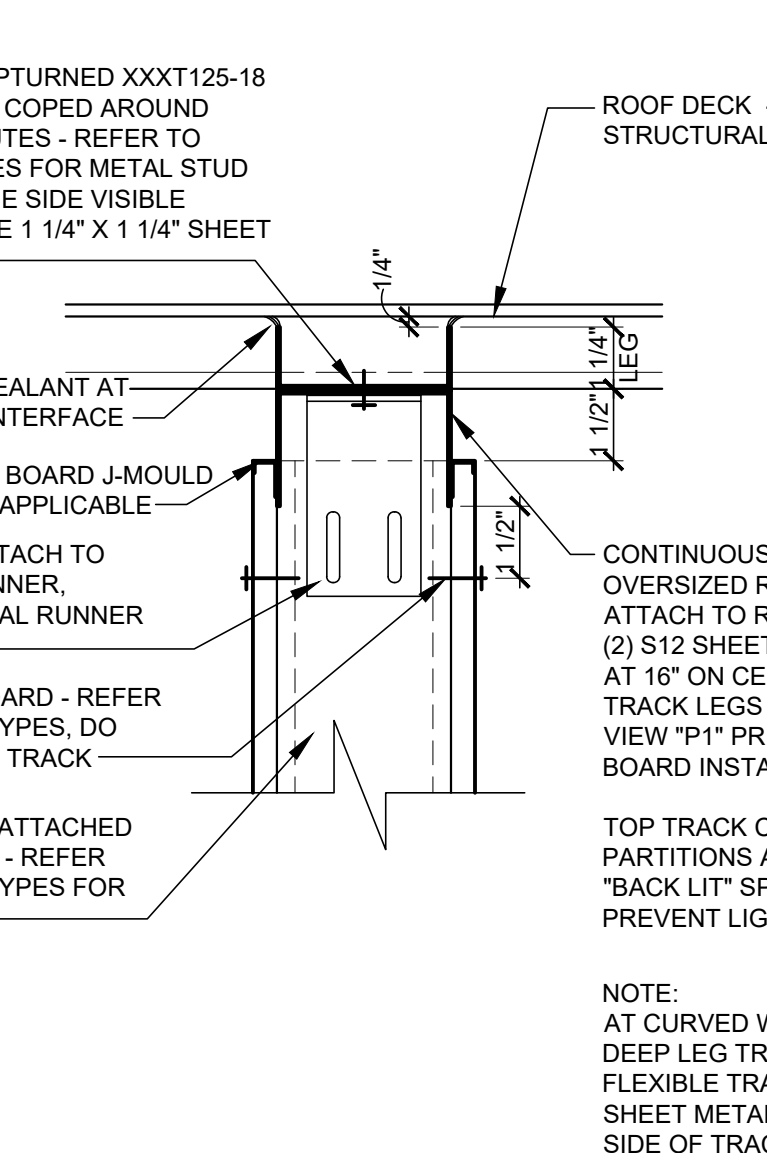
2 PARTITION DETAIL  
SCALE: 3/4" = 1'-0"



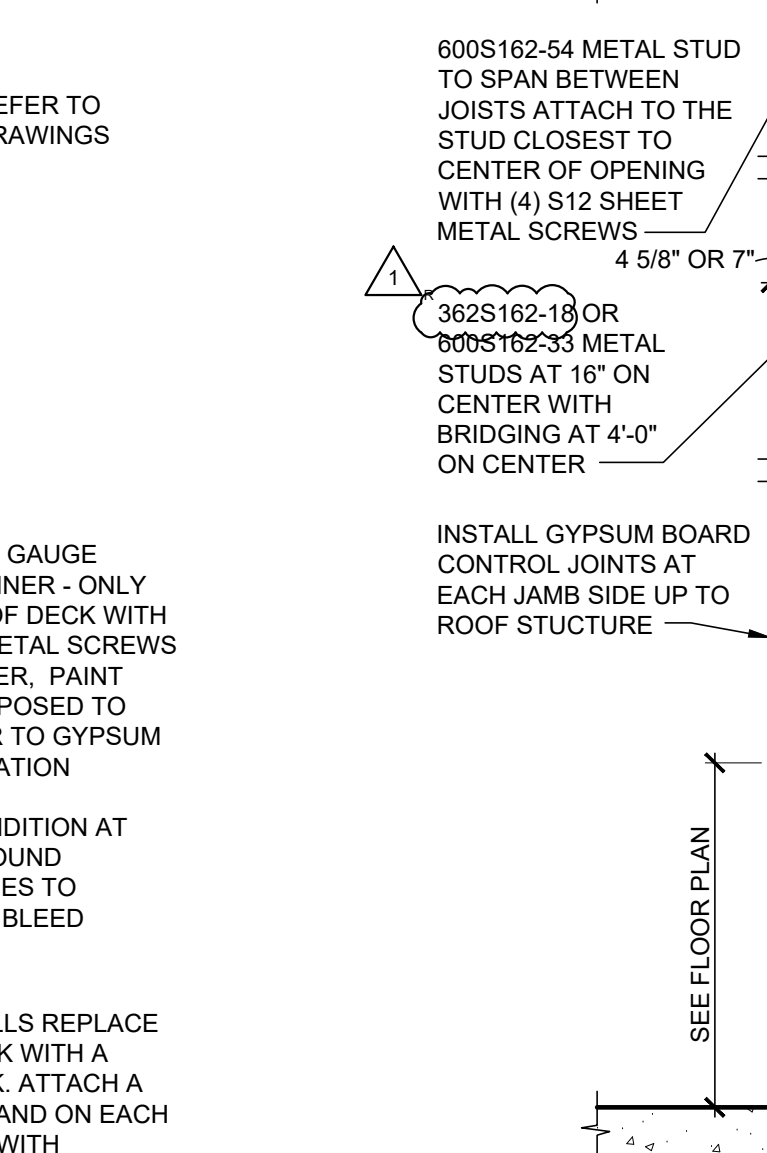
3 PARTITION DETAIL  
SCALE: 3" = 1'-0"



4 PARTITION DETAIL  
SCALE: 3" = 1'-0"



5 BULKHEAD SECTION  
SCALE: 3/4" = 1'-0"



6 BOXED HEADER DETAIL  
SCALE: NOT TO SCALE

ROOMS TO GO

STORE EXPANSION AND REMODEL  
18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

CONSTR. DOC. & REVISIONS

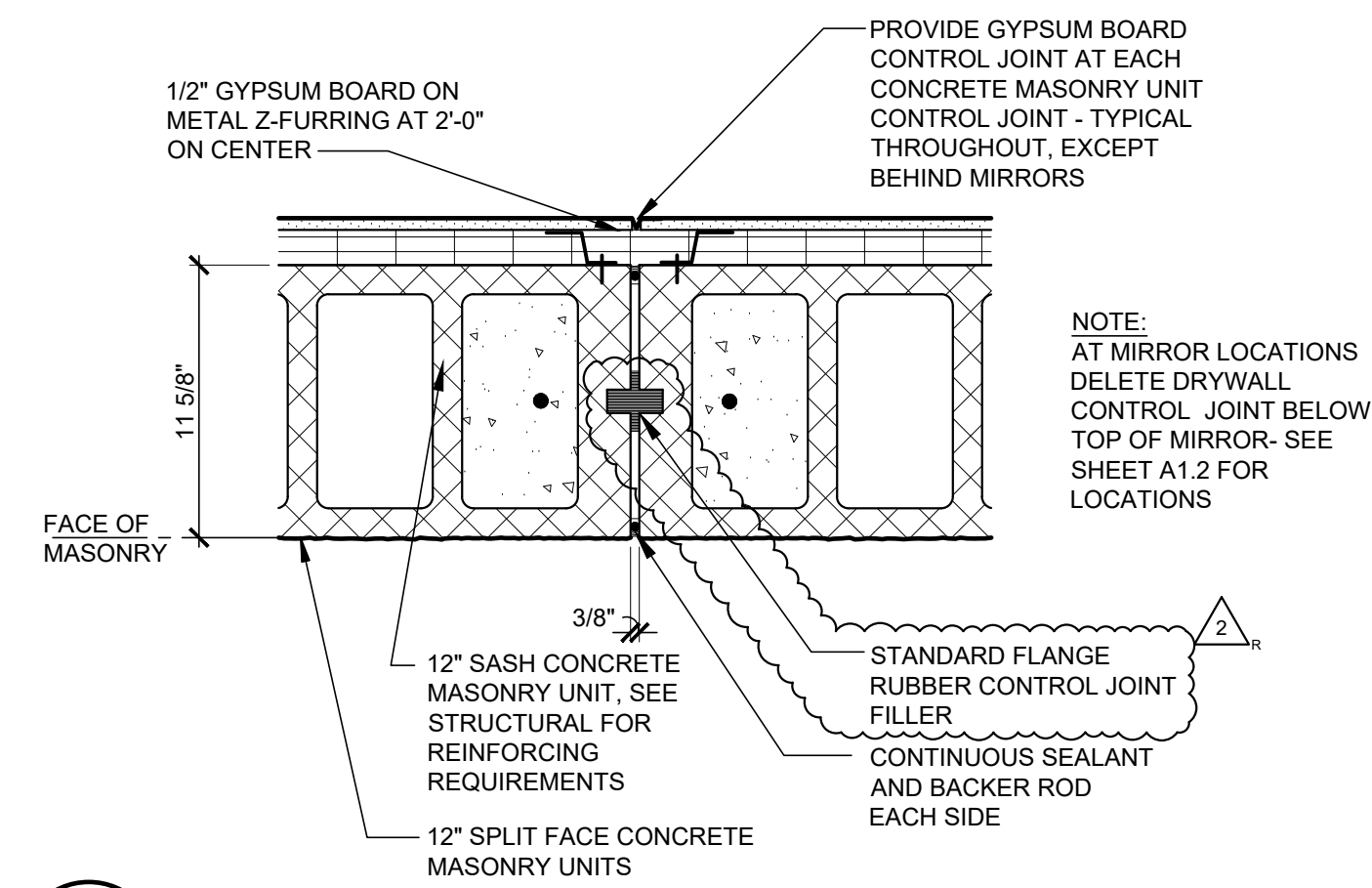
| No. | Description                   | Date     |
|-----|-------------------------------|----------|
| C   | FIRE DEPARTMENT CODE COMMENTS | 06/13/23 |
| 1   | ADDENDUM #5                   | 01/29/24 |

PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No.: AR00305  
Expiration Date: 02/28/25

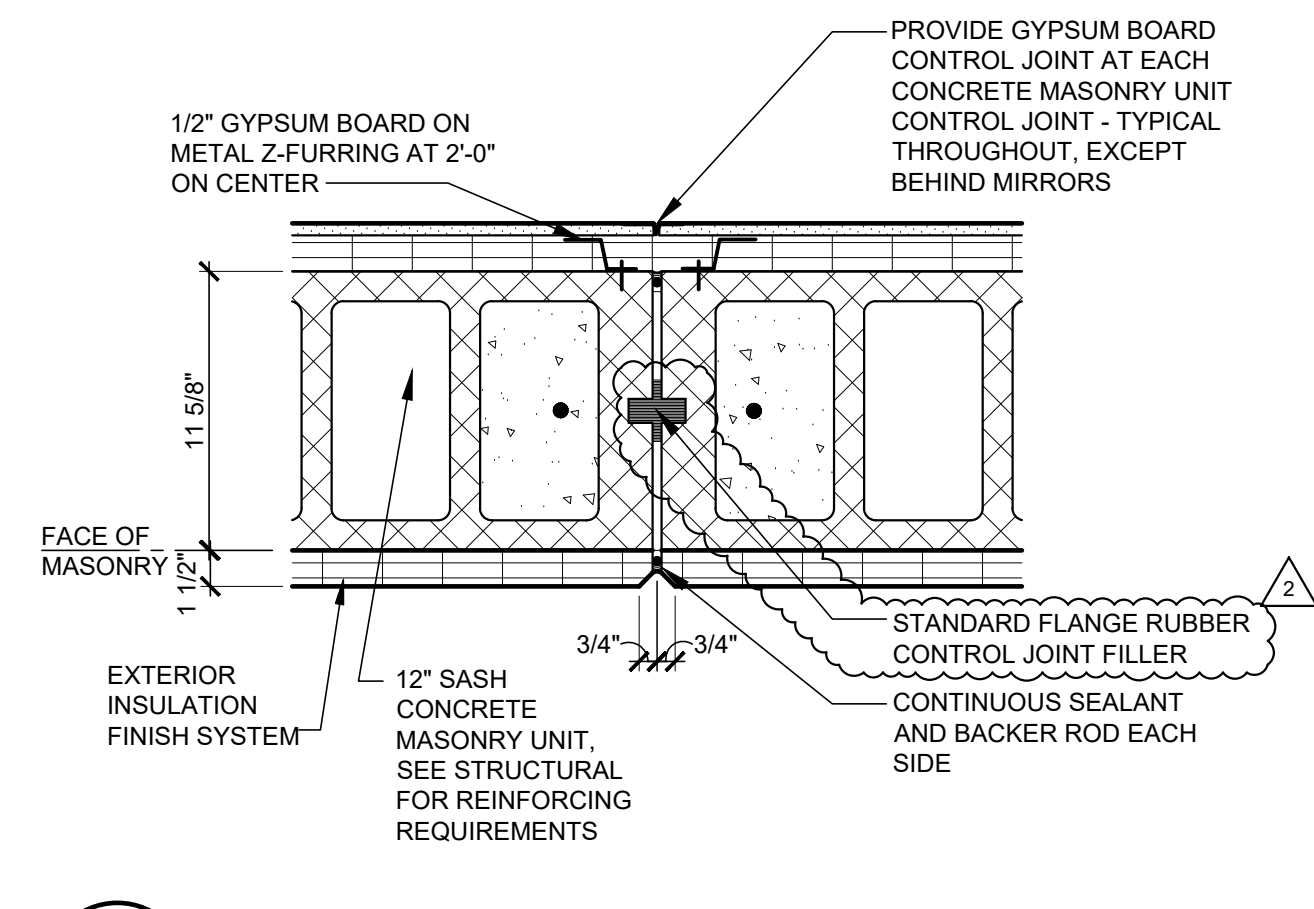
Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

PARTITION TYPES & DETAILS  
A5.0

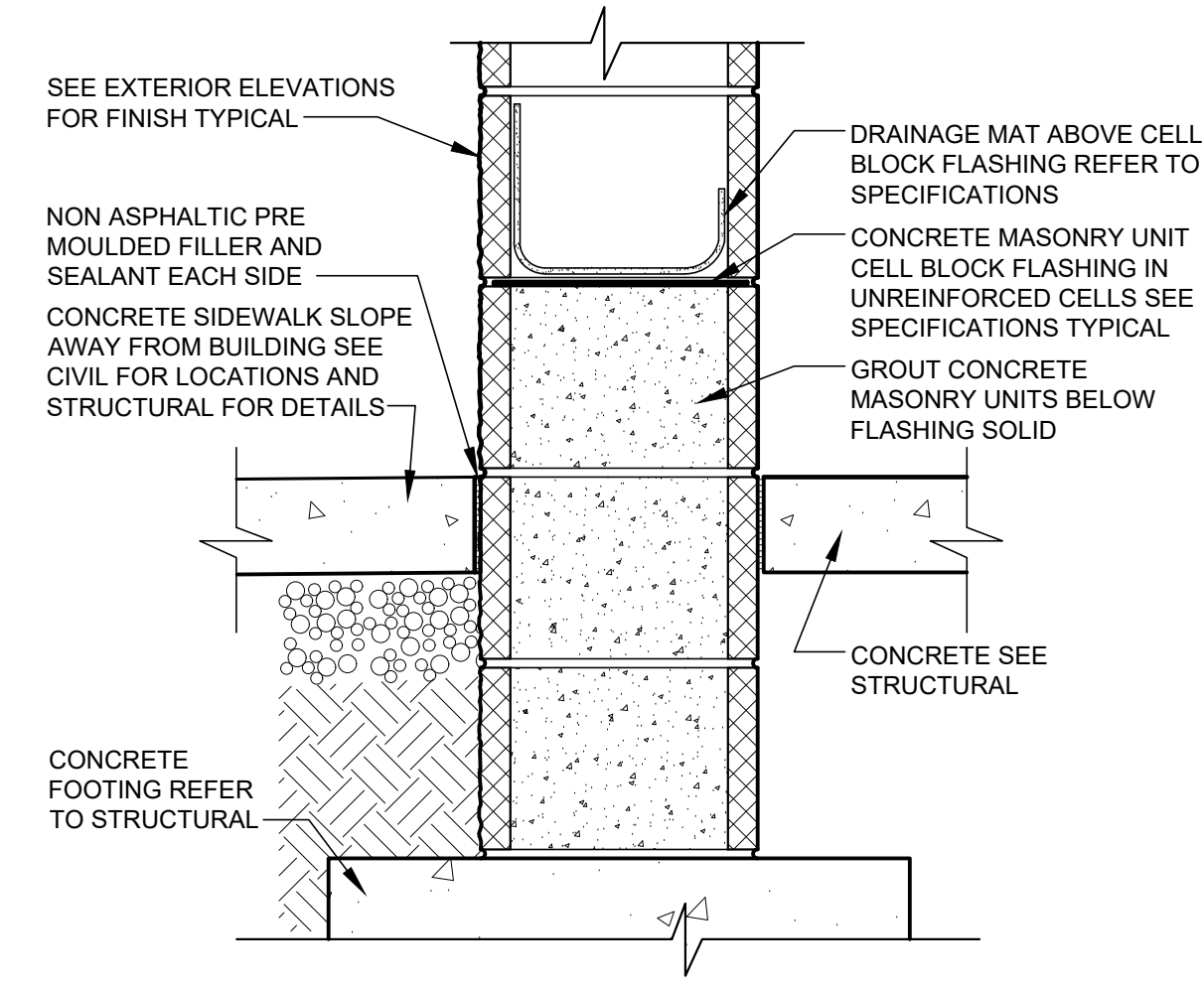
CASCO  
12 Sumner Drive, Suite 100, St. Louis, MO 63143  
T: 314.821.1100



**1**  
**A5.6** CONTROL JOINT DETAIL  
SCALE: 1 1/2" = 1'-0"



**2**  
**A5.6** CONTROL JOINT DETAIL  
SCALE: 1 1/2" = 1'-0"



**3**  
**A5.6** PILASTER BASE FLASHING SECTION  
SCALE: 1 1/2" = 1'-0"

**4**  
**A5.6** NOT USED  
SCALE: 3/4" = 1'-0"

**5**  
**A5.6** NOT USED  
SCALE: 1 1/2" = 1'-0"

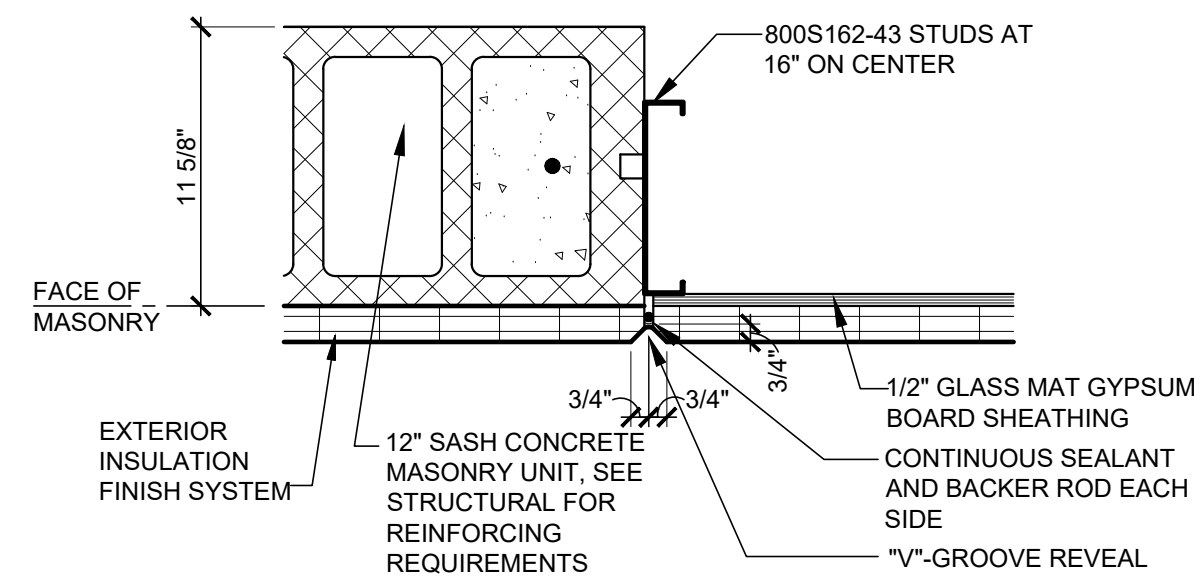
**6**  
**A5.6** NOT USED  
SCALE: 1" = 1'-0"

**7**  
**A5.6** NOT USED  
SCALE:

**8**  
**A5.6** NOT USED  
SCALE:

**9**  
**A5.6** NOT USED  
SCALE:

**10**  
**A5.6** NOT USED  
SCALE:



**13**  
**A5.6** "V"-GROOVE REVEAL DETAIL  
SCALE: 1 1/2" = 1'-0"

**11**  
**A5.6** NOT USED  
SCALE: 1 1/2" = 1'-0"

**12**  
**A5.6** NOT USED  
SCALE: 1 1/2" = 1'-0"

ROOMS STORE EXPANSION AND REMODEL  
TO GO

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

**CASCO**  
12 Sunnen Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100

| CONSTR. DOC. & REVISIONS |             |
|--------------------------|-------------|
| No.                      | Description |
| 1                        | ADDENDUM 2  |
| 2                        | ADDENDUM #5 |

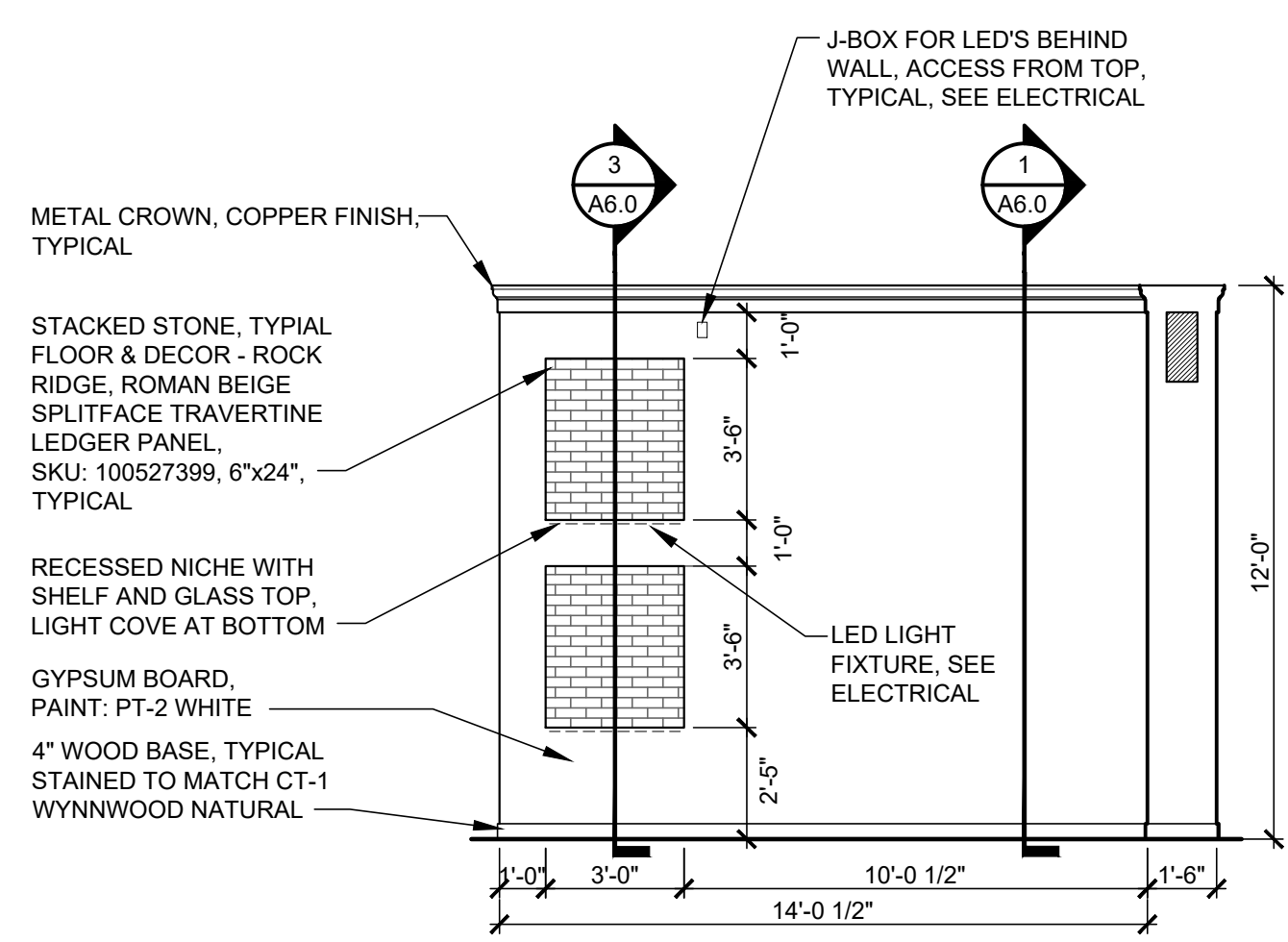
| Date     |
|----------|
| 11/29/23 |
| 01/29/24 |

PROFESSIONAL OF RECORD  
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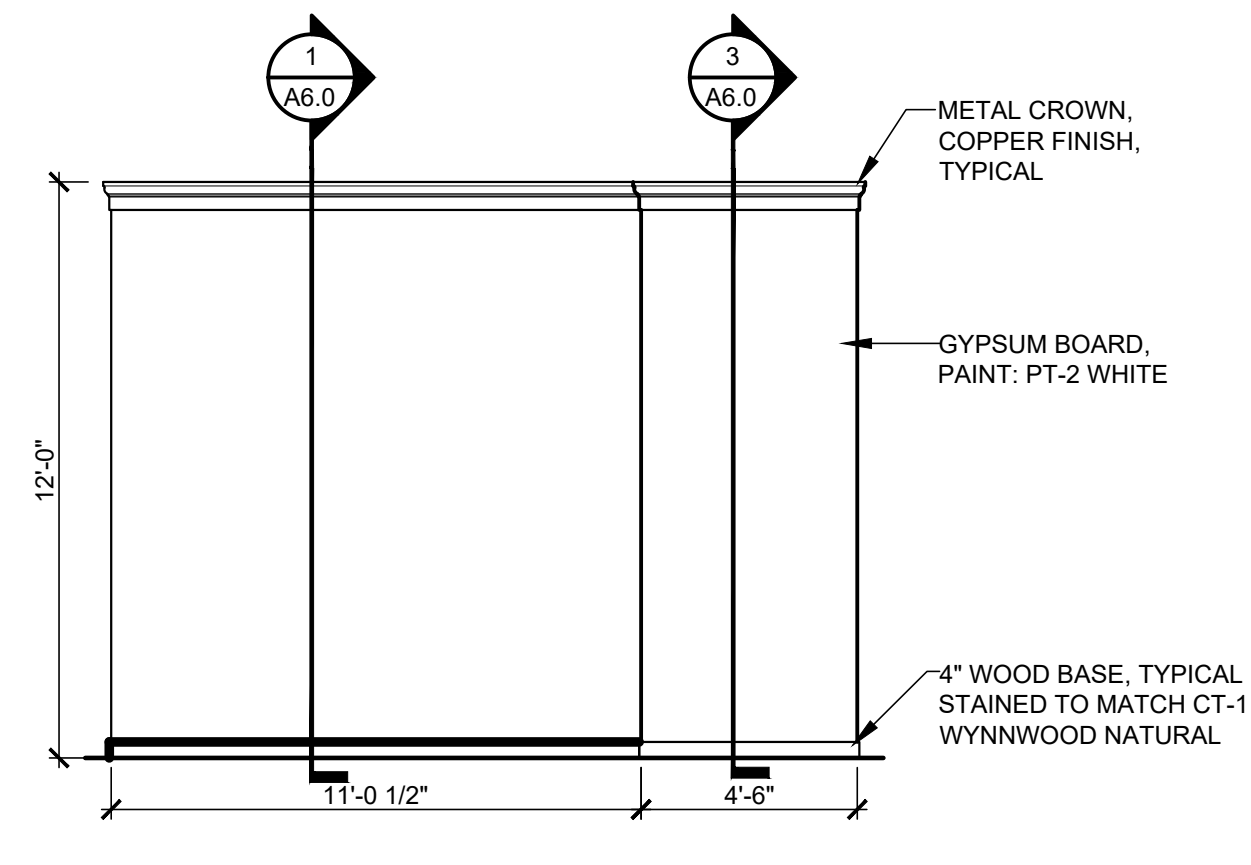
MISCELLANEOUS  
DETAILS  
**A5.6**





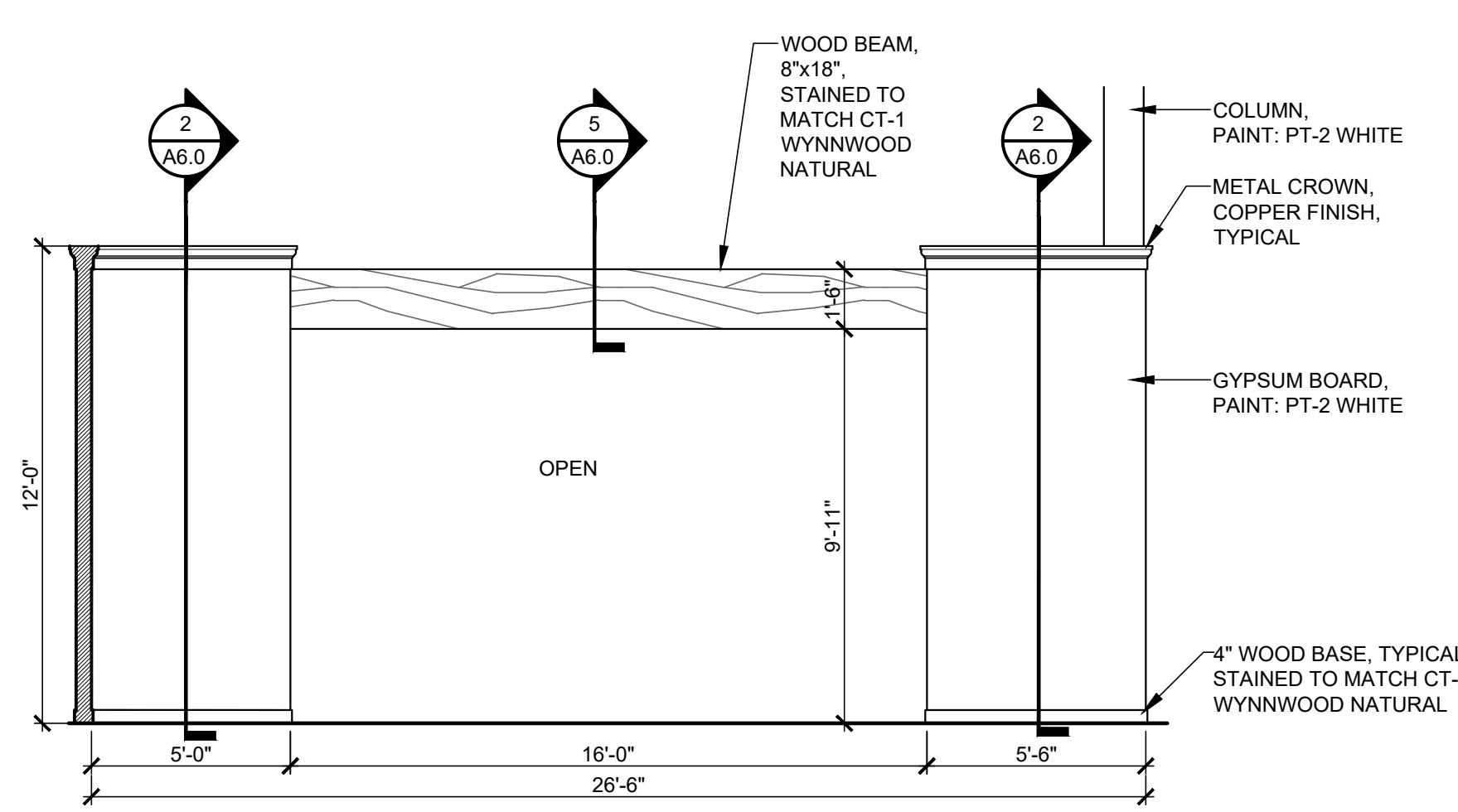
ELEVATION "A"

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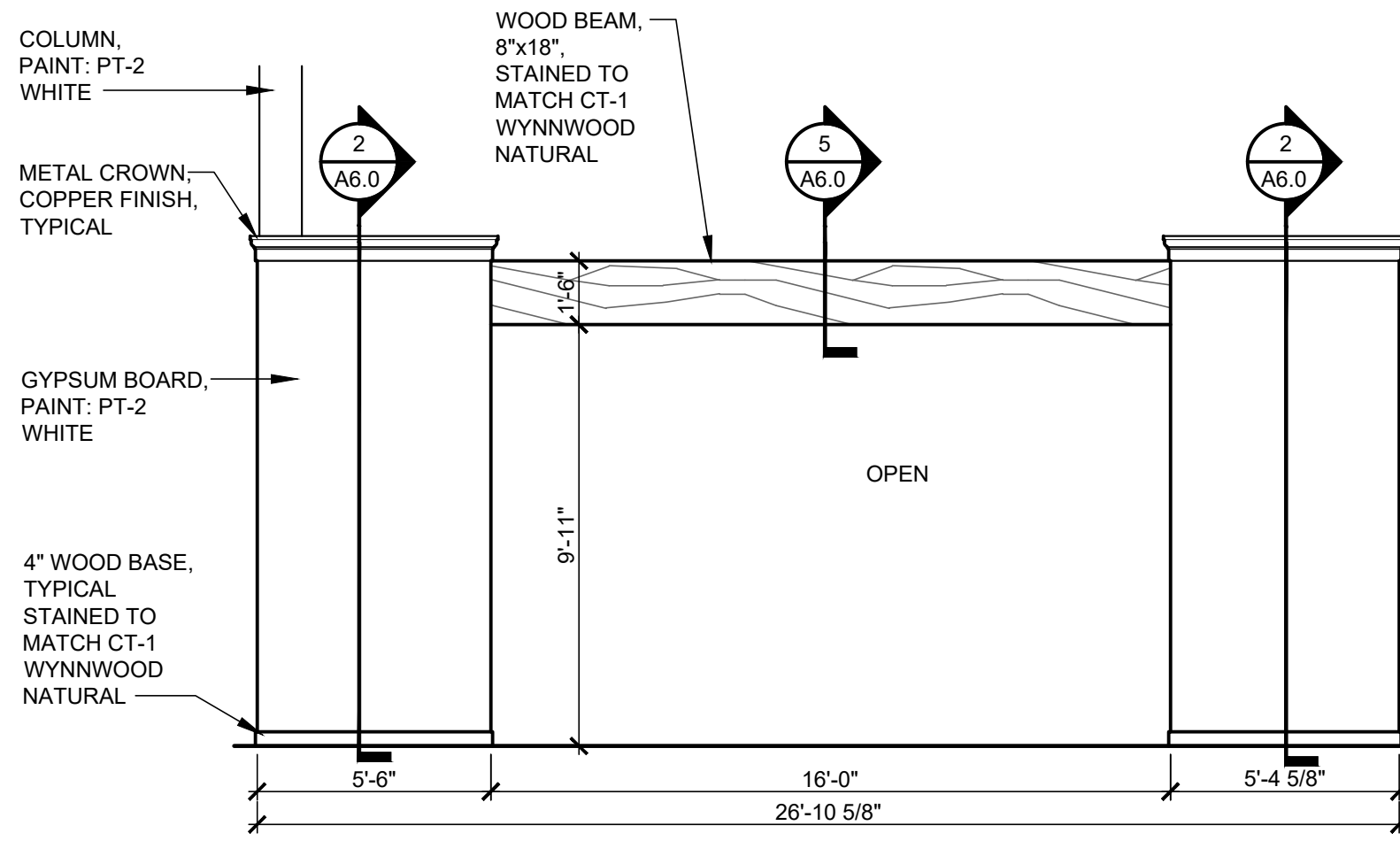
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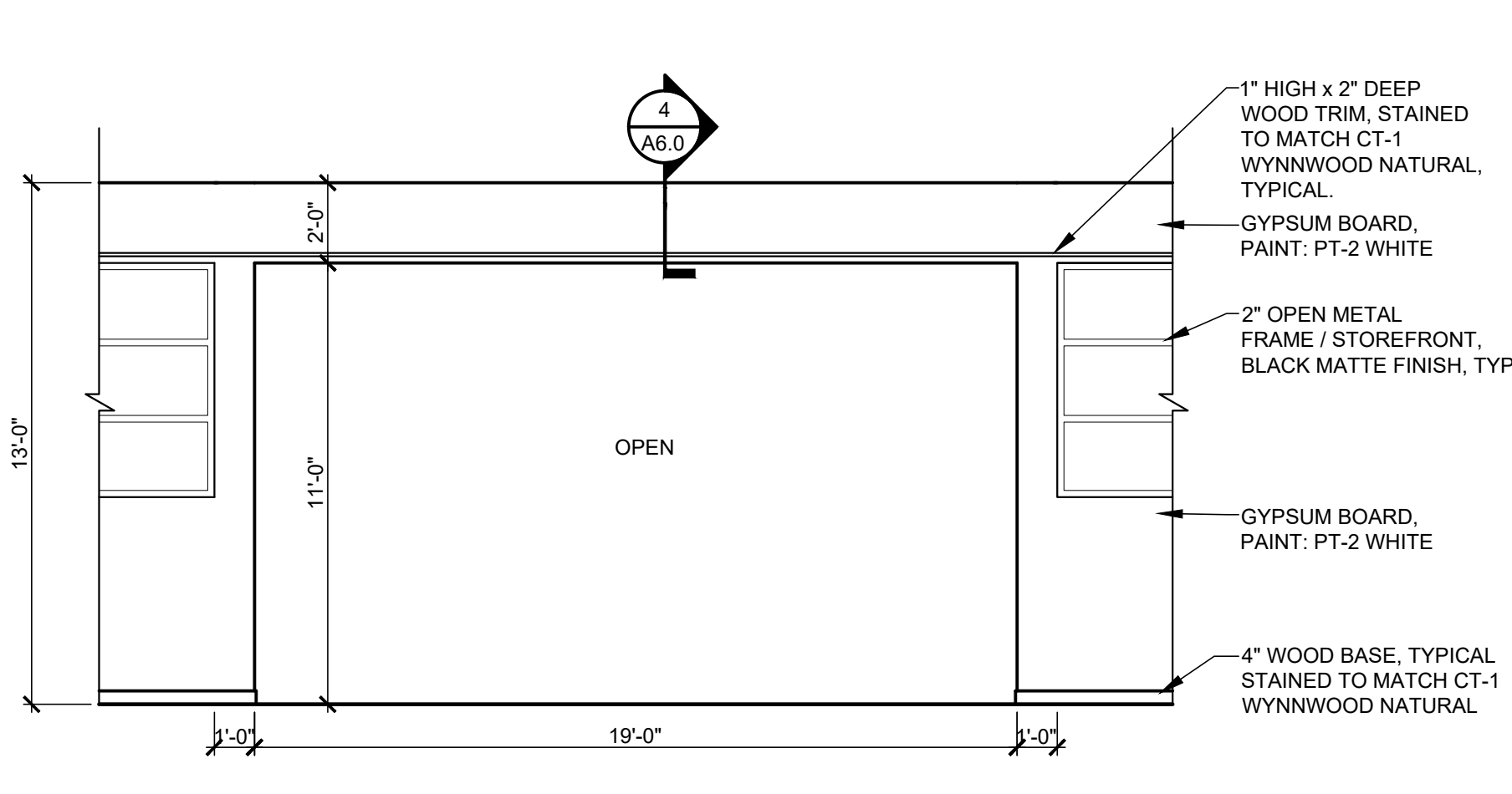
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1/4" = 1'-0"



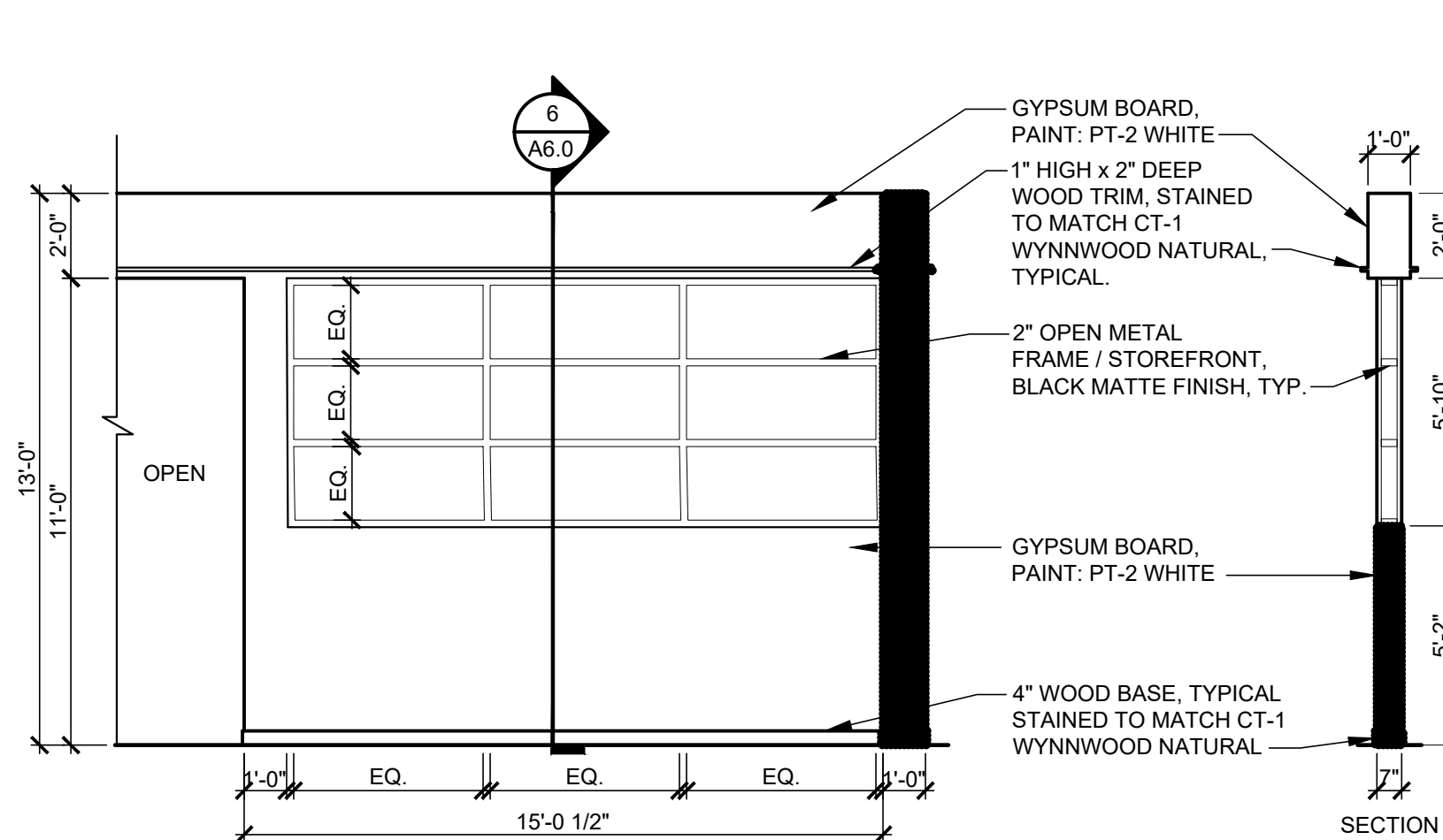
ELEVATION "B1"

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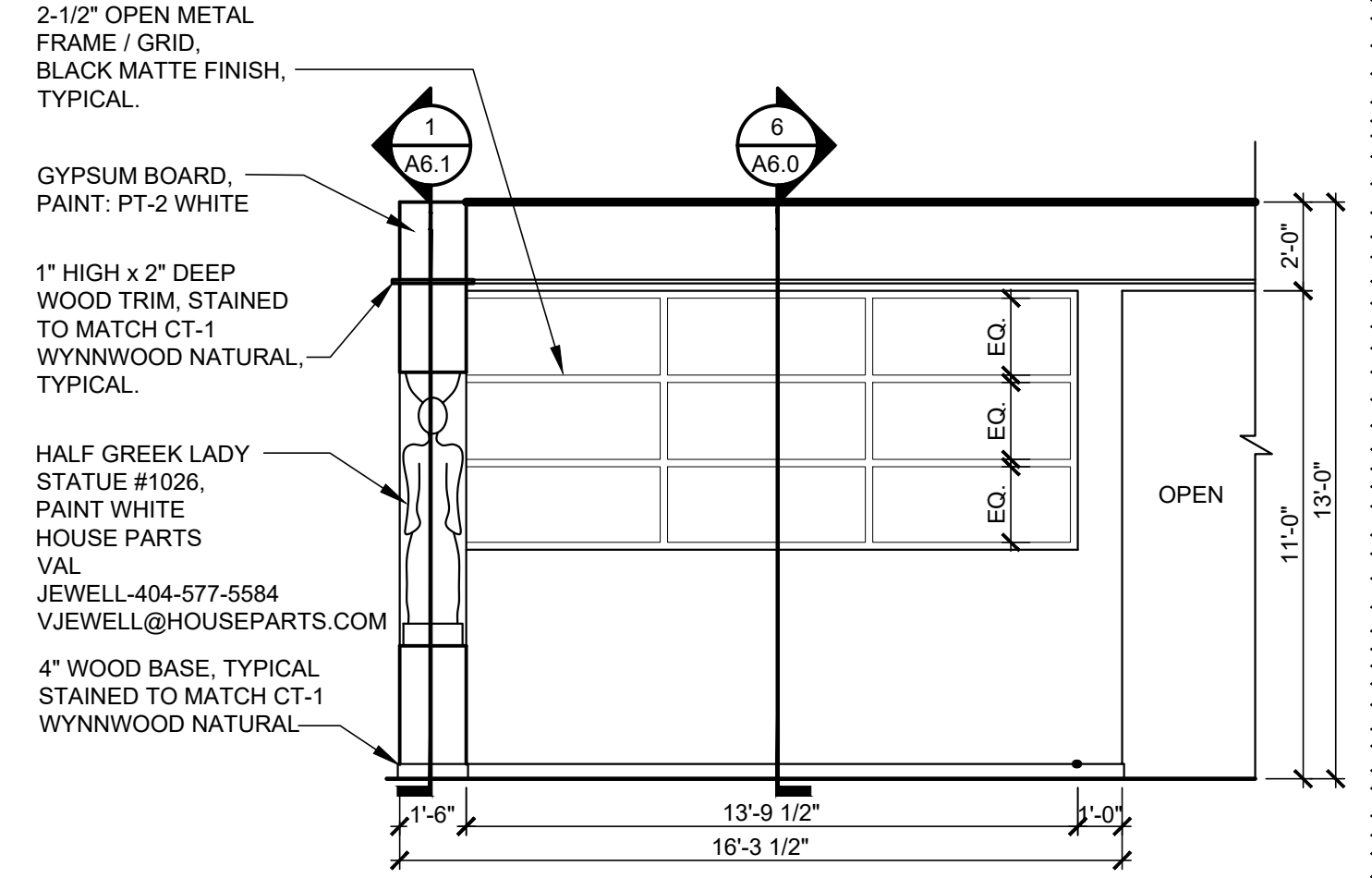
ELEVATION "C"

1/4" = 1'-0"



ELEVATION "C1"

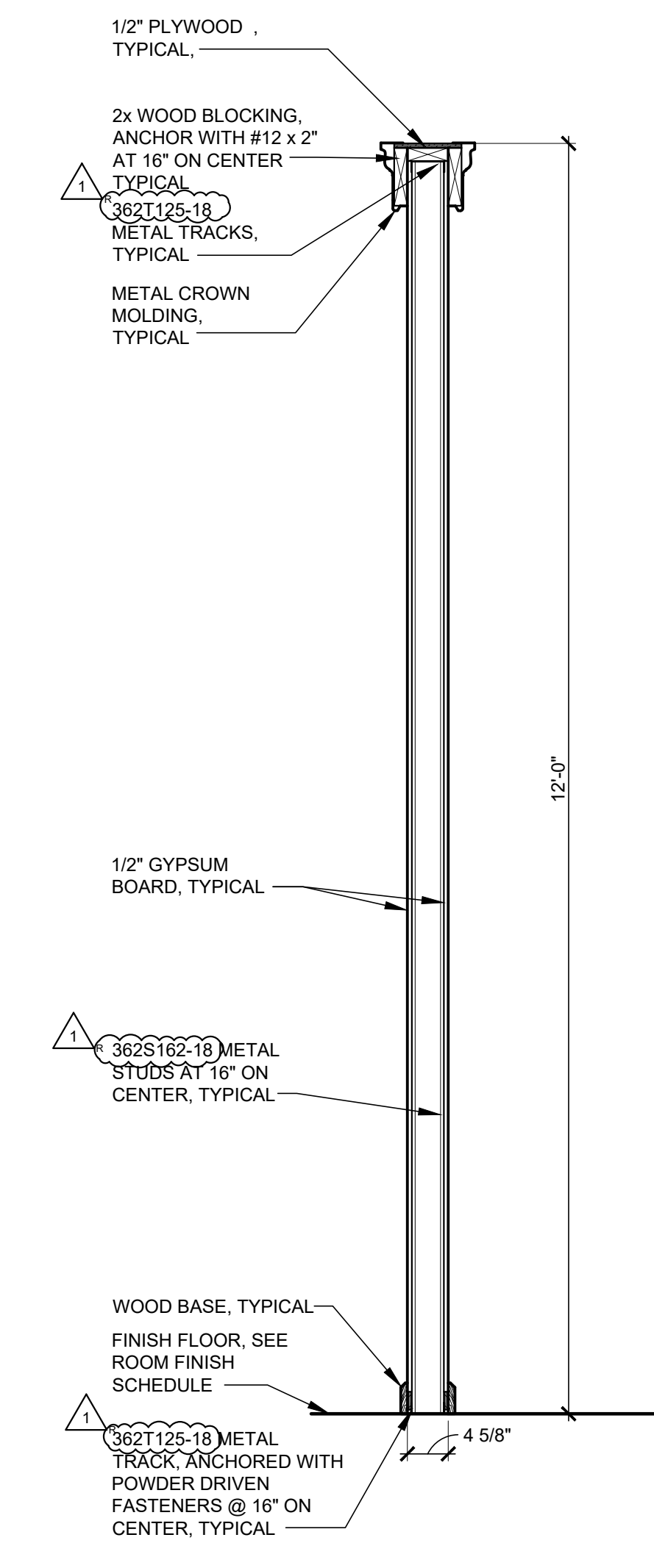
1/4" = 1'-0"



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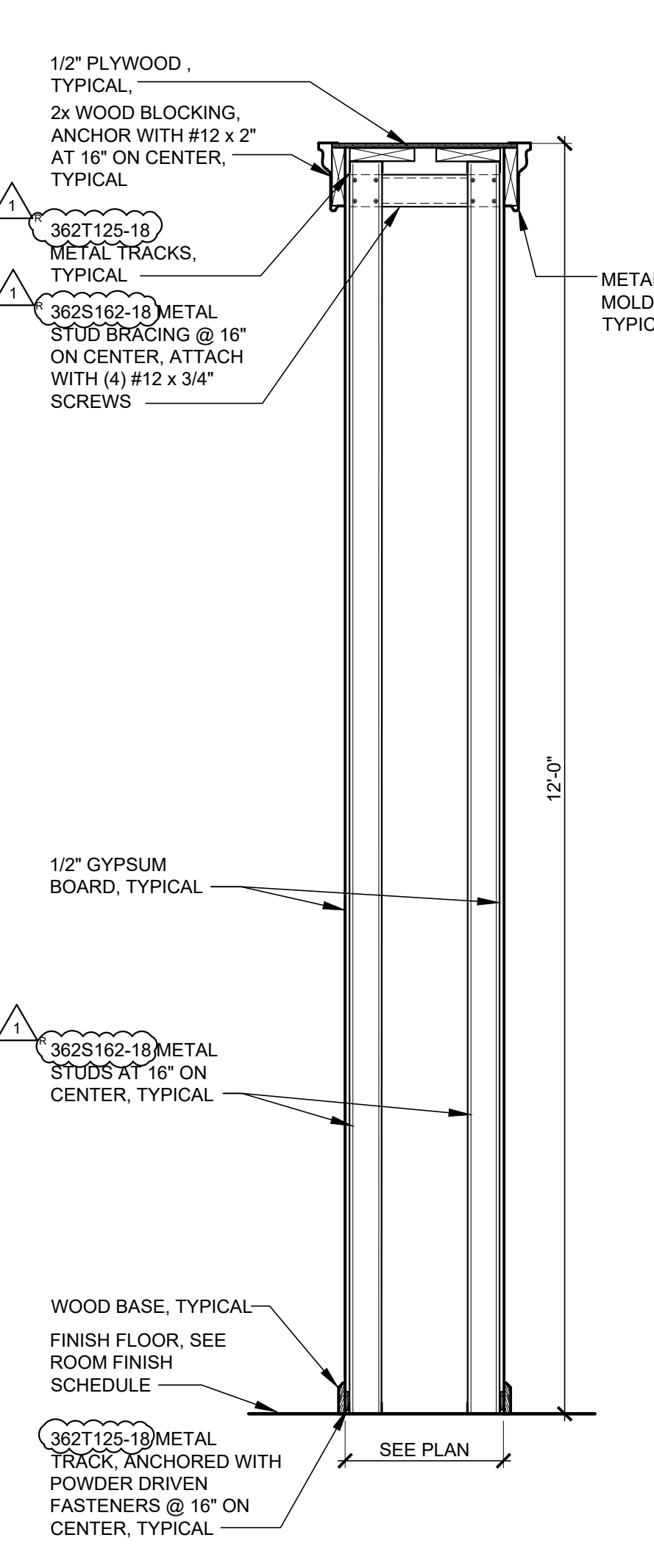
1/4" = 1'-0"

- GENERAL NOTES FOR A6.x SERIES SHEETS:
- 1) 1/2" GYPSUM BOARD - PAINT PT-2 - ADULT SALES TO RECEIVE FLAT SHEEN WITH SMOOTH FINISH FROM FLOOR TO BOTTOM OF METAL DECK ON ALL FULL HEIGHT WALLS, SMOOTH FINISH ON ALL PARTIAL HEIGHT WALLS, UNLESS NOTED OTHERWISE. PROVIDE INSIDE FINISH ON INTERIOR WALLS, FLOORS AND CEILING AT ALL LIGHT LOCATIONS - TAPE AND FINISH 1/4" GYPSUM BOARD ON INTERIOR FACE OF STUDS - PAINT ENTIRE INSIDE HIGH GLOSS WHITE
  - 2) COORDINATE LIGHT LOCATIONS WITH ROOMS TO GO PROJECT REPRESENTATIVE - PROVIDE INSIDE FINISH ON INTERIOR WALLS, FLOORS AND CEILING AT ALL LIGHT LOCATIONS - TAPE AND FINISH 1/4" GYPSUM BOARD ON INTERIOR FACE OF STUDS - PAINT ENTIRE INSIDE HIGH GLOSS WHITE
  - 3) PROVIDE SHOP BUILT PLYWOOD TEMPLATE TO DEFINE THE CURVATURE OF THE GYPSUM BOARD FINISH - ALLOW ROUGH OPENING IN WALL FRAMING TO INSERT - GYPSUM BOARD FINISH OVERLAY TO MATCH ADJACENT
  - 4) PROVIDE GYPSUM BOARD RETURNS AT METAL OR WOOD FRAMING, AND PAINT PT-2
  - 5) SEE SHEET A8.0 FOR PAINT COLORS
  - 6) INTERIOR CAULKING - REFER TO SPECIFICATIONS FOR SCOPE
  - 7) INSTALL WOOD BLOCKING PRIOR TO INSTALLATION OF GYPSUM BOARD. BLOCKING IS REQUIRED FOR ALL WOOD CROWN, BASE, TRIM, DECORATIVE ITEMS, DECORATIVE METAL, ETCETERA.
  - 8) INSTALL CORNER BEADS ON ALL EXPOSED DRYWALL EDGES.
  - 9) WHERE MIRROR EDGES ARE LEFT EXPOSED, COVER WITH BLACK SEALANT
  - 10) ALL WOOD TRIM, CAPS, VENEERED PLYWOOD, ETCETERA TO MATCH STANDARD WOOD BASE SPECIFIED AS FB-2 ON A8.0, UNLESS NOTED OTHERWISE.
  - 11) WHERE ELECTRICAL OUTLETS OR DEVICES OCCUR BEHIND FAUX GREENERY WALL COVERING, TRIM AN OPENING FOR ACCESS AND PAINT THE COVER PLATE TO MATCH THE ADJACENT WALL.
  - 12) SEE A1.2 FOR SPECIAL MATERIAL SPECIFICATIONS.
  - 13) ALL UNISTRUT TO BE: UNISTRUT MODEL P1000 (PG), INCLUDING BUT NOT LIMITED TO: BULKHEAD, CONDUIT LIGHTING AND DUCT SUPPORT
  - 14) ALL GLASS INSTALLED AT INTERIOR ELEVATIONS SHALL BE TEMPERED PER PROJECT SPECIFICATION SECTION 08811



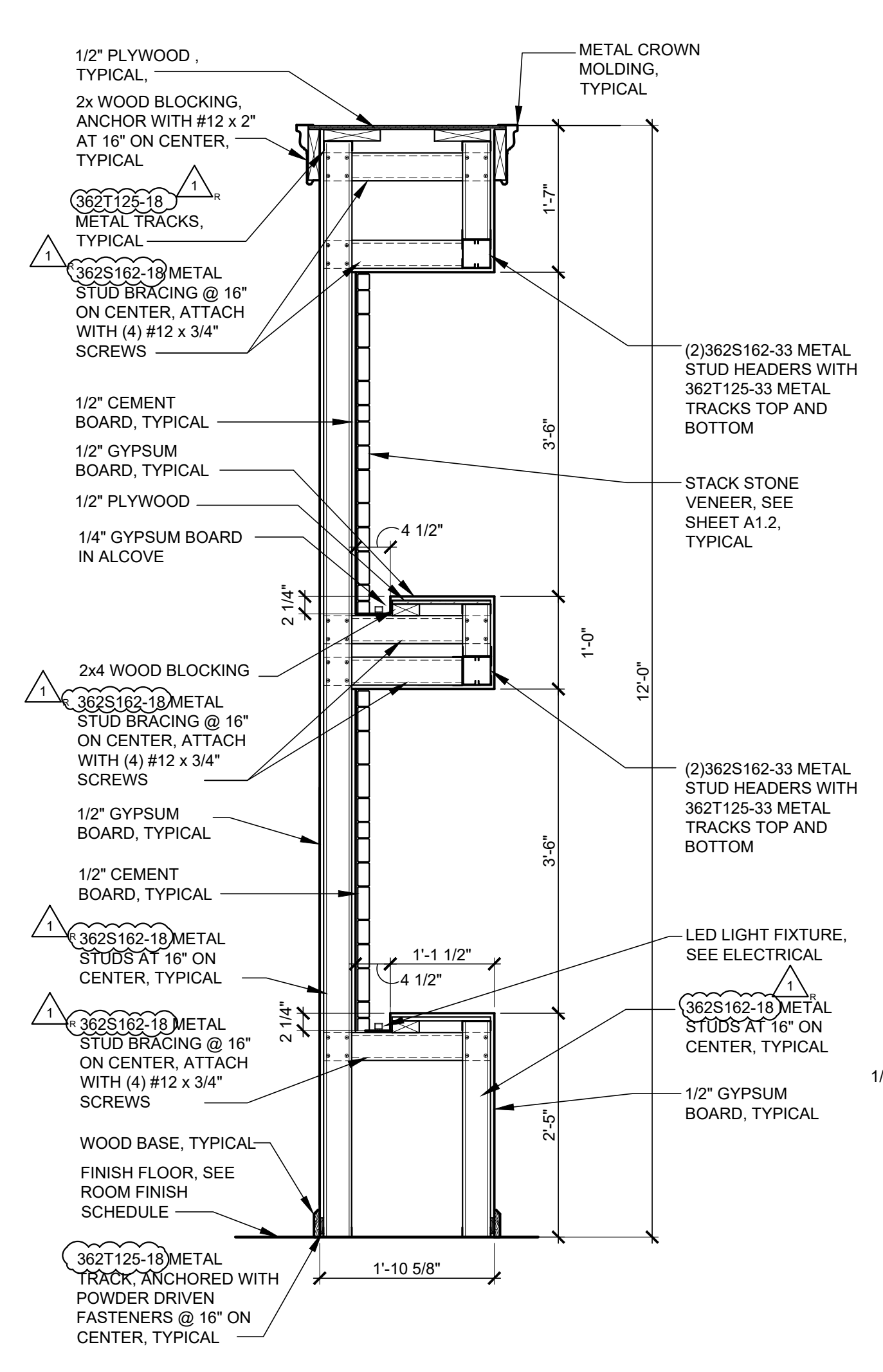
1 WALL SECTION

A6.0 SCALE: 3/4" = 1'-0"



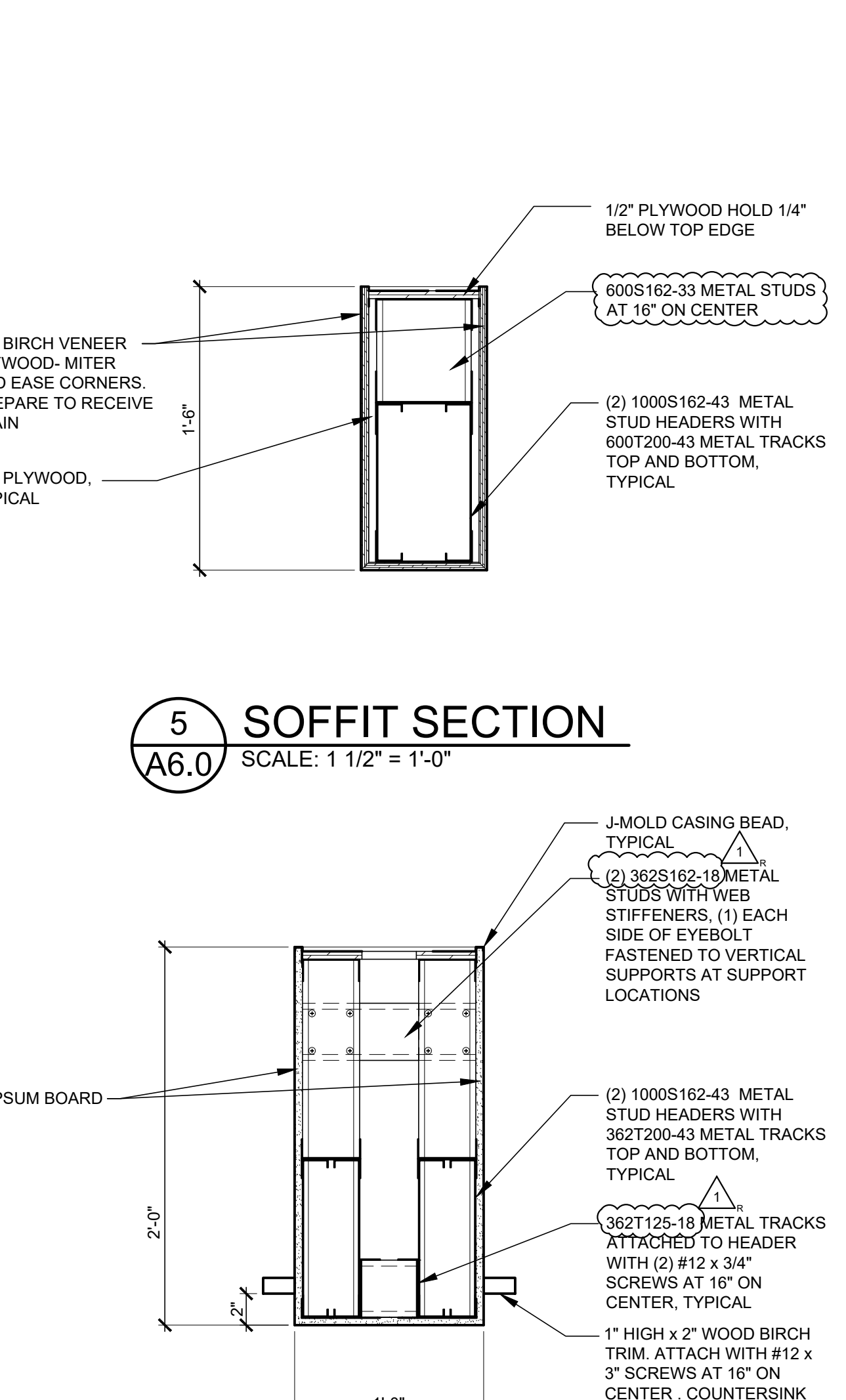
2 WALL SECTION

A6.0 SCALE: 3/4" = 1'-0"



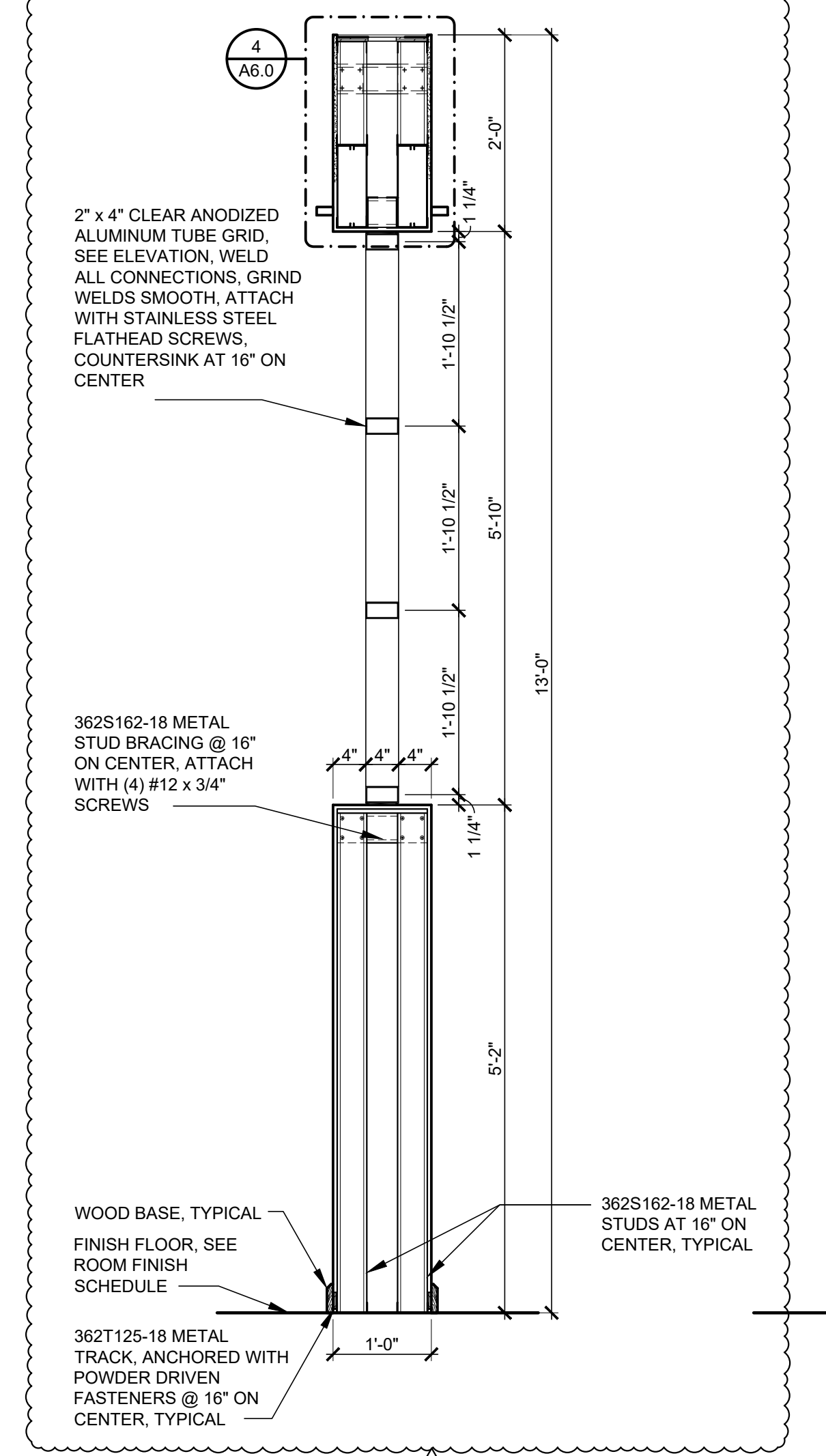
3 WALL SECTION

A6.0 SCALE: 3/4" = 1'-0"



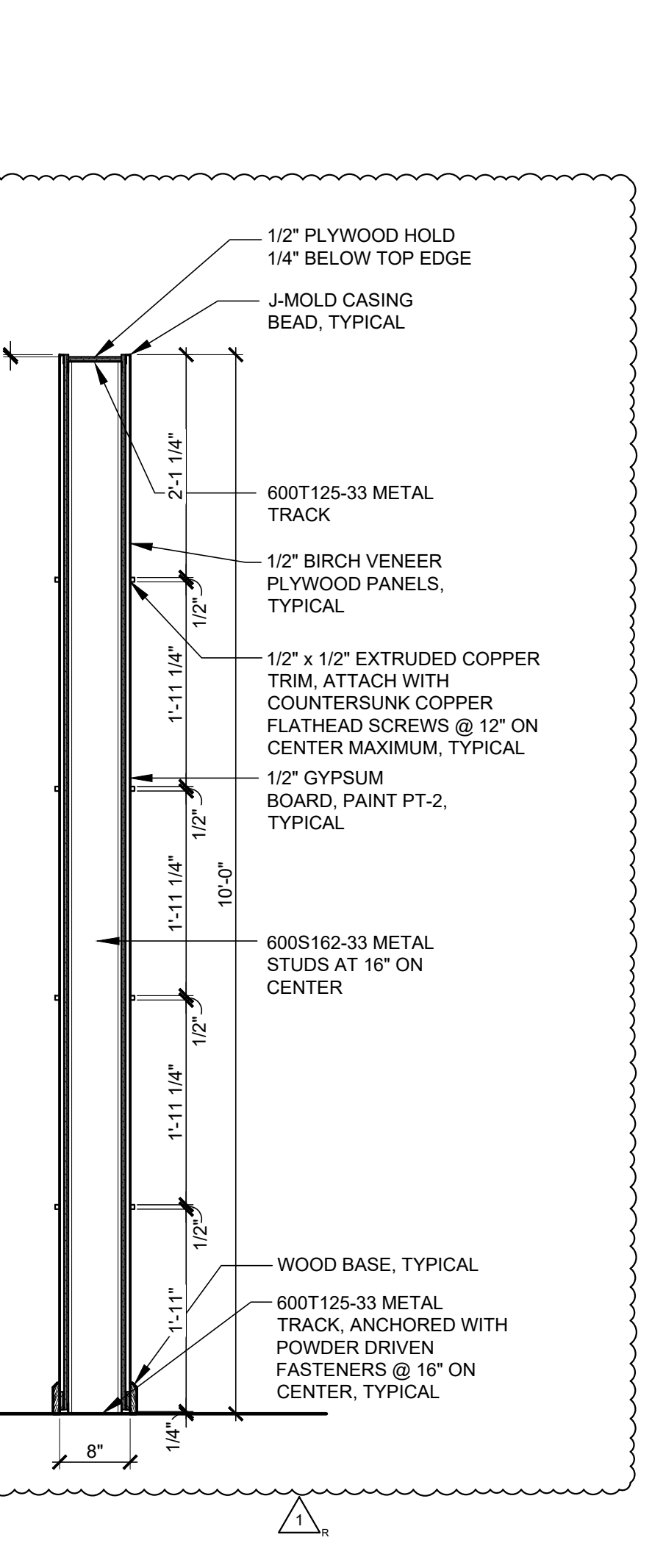
4 SOFFIT SECTION

A6.0 SCALE: 1 1/2" = 1'-0"



6 WALL SECTION

A6.0 SCALE: 3/4" = 1'-0"



7 WALL SECTION

A6.0 SCALE: 3/4" = 1'-0"

5 SOFFIT SECTION

A6.0 SCALE: 1 1/2" = 1'-0"

ROOMS TO GO STORE EXPANSION AND REMODEL

18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

CASCO

12 Sumner Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100

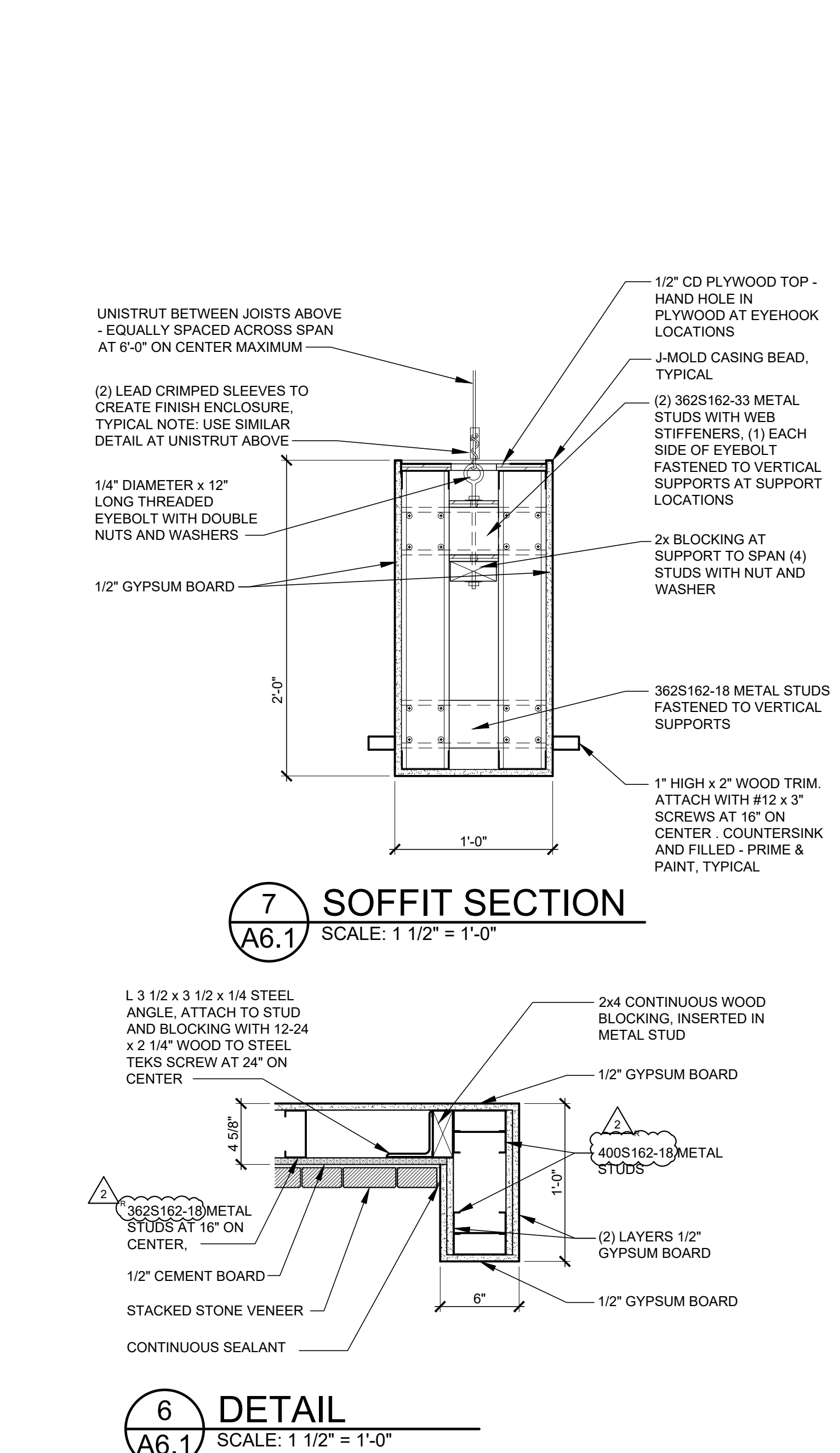
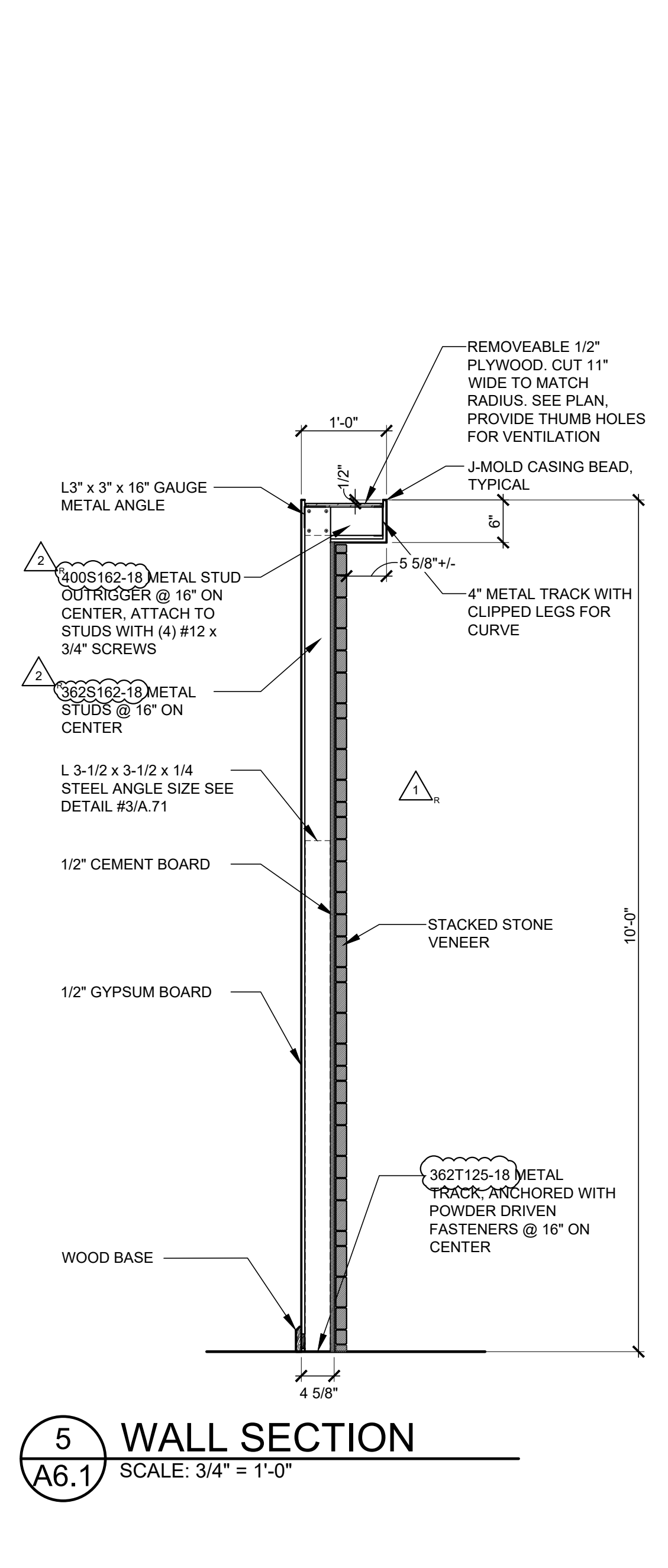
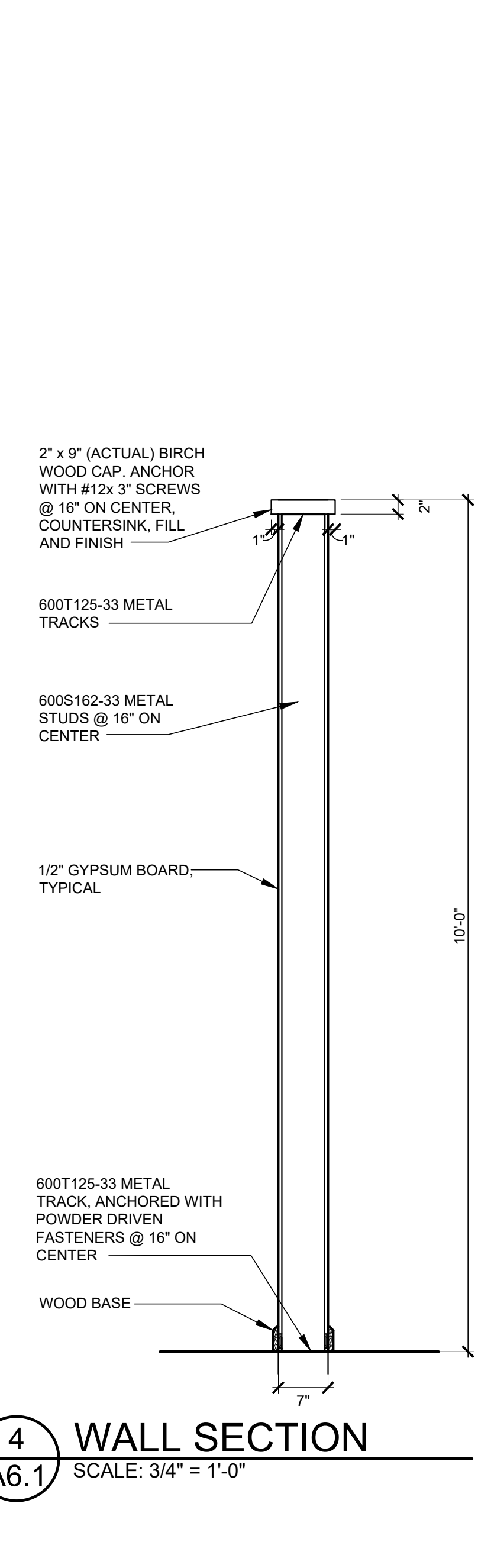
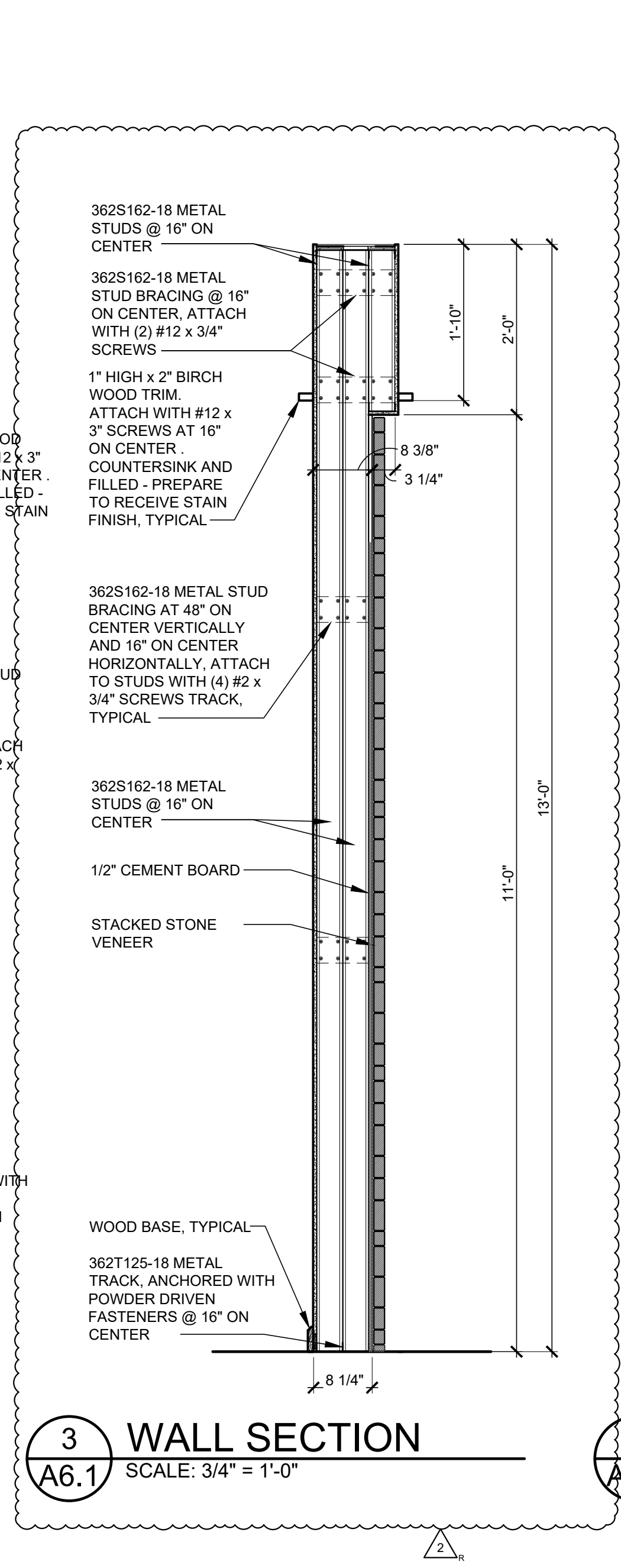
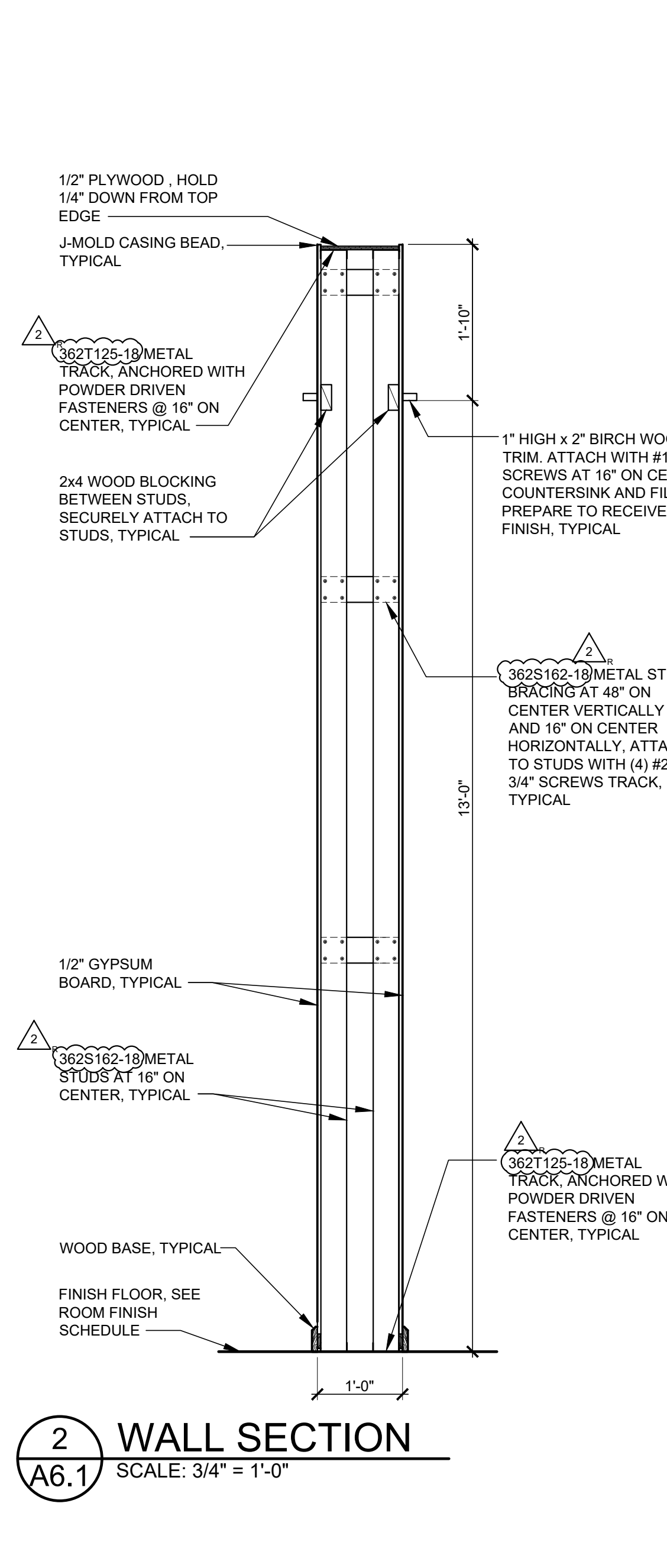
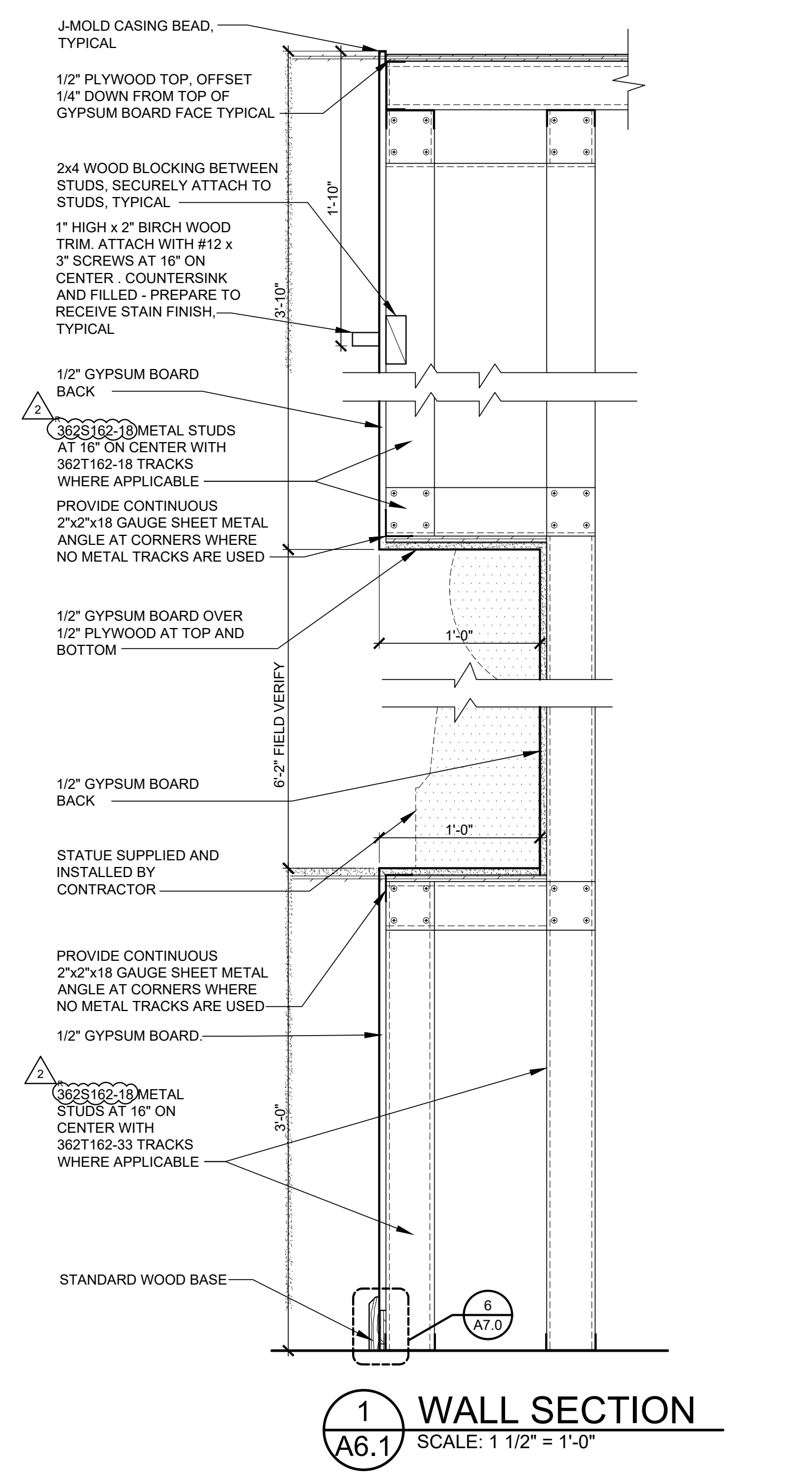
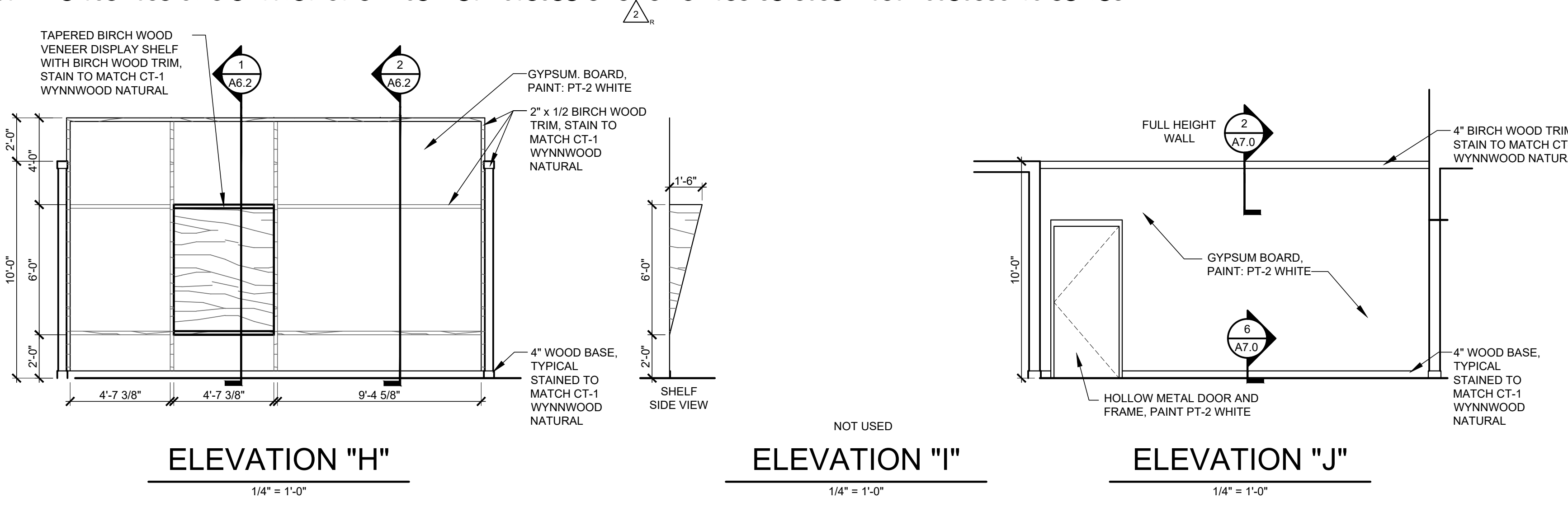
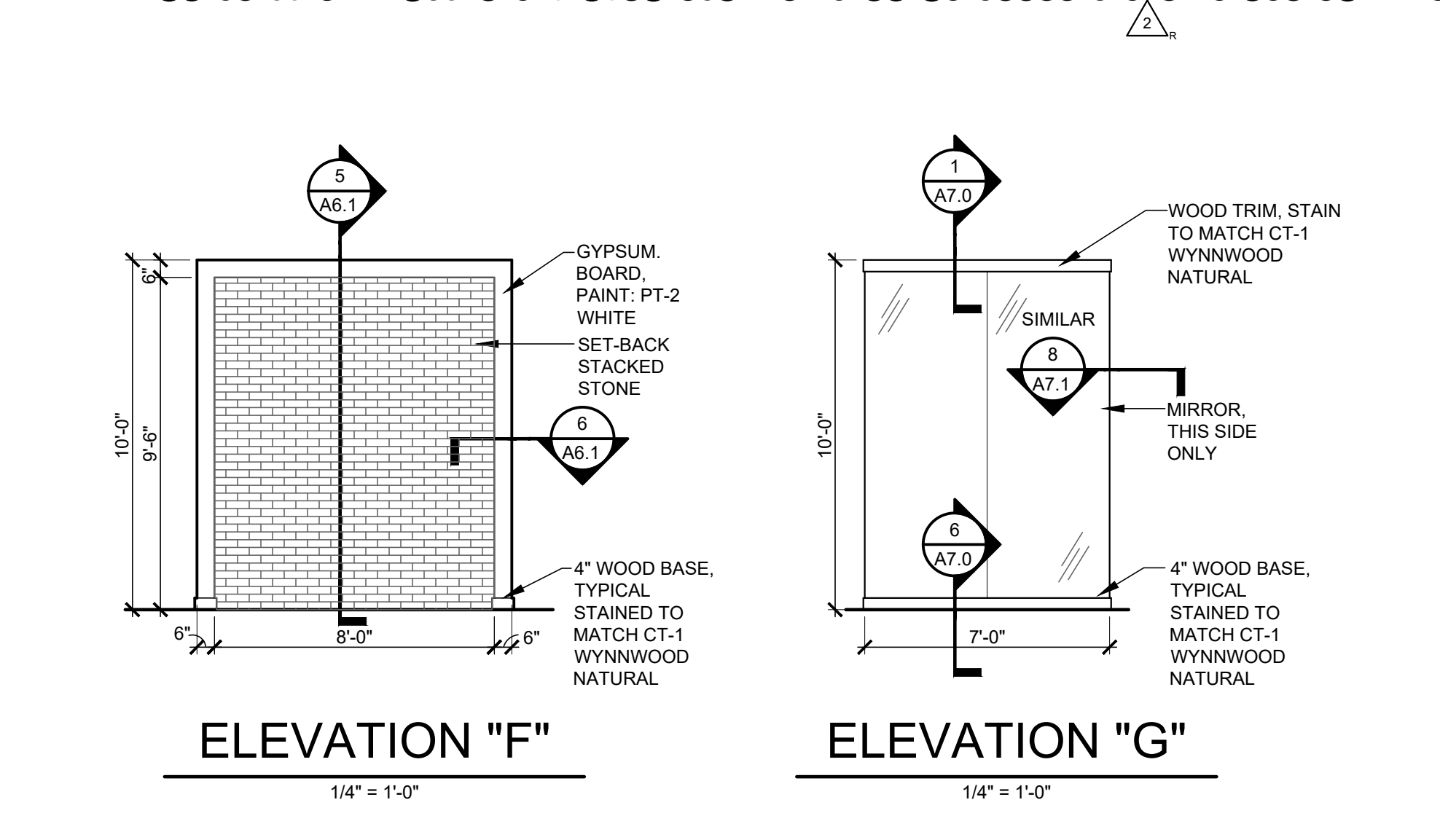
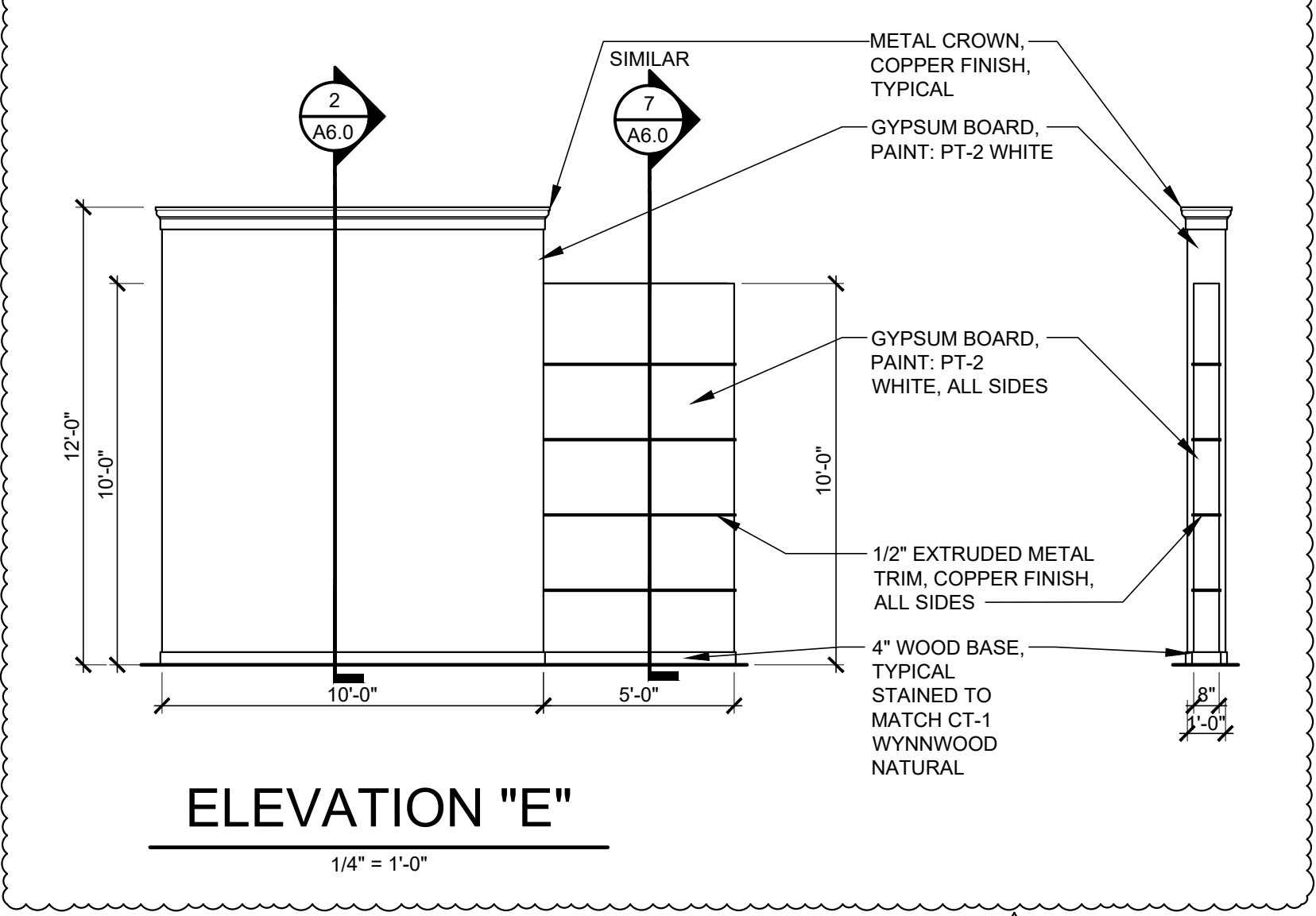
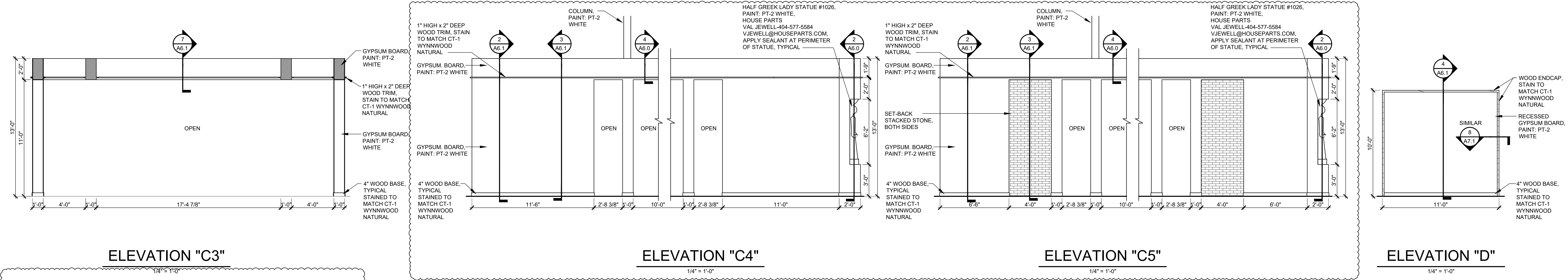
No. Description  
1 ADDENDUM #5

CONSTR. DOC. & REVISIONS  
Date 01/29/24

PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No.: AR03005  
Expiration Date 02/28/25

Drawn By/Checked By: dir/MSB  
Project Number 2101445  
Bid Date 11/09/23  
Permit 03/28/23  
Owner Date 07/06/22

ADULT SALES  
INTERIOR  
ELEVATIONS  
AND DETAILS  
A6.0



**ROOMS TO GO**  
 STORE EXPANSION AND REMODEL  
 18722 SOUTH DIXIE HIGHWAY,  
 CUTLER BAY, FL 33157

No. Description  
 1 ADDENDUM #3  
 2 ADDENDUM #5

CONSTR. DOC. & REVISIONS

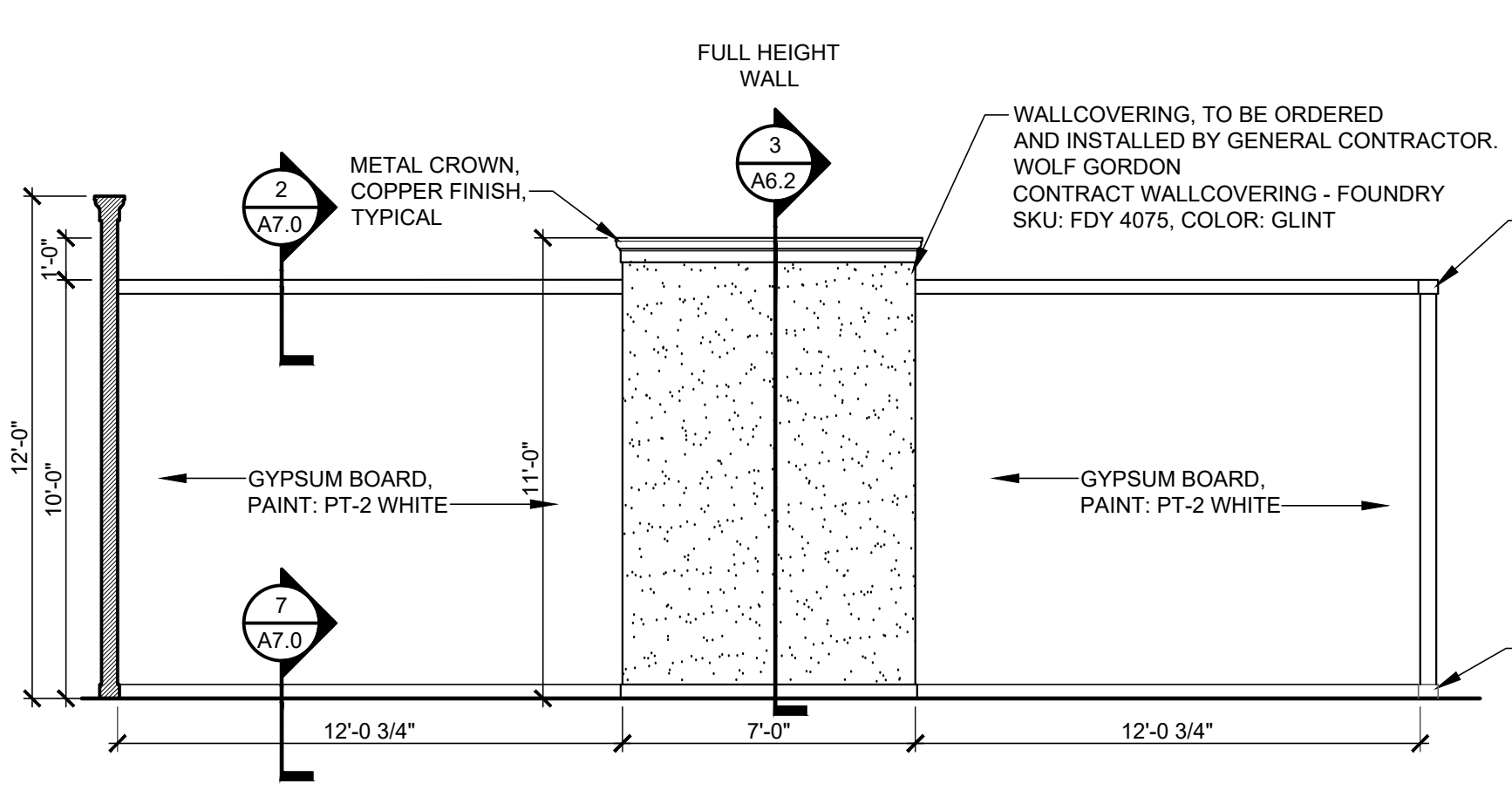
Date  
 12/05/23  
 01/29/24

PROFESSIONAL OF RECORD  
 MICHAEL SCOTT SUNDERMEYER  
 License No.: AR000305  
 Expiration Date: 02/28/25

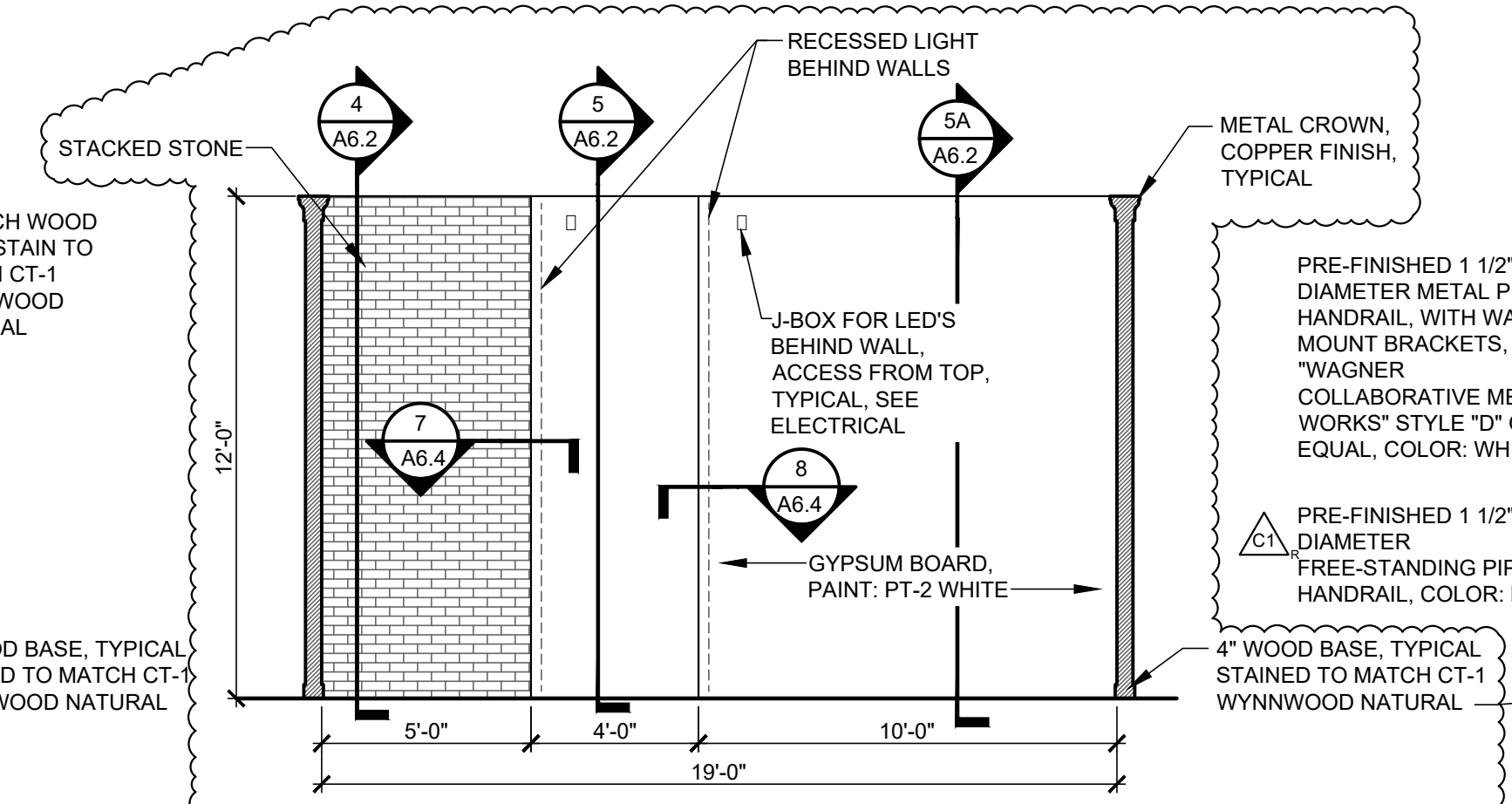
Drawn By/Checked By: dir/MSB  
 Project Number: 2101445  
 Bid Date: 11/09/23  
 Permit: 03/28/23  
 Owner Date: 07/06/22

**ADULT SALES**  
**INTERIOR**  
**ELEVATIONS**  
**AND DETAILS**  
**A6.1**

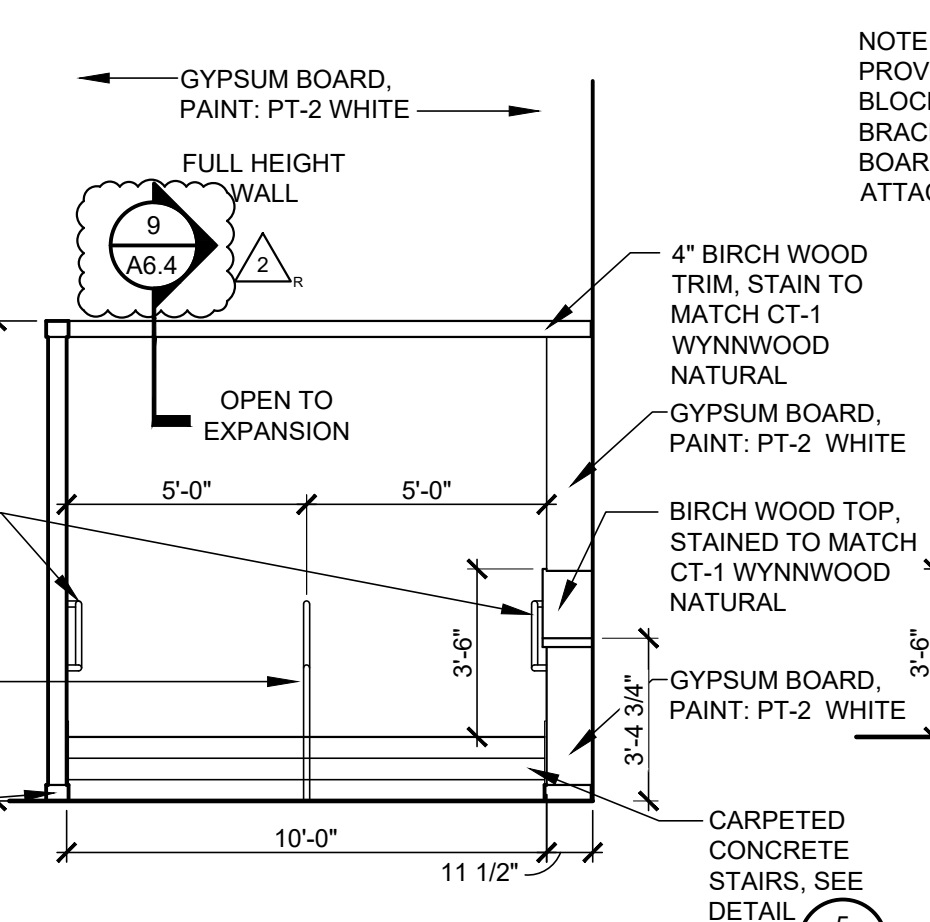




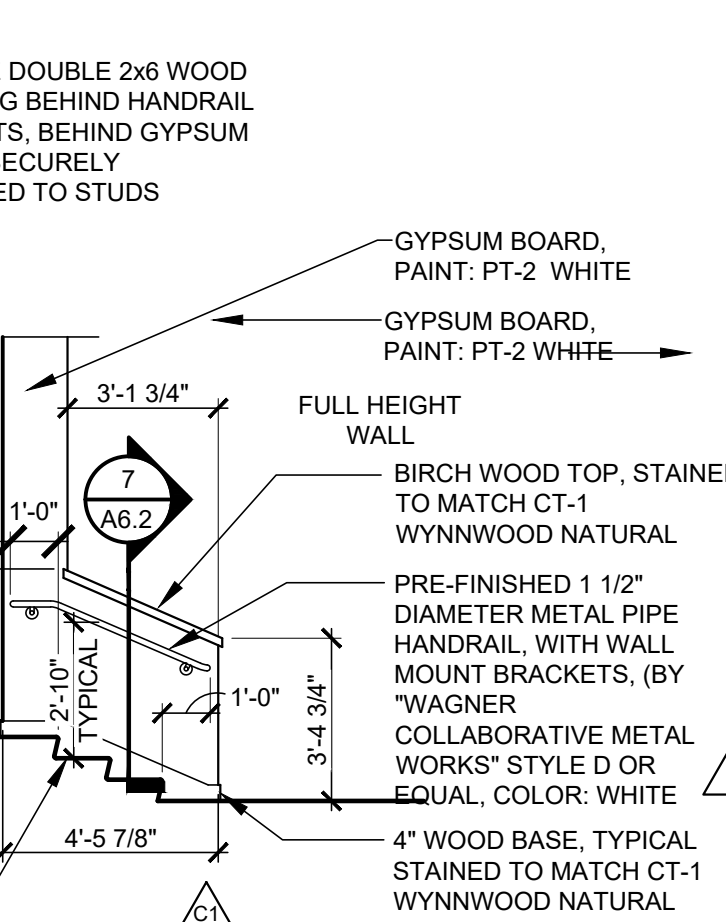
ELEVATION "K"  
1/4" = 1'-0"



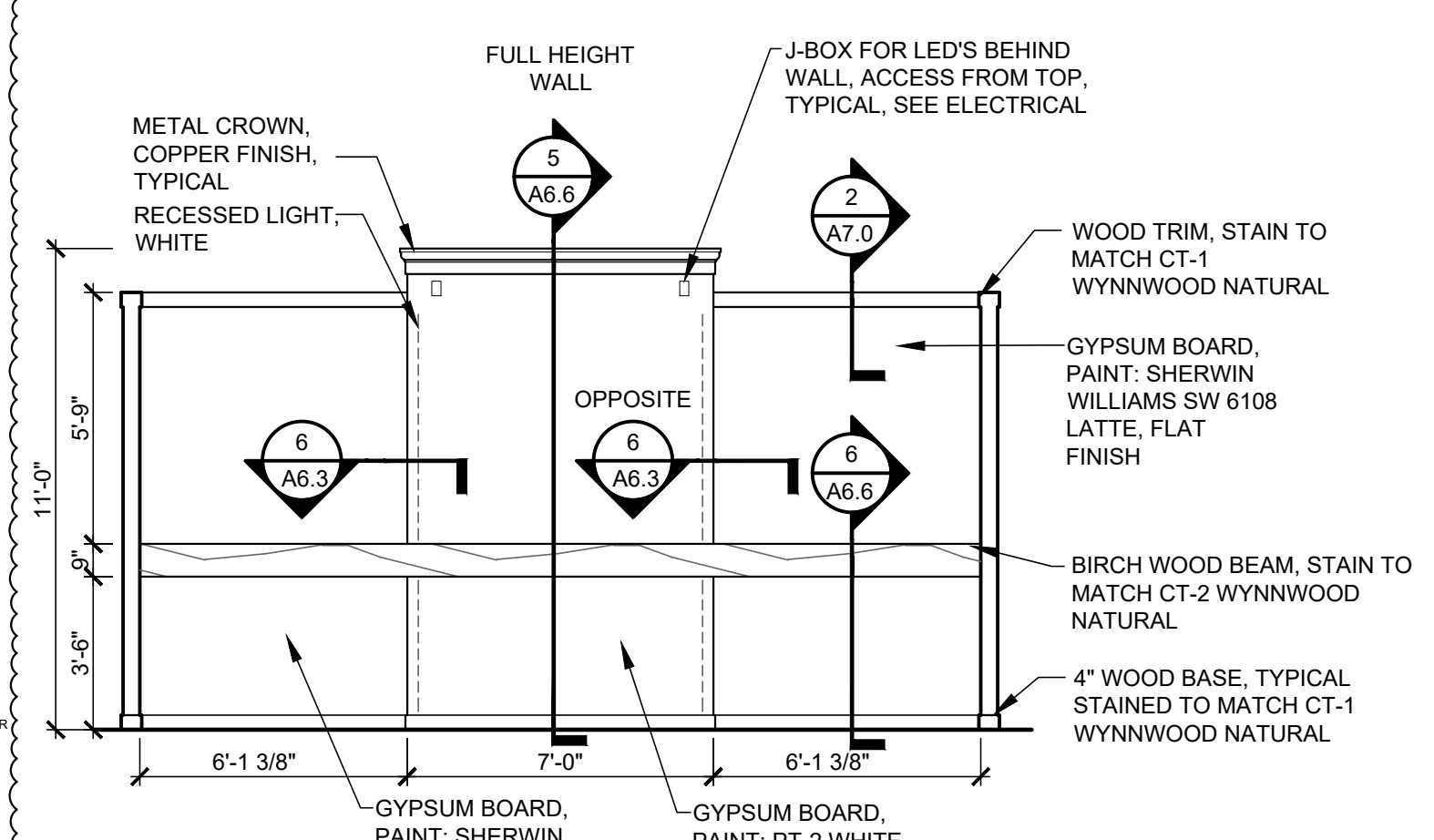
ELEVATION "L"  
1/4" = 1'-0"



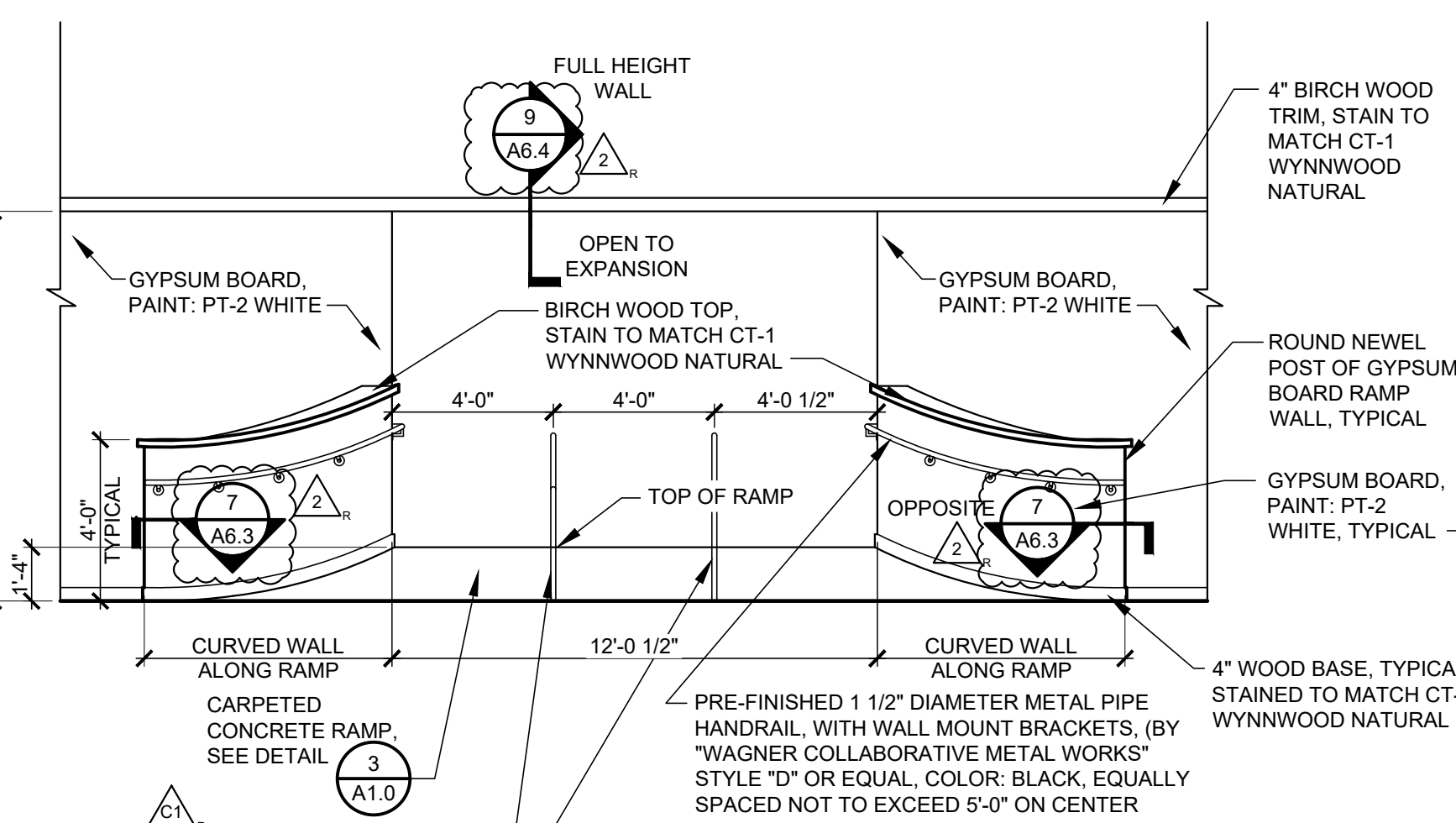
ELEVATION "M"  
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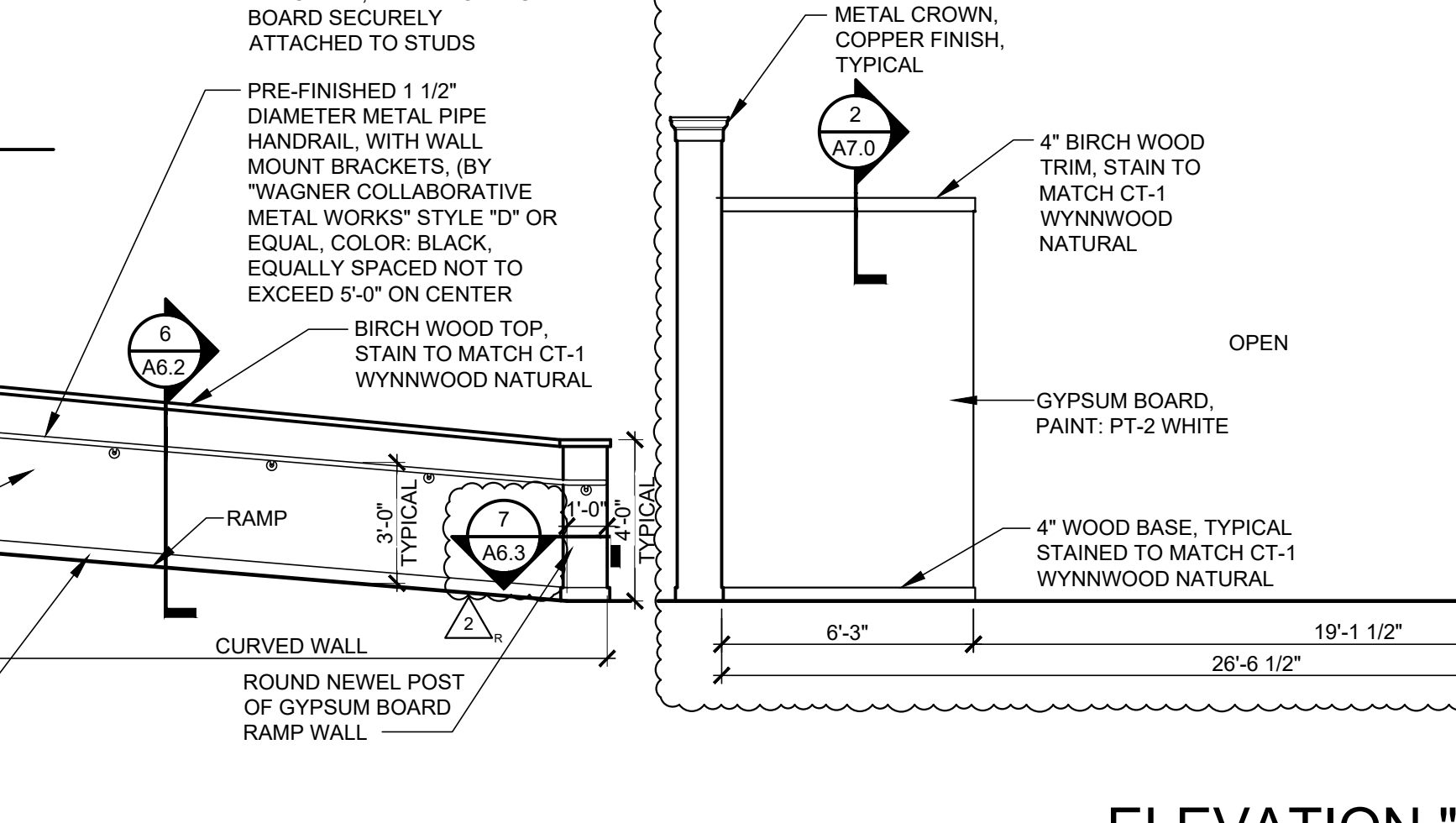
ELEVATION "M1"  
1/4" = 1'-0"



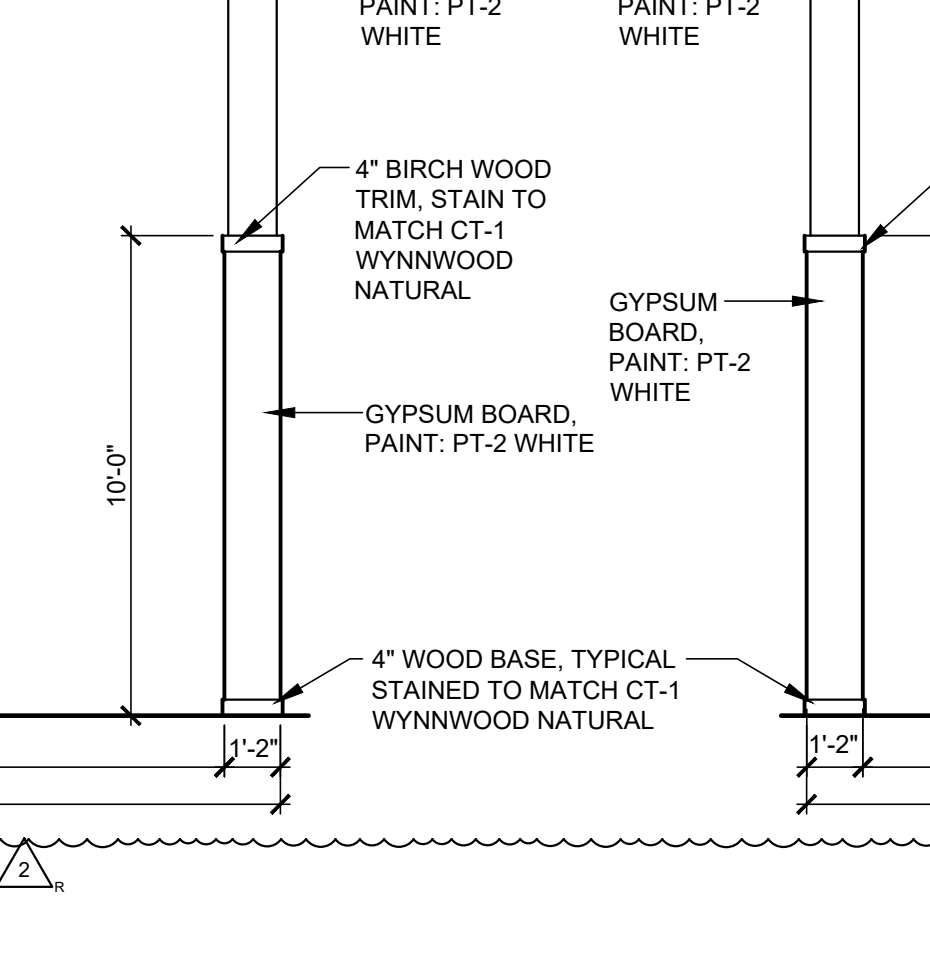
ELEVATION "N"  
1/4" = 1'-0"



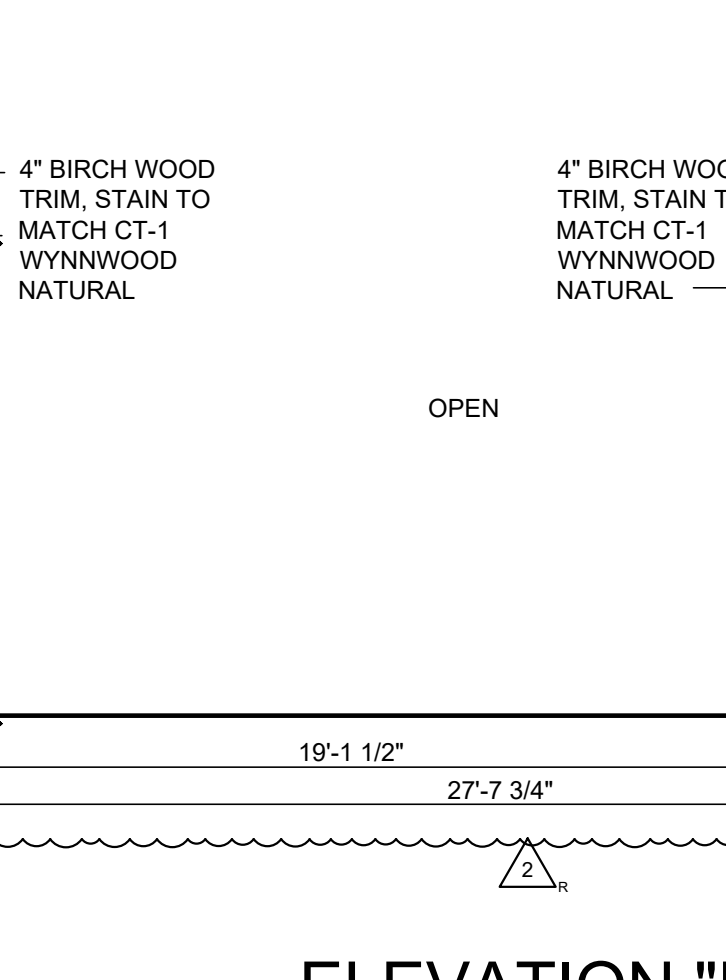
ELEVATION "O"  
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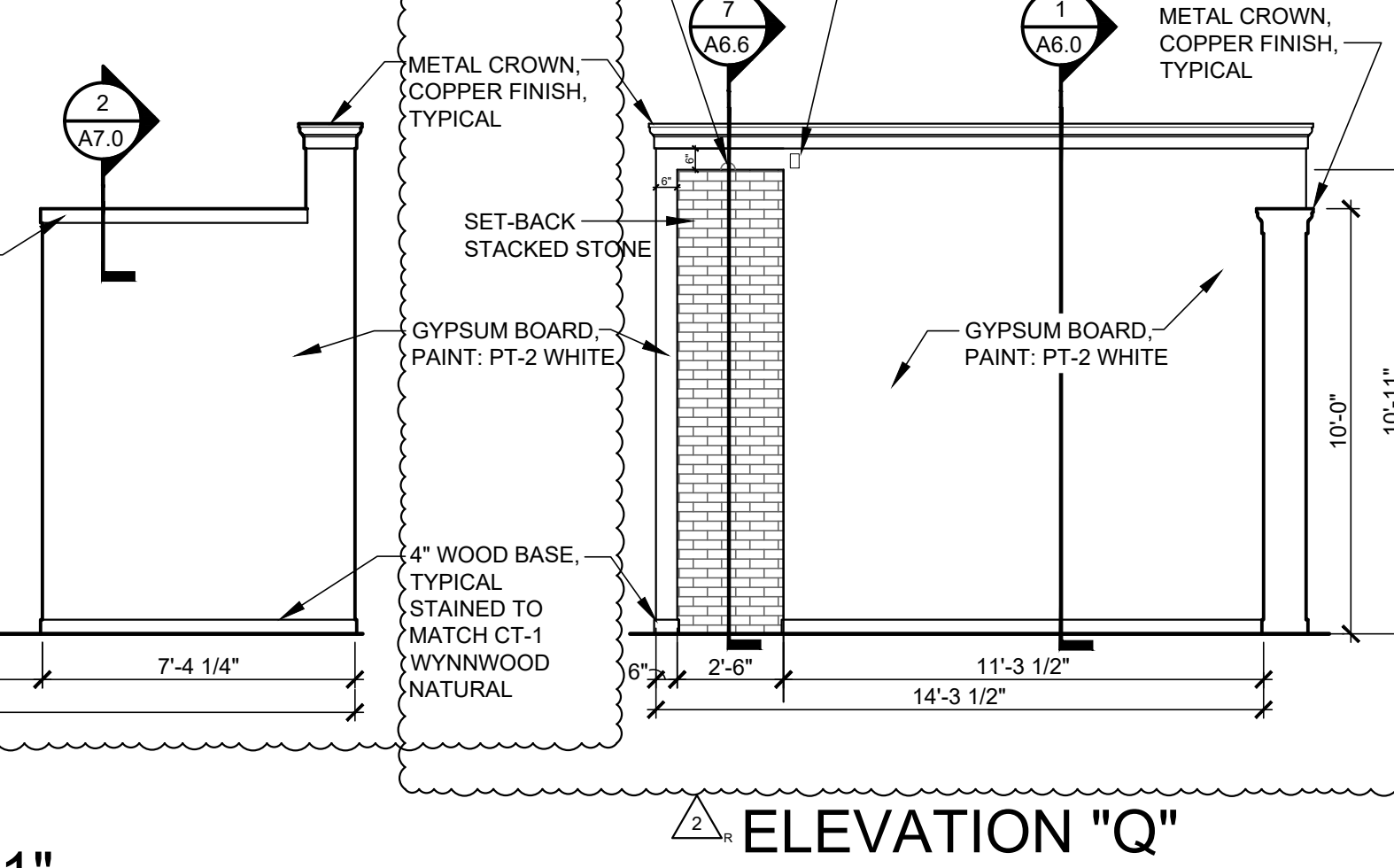
ELEVATION "O1"  
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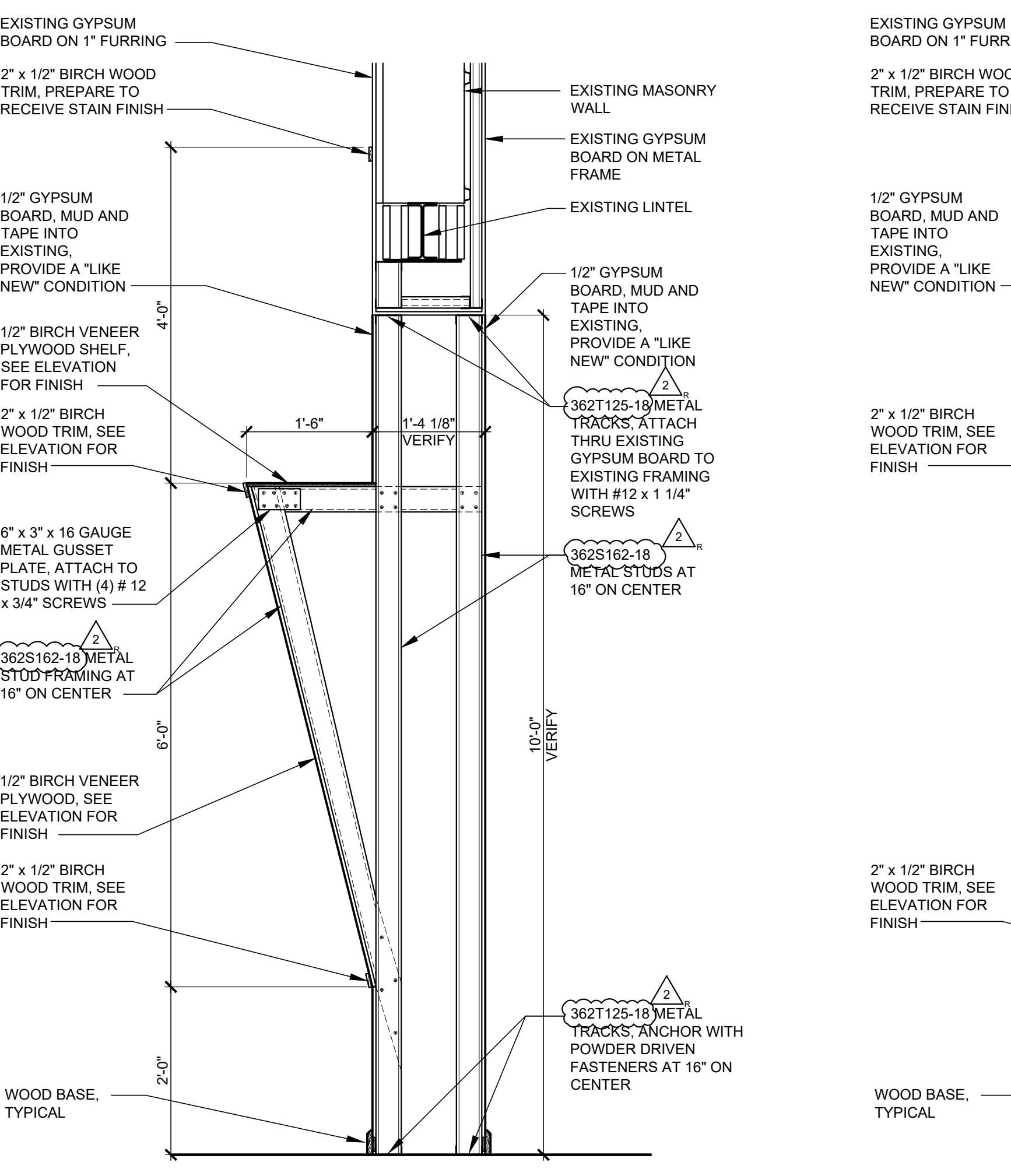
ELEVATION "P"  
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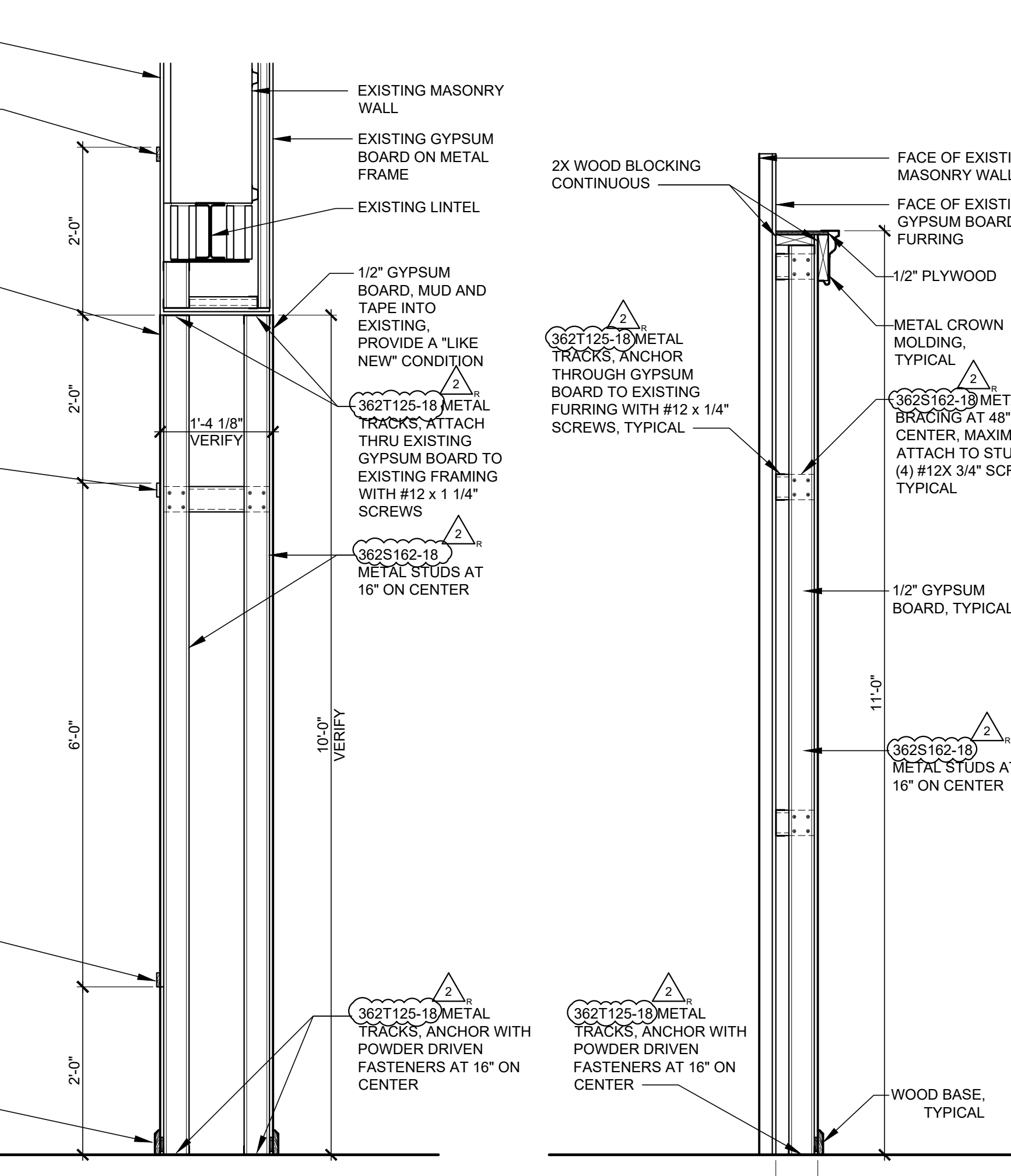
ELEVATION "P1"  
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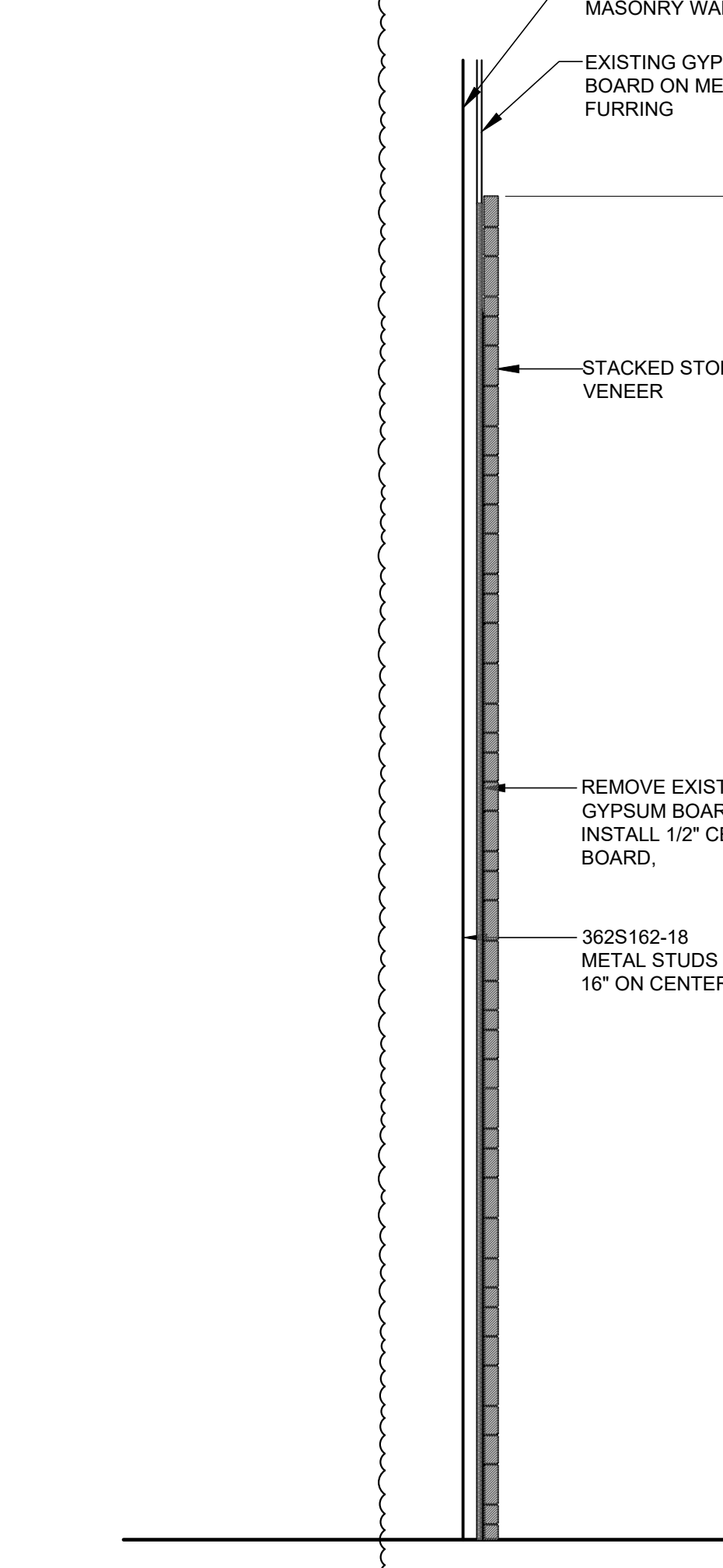
ELEVATION "Q"  
1/4" = 1'-0"



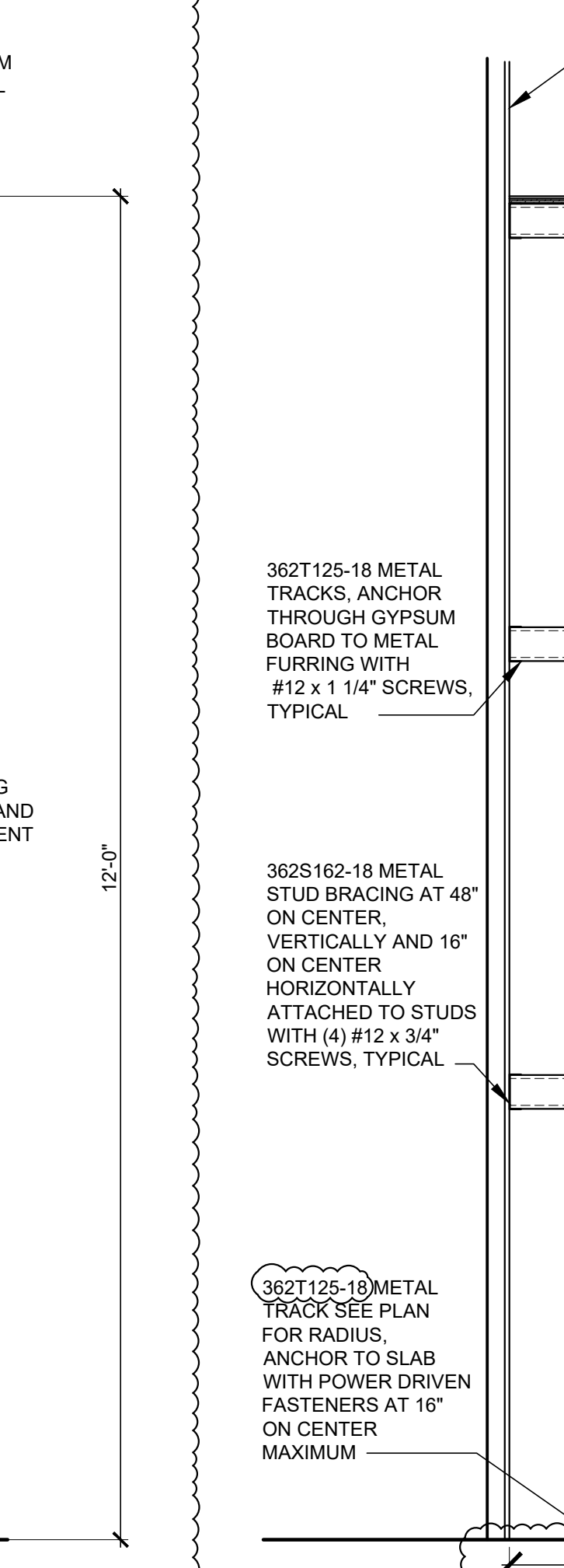
1 WALL SECTION  
A6.2 SCALE: 3/4" = 1'-0"



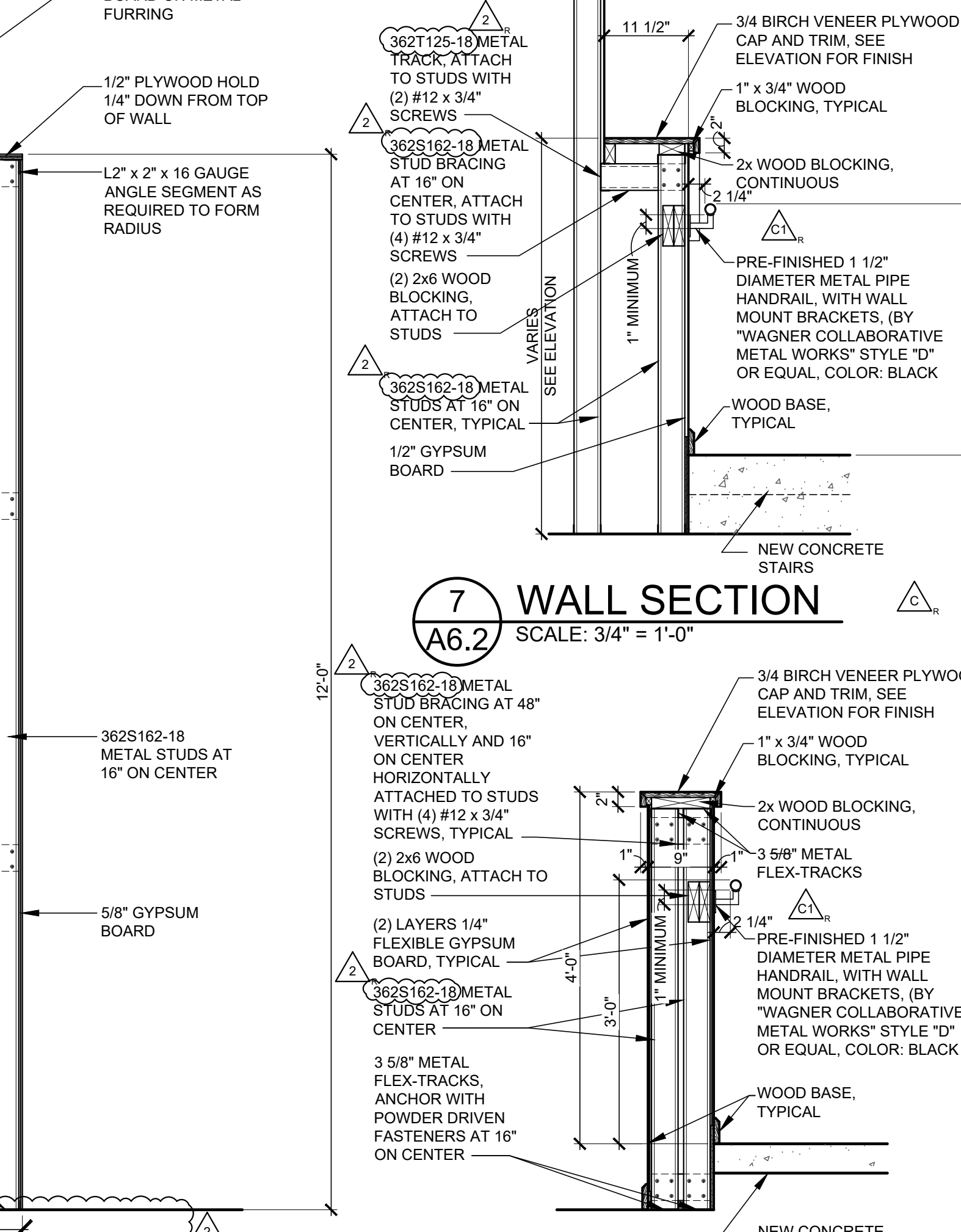
2 WALL SECTION  
A6.2 SCALE: 3/4" = 1'-0"



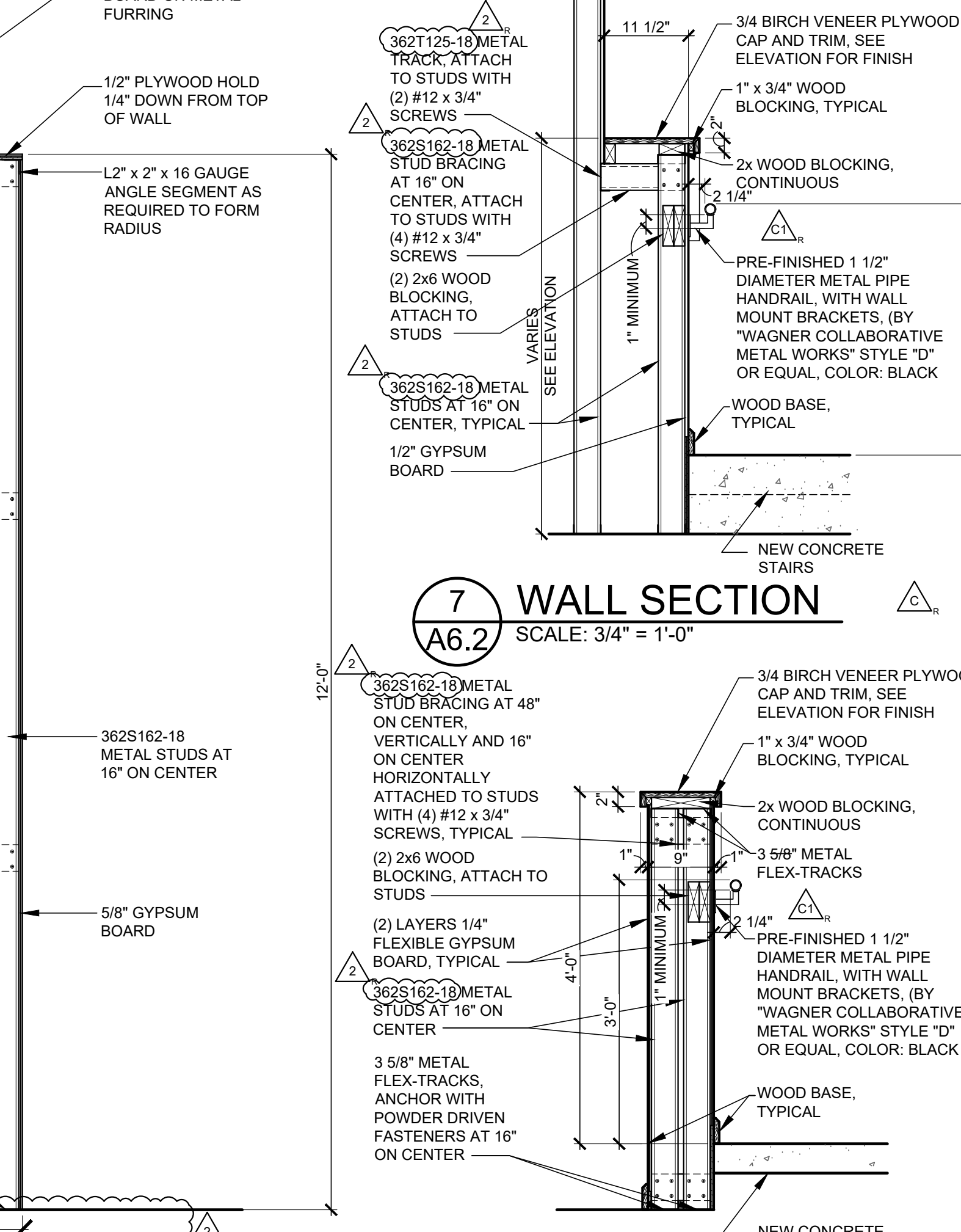
3 WALL SECTION  
A6.2 SCALE: 3/4" = 1'-0"



4 WALL SECTION  
A6.2 SCALE: 3/4" = 1'-0"



5 WALL SECTION  
A6.2 SCALE: 3/4" = 1'-0"



6 WALL SECTION  
A6.2 SCALE: 3/4" = 1'-0"

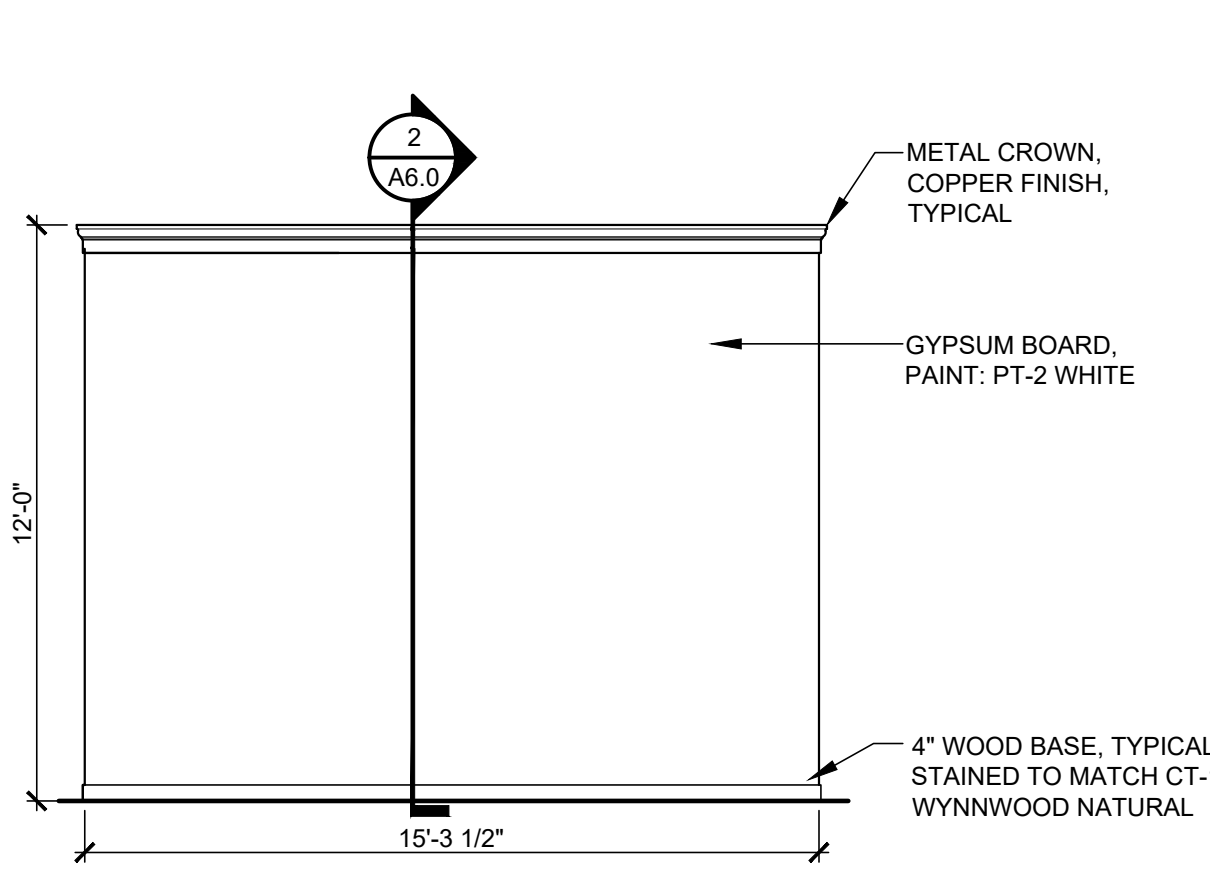
**ROOMS TO GO**  
STORE EXPANSION AND REMODEL  
18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

|     |                               |          |
|-----|-------------------------------|----------|
| No. | Description                   | Date     |
| C   | FIRE DEPARTMENT CODE COMMENTS | 06/13/23 |
| 1   | ADDENDUM 3                    | 07/10/23 |
| 2   | ADDENDUM 4                    | 12/05/23 |
|     | ADDENDUM 5                    | 01/29/24 |

PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No. AB030305  
Expiration Date 02/28/25

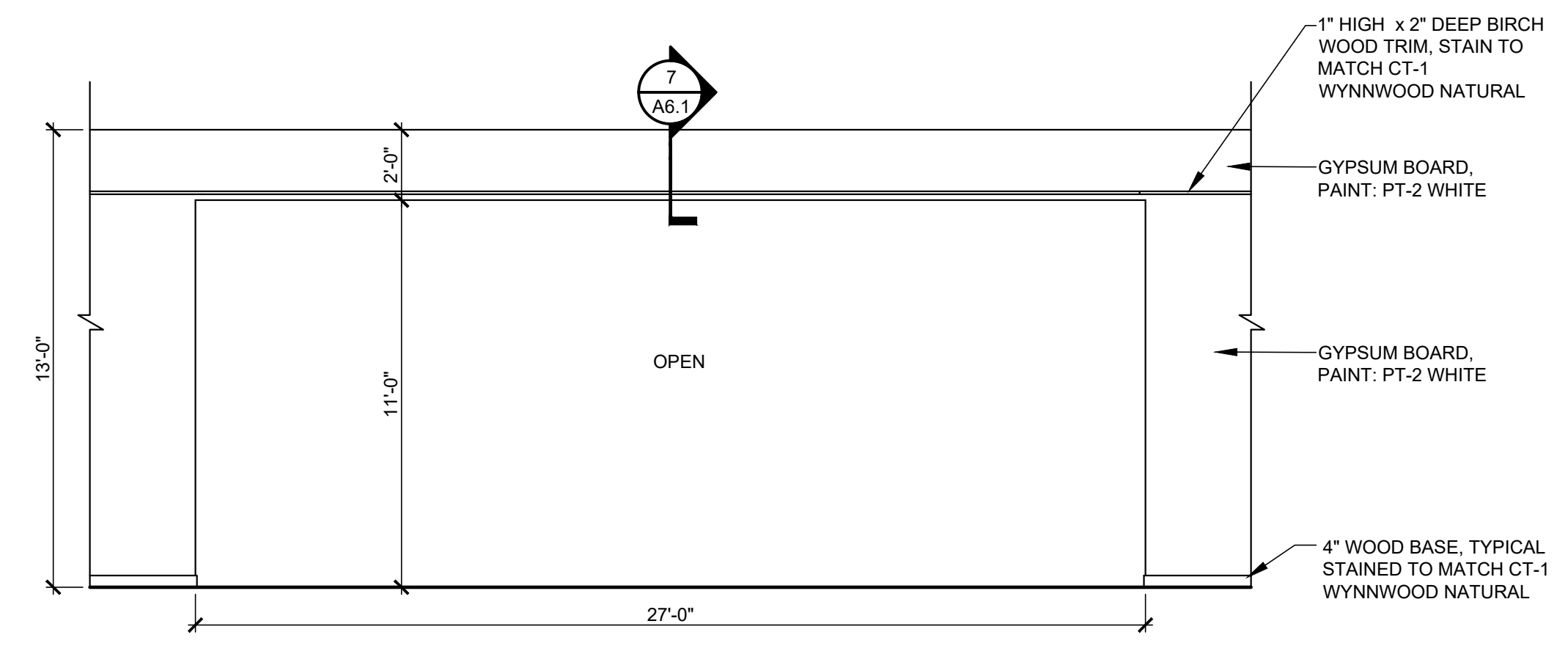
Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**ADULT SALES**  
INTERIOR  
ELEVATIONS  
AND DETAILS  
**A6.2**



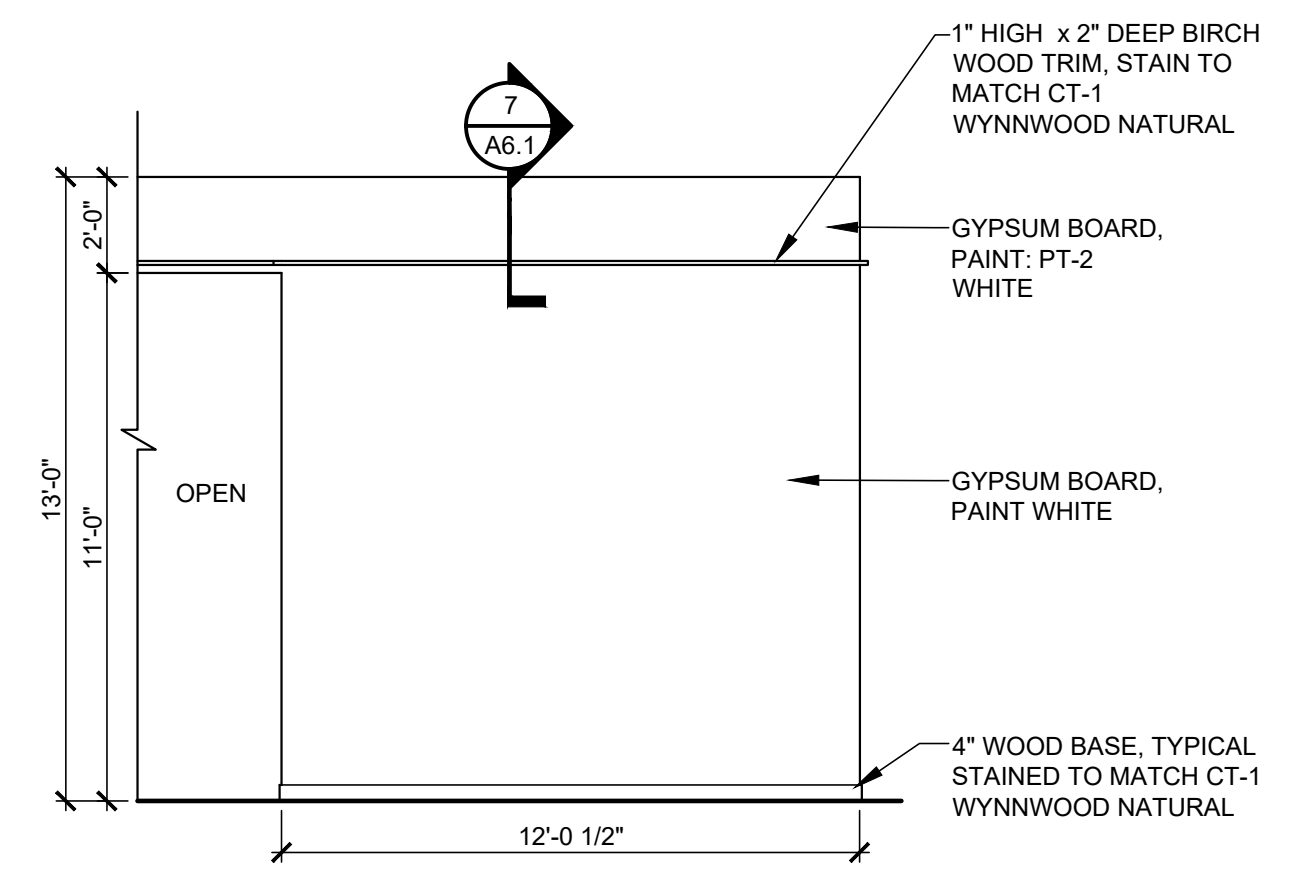
ELEVATION "Q1"

1/4" = 1'-0"



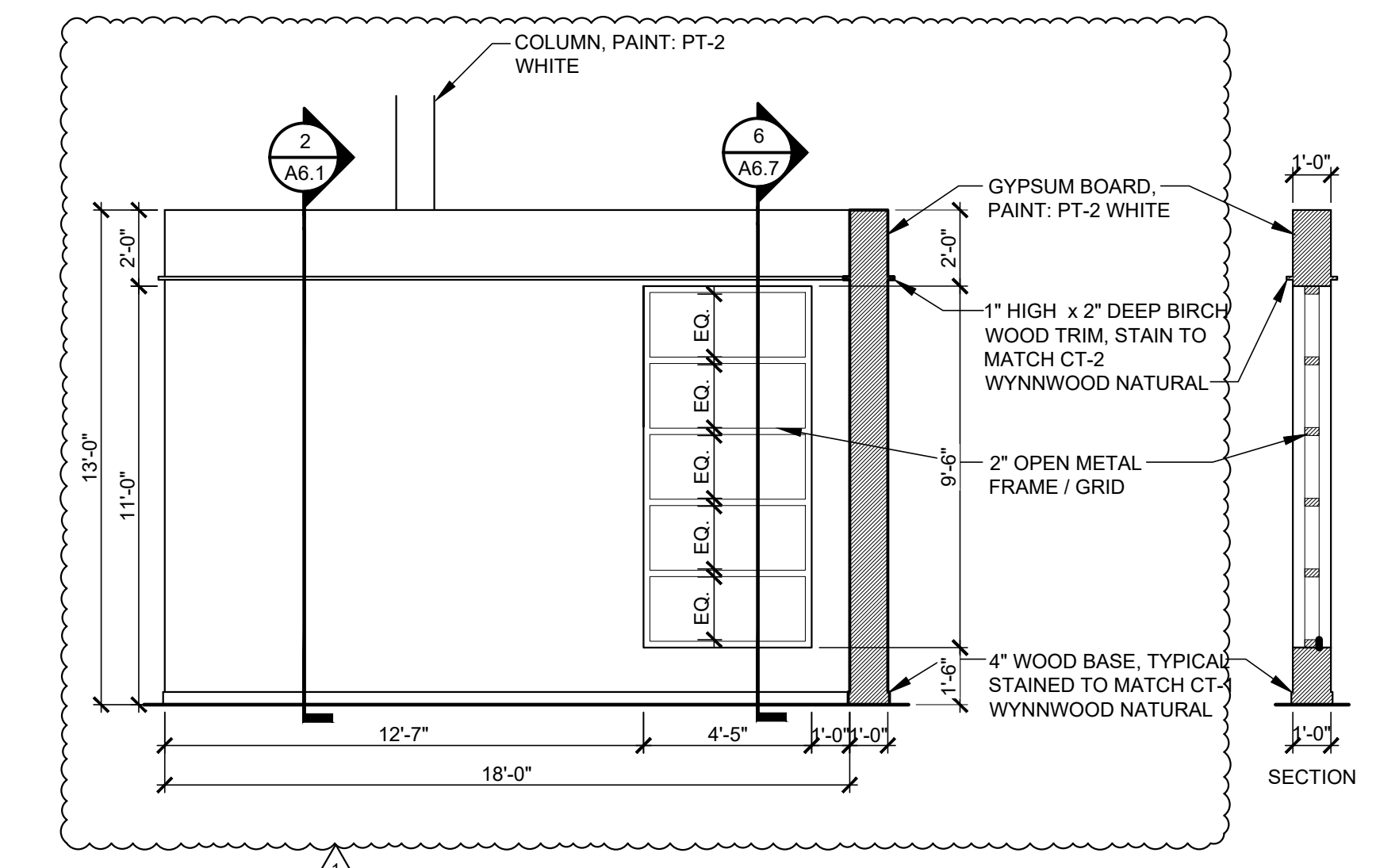
ELEVATION "R"

1/4" = 1'-0"



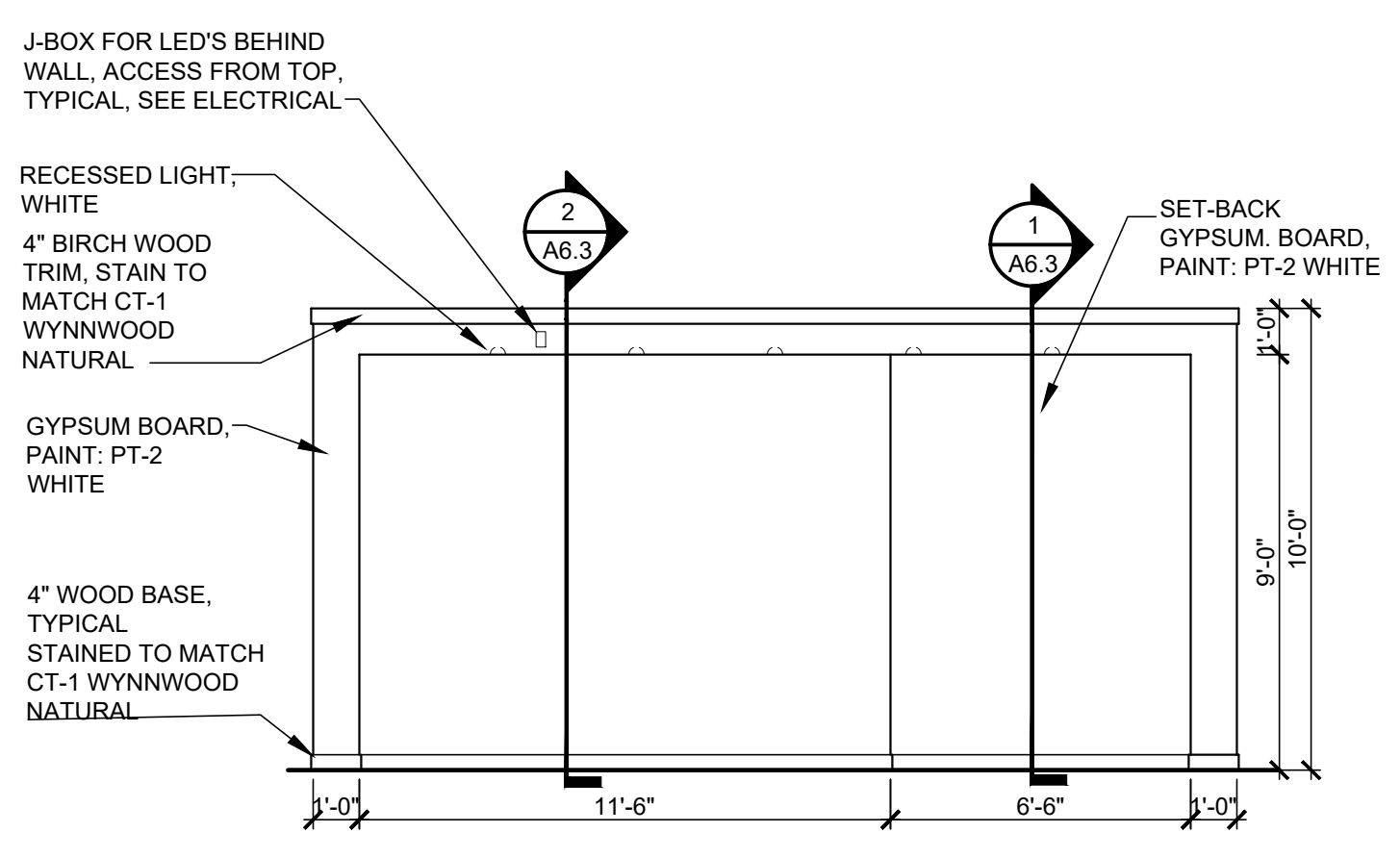
ELEVATION "R1"

1/4" = 1'-0"



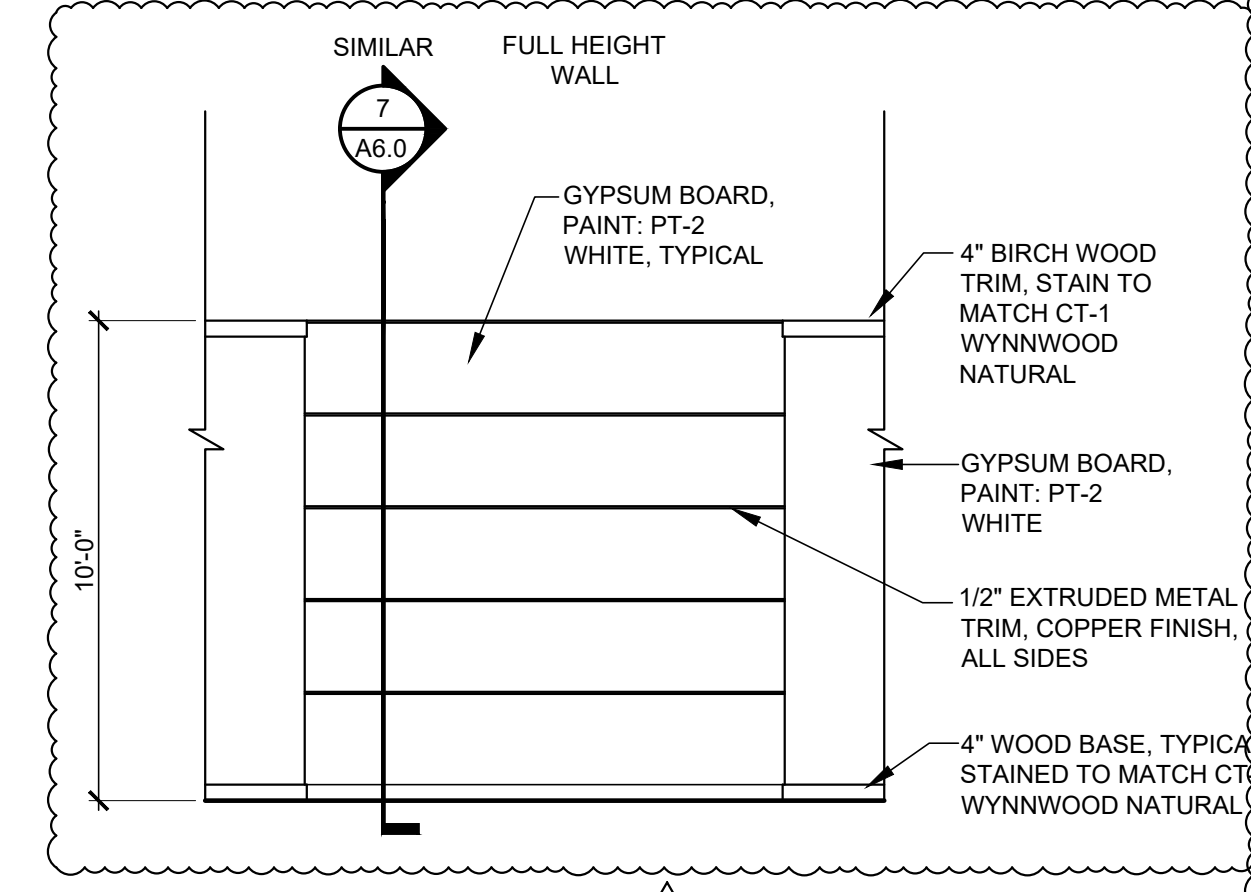
ELEVATION "R2"

1/4" = 1'-0"



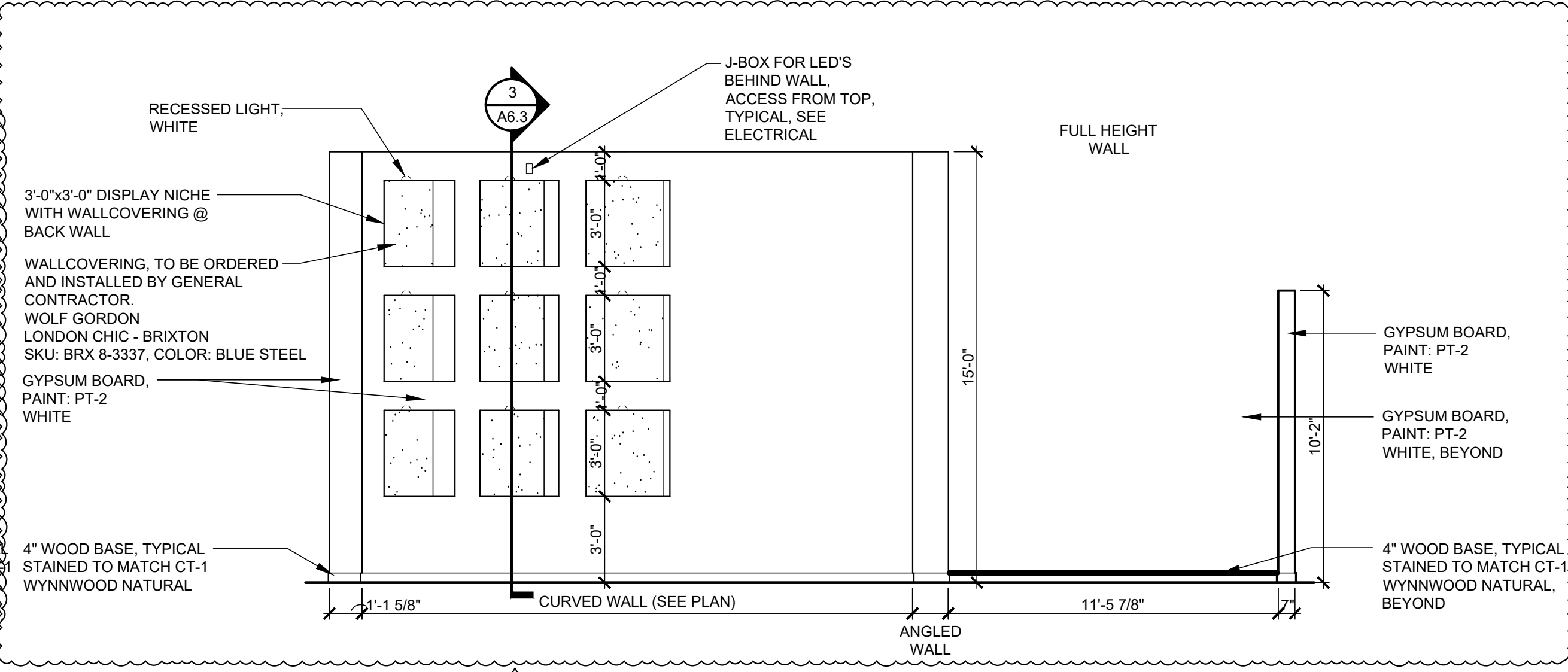
ELEVATION "S"

1/4" = 1'-0"



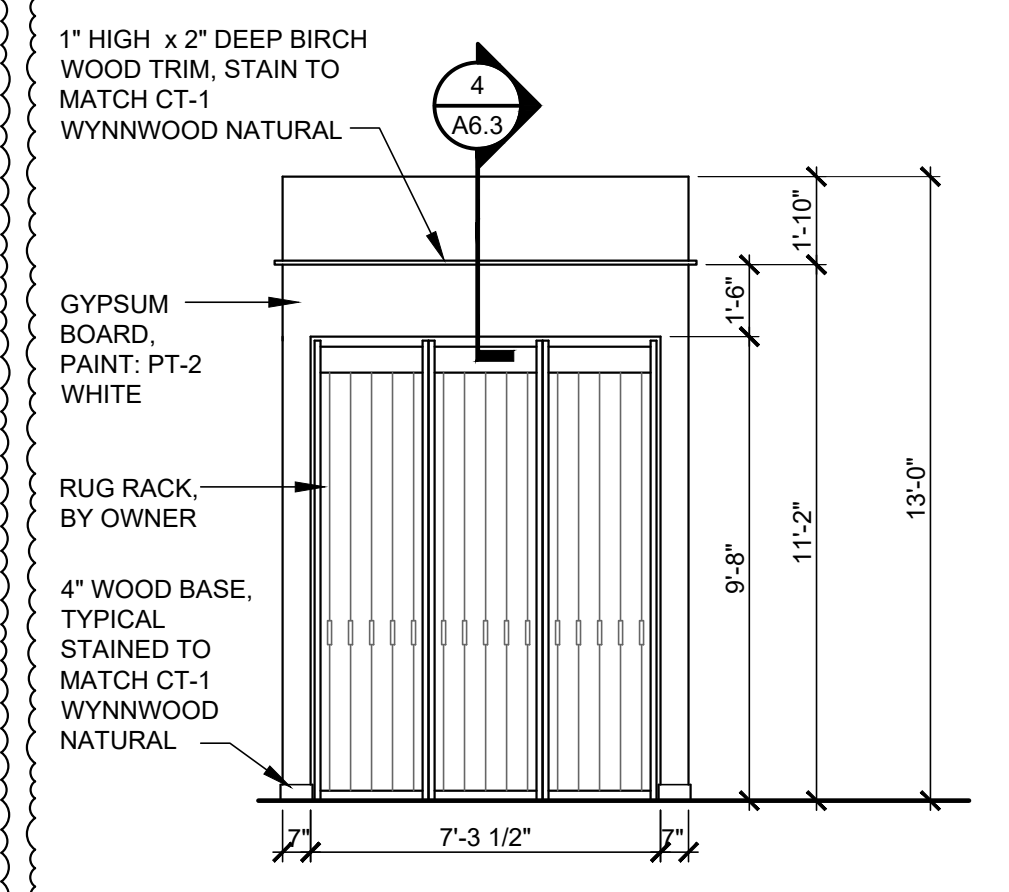
ELEVATION "T"

1/4" = 1'-0"



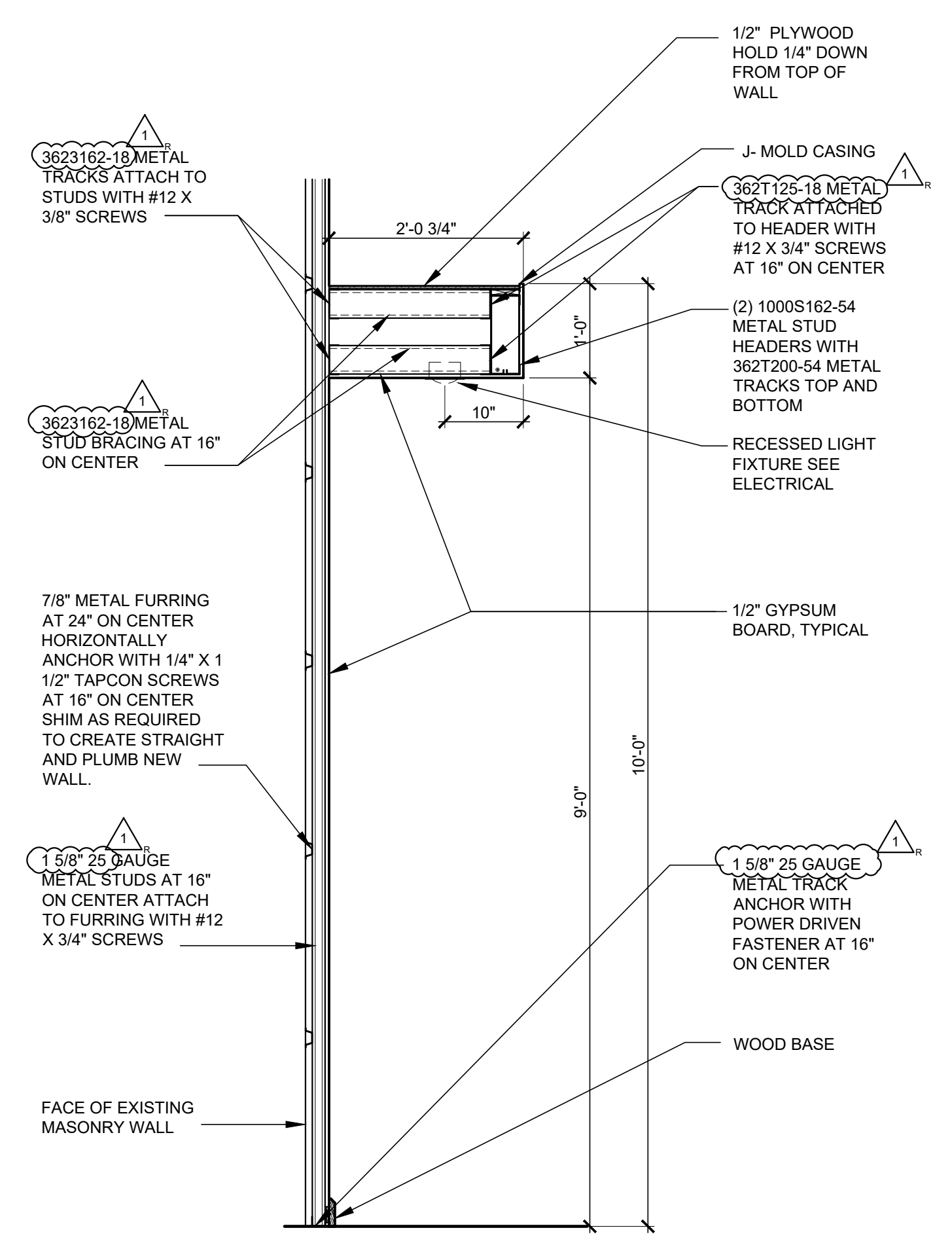
ELEVATION "U"

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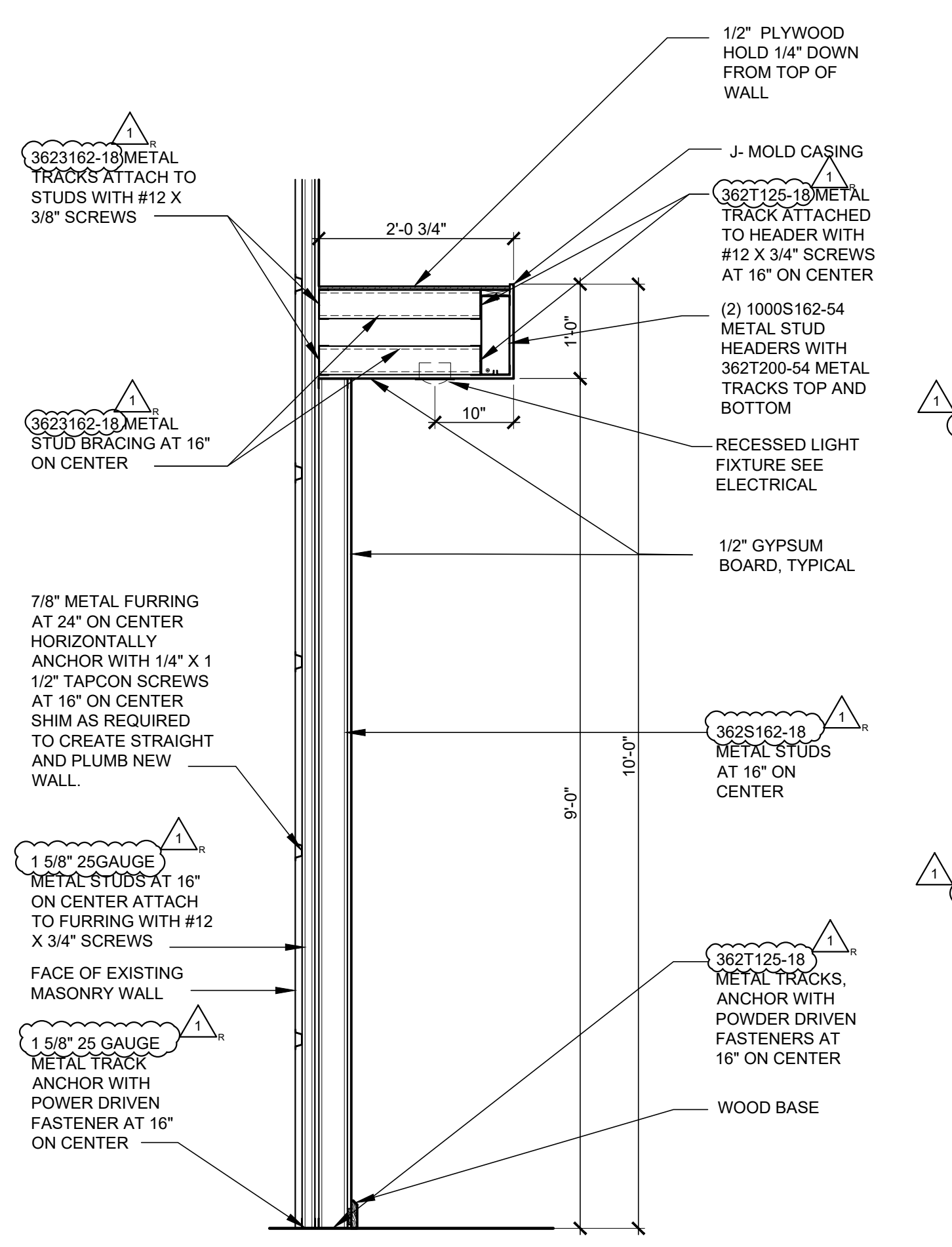


ELEVATION "V"

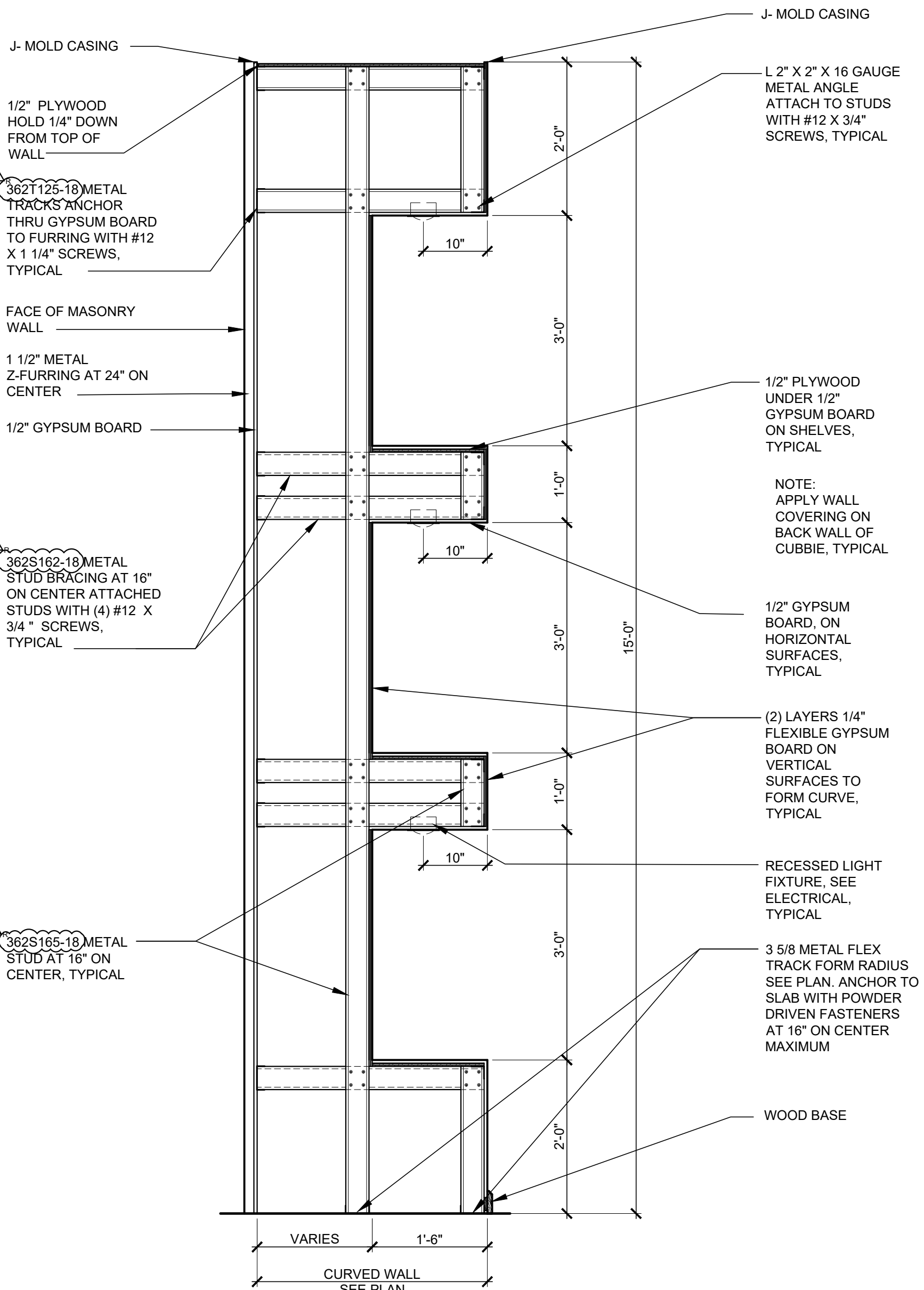
1/4" = 1'-0"



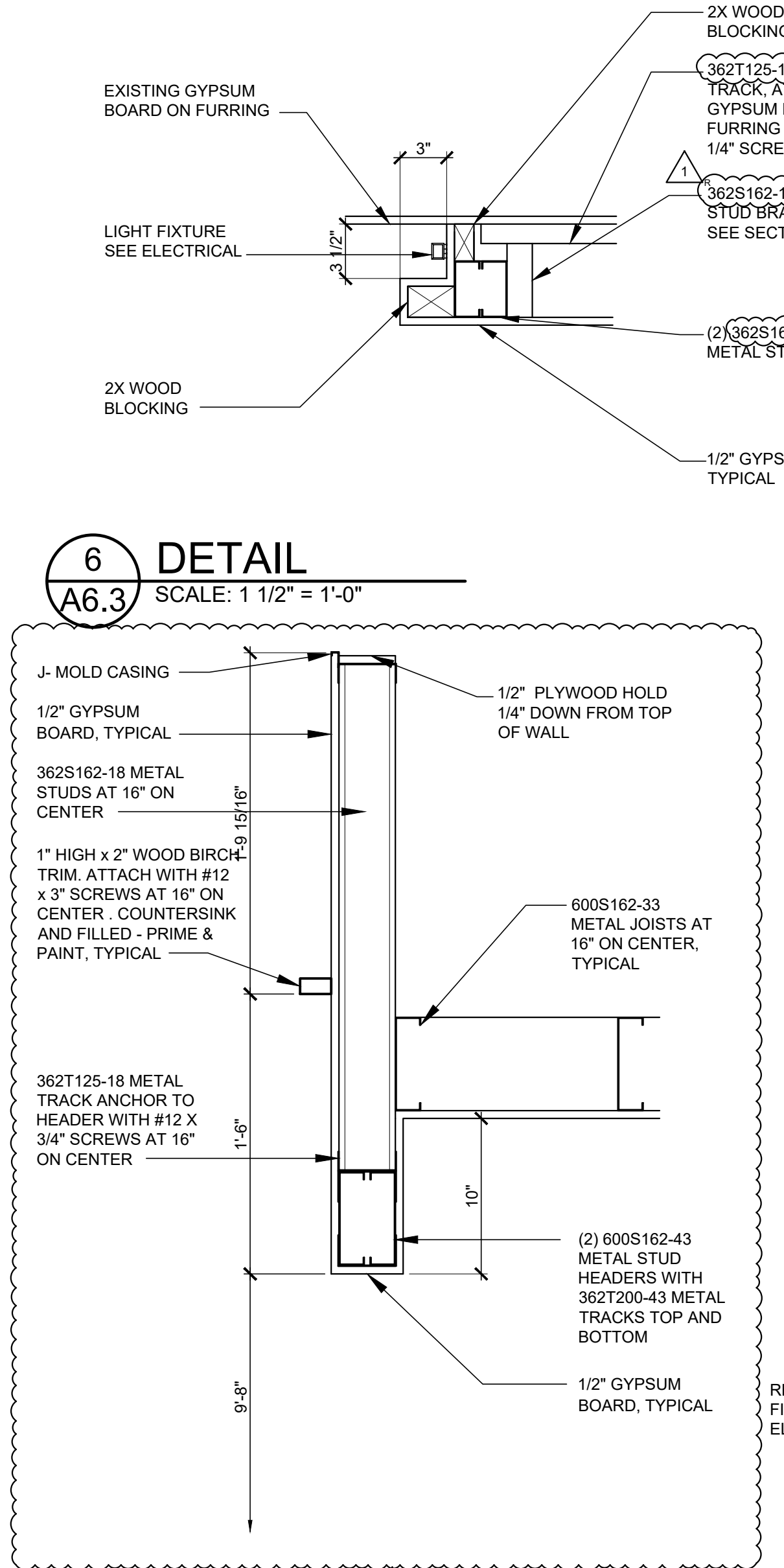
1 WALL SECTION  
A6.3 SCALE: 3/4" = 1'-0"



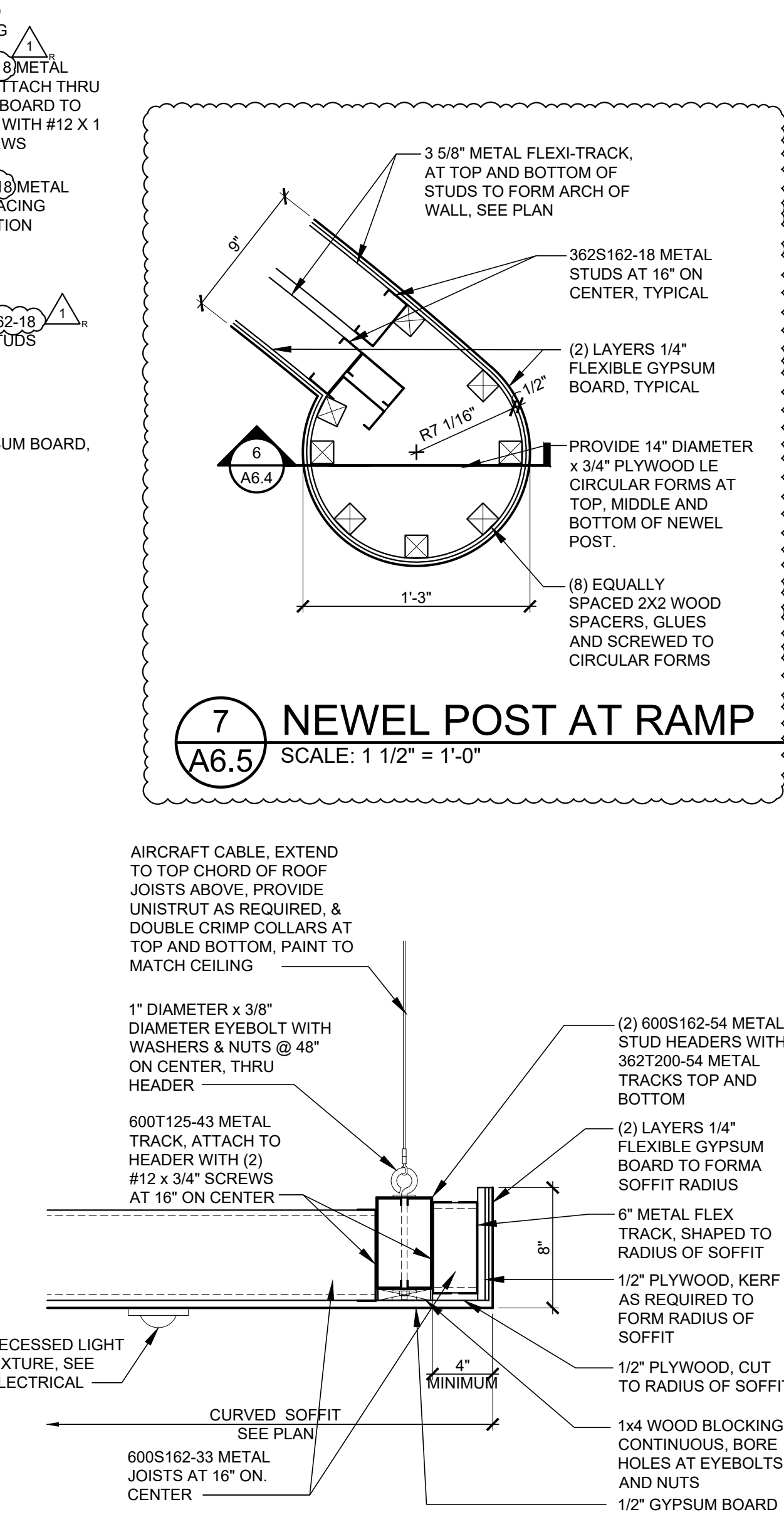
2 WALL SECTION  
A6.3 SCALE: 3/4" = 1'-0"



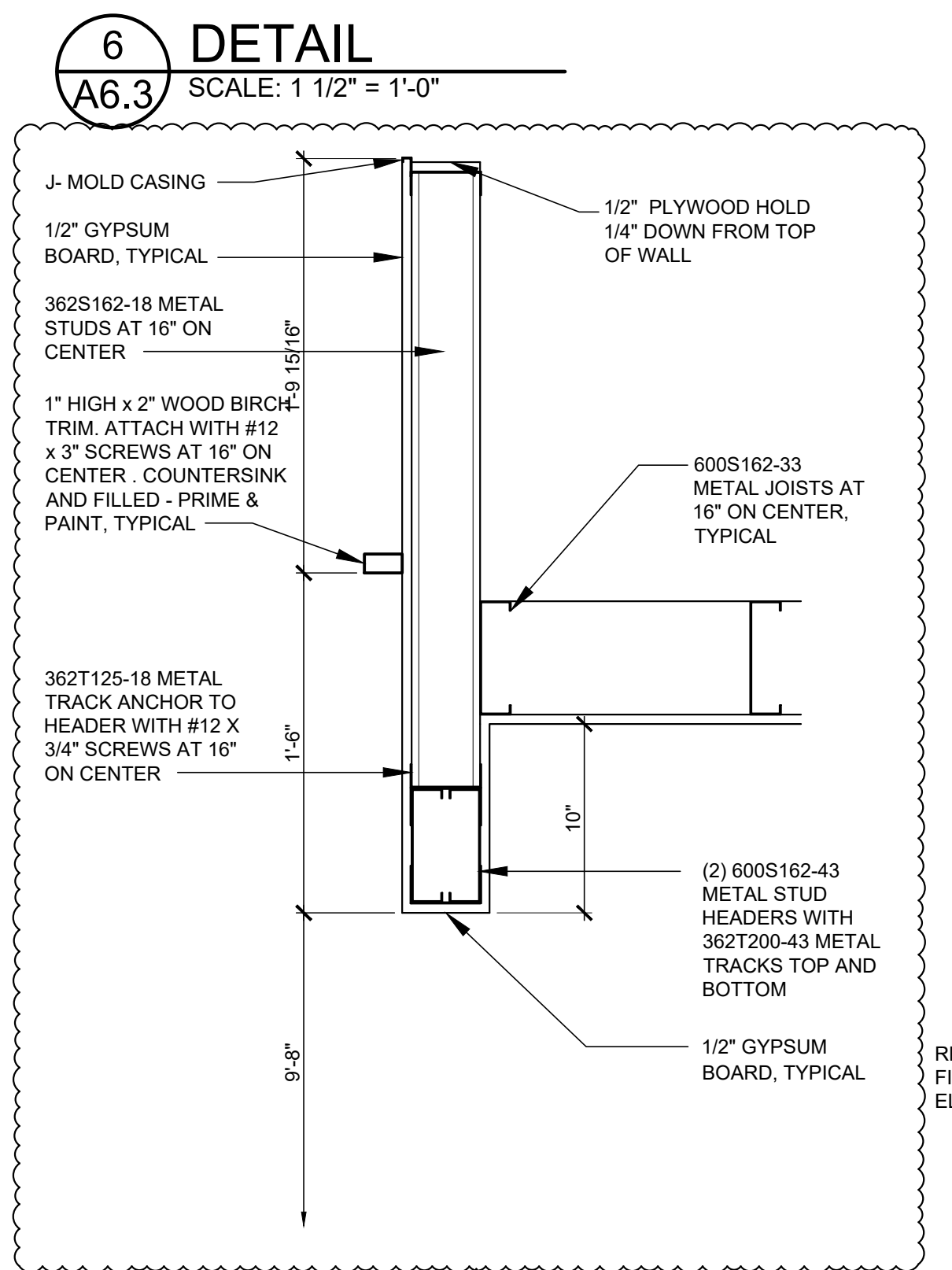
3 WALL SECTION  
A6.3 SCALE: 3/4" = 1'-0"



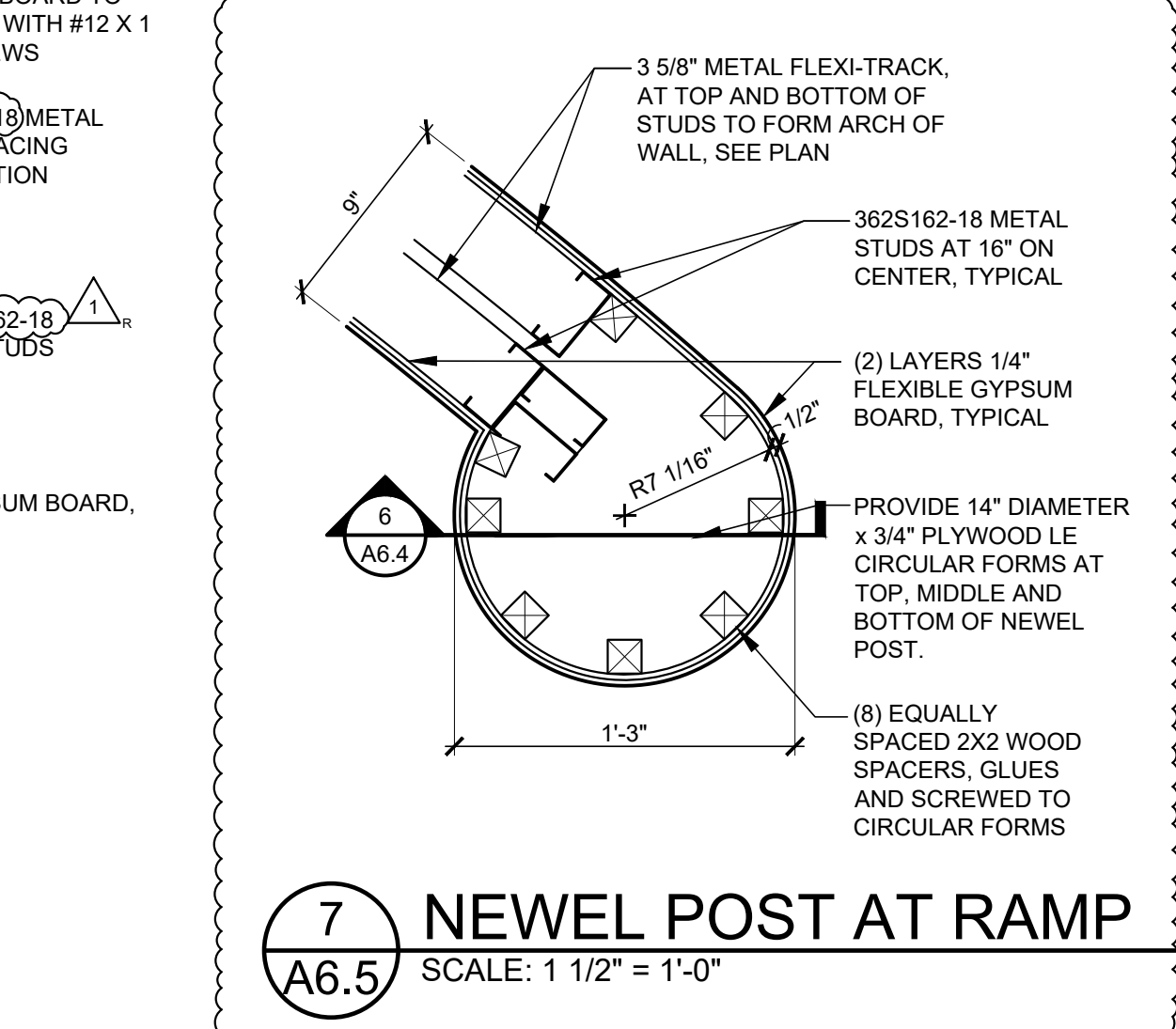
4 DETAIL  
A6.3 SCALE: 1 1/2" = 1'-0"



5 DETAIL  
A6.3 SCALE: 1 1/2" = 1'-0"



6 DETAIL  
A6.3 SCALE: 1 1/2" = 1'-0"



7 NEWEL POST AT RAMP  
A6.5 SCALE: 1 1/2" = 1'-0"

ROOMS STORE EXPANSION AND REMODEL

TO GO

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

Date: 01/29/24  
No. Description: 1. ADDENDUM #5

PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No.: AR030305  
Expiration Date: 02/28/25

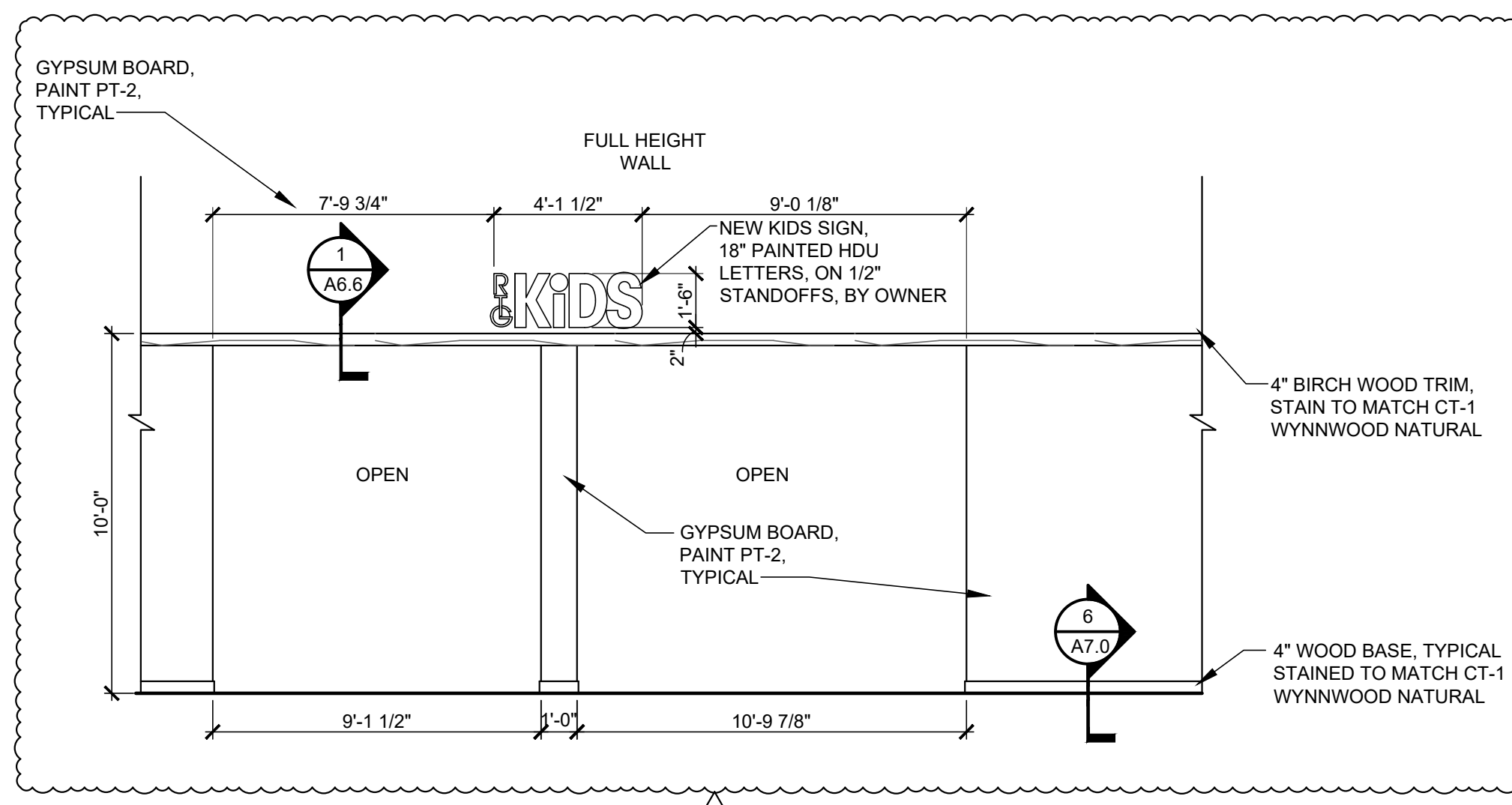
Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

ADULT SALES  
INTERIOR  
ELEVATIONS  
AND DETAILS  
A6.3

CASCO  
12 Sunnen Drive, Suite 100, St. Louis, MO 63143  
T: 314.821.1100

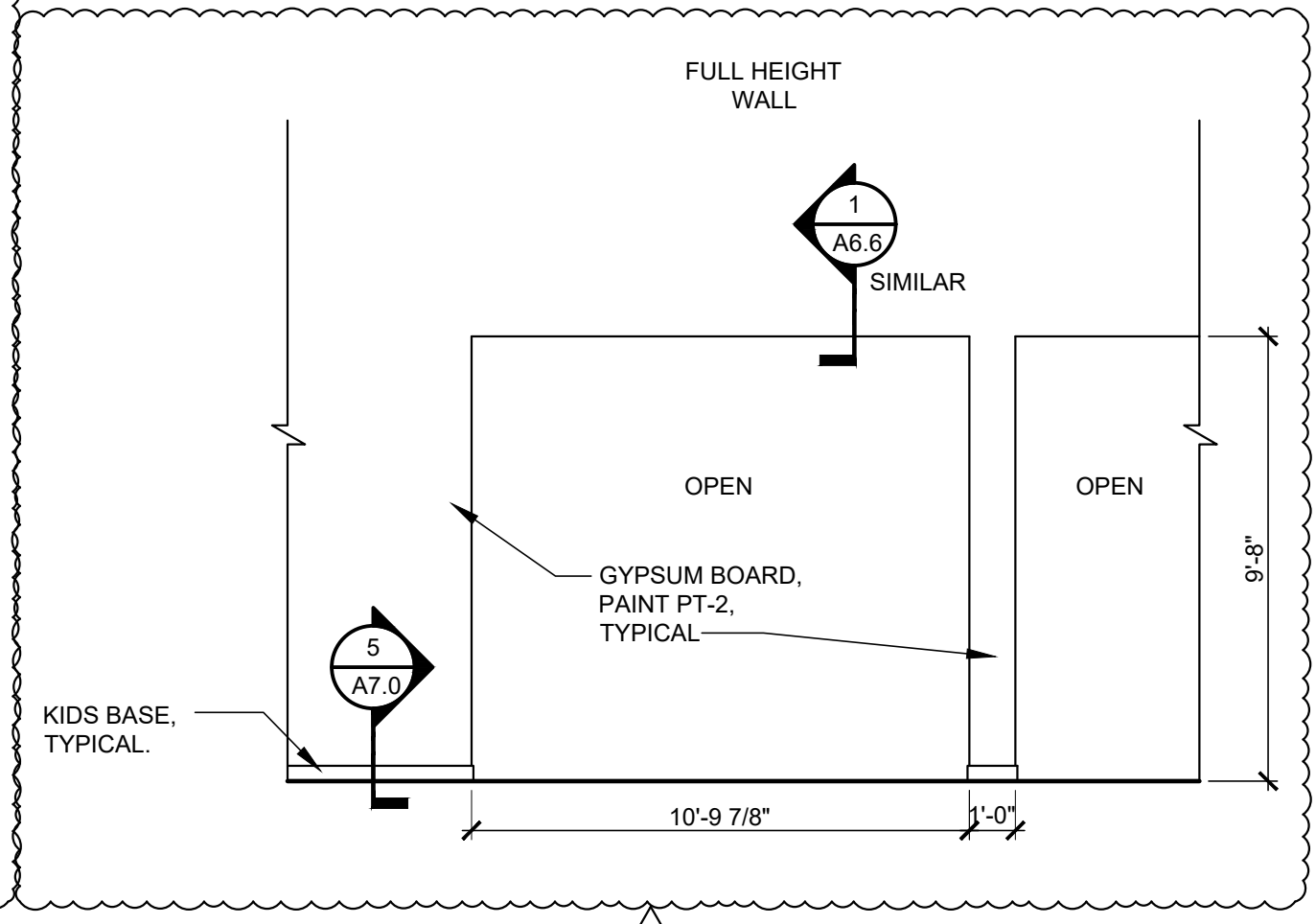






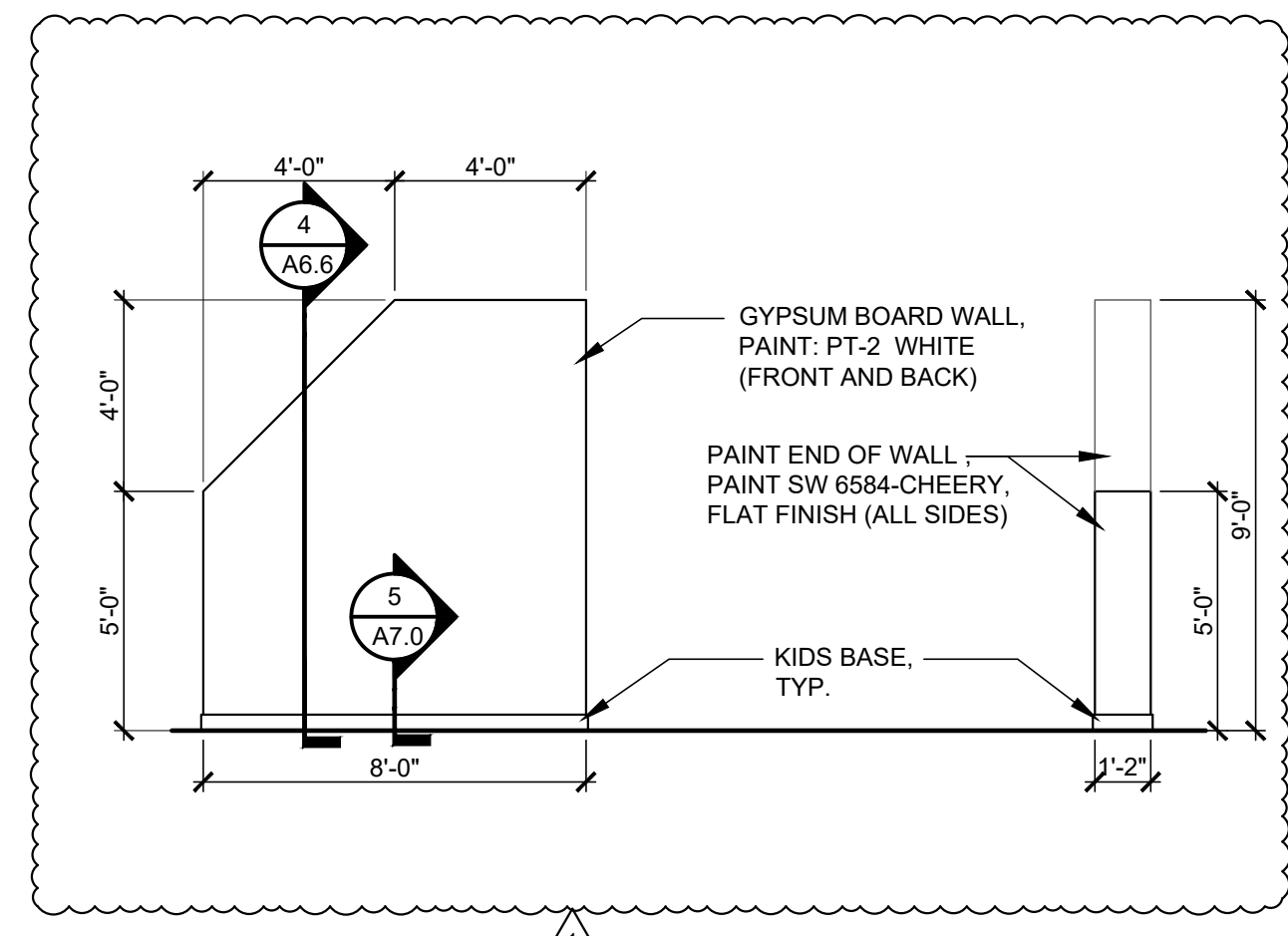
**ELEVATION "KA"**

1/4" = 1'-0"



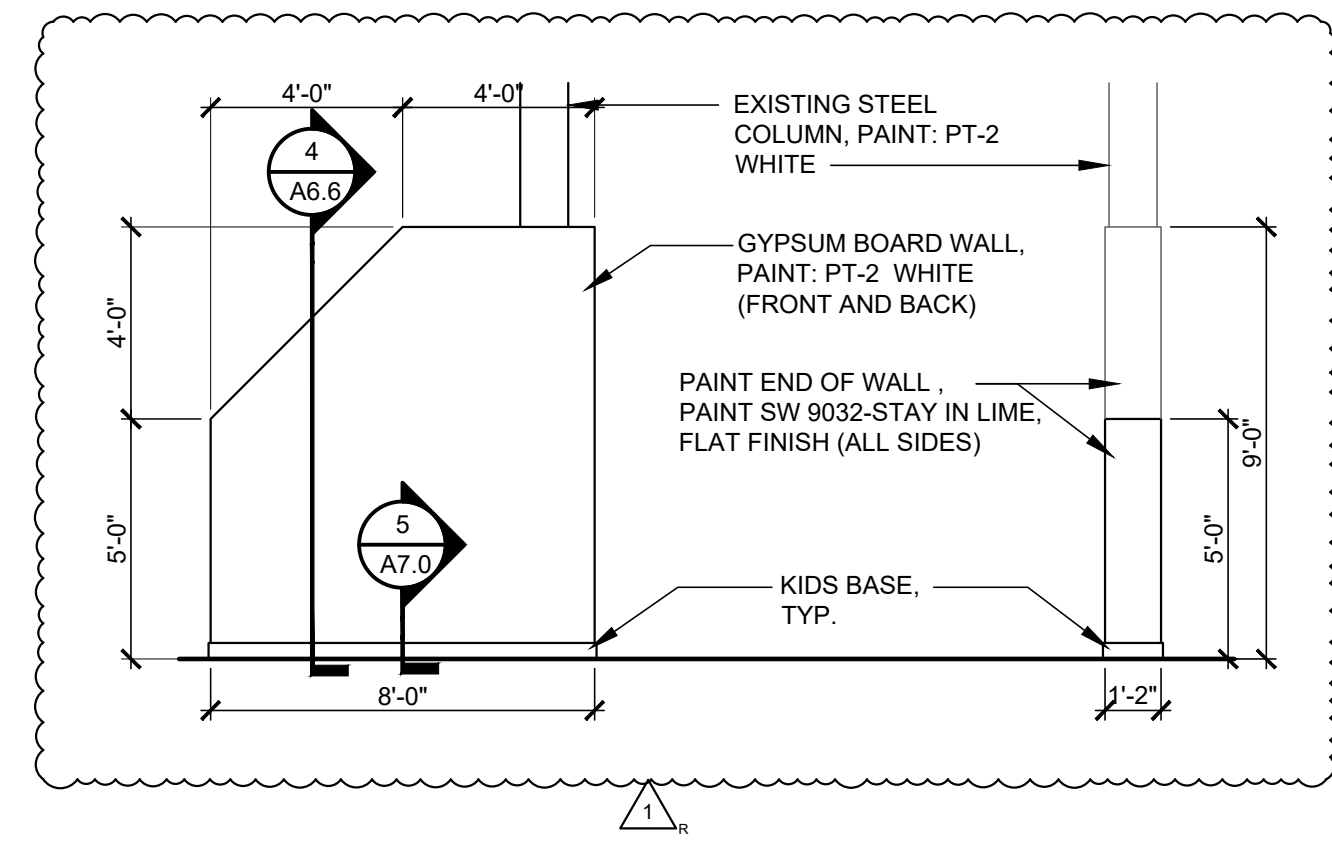
**ELEVATION "KB"**

1/4" = 1'-0"



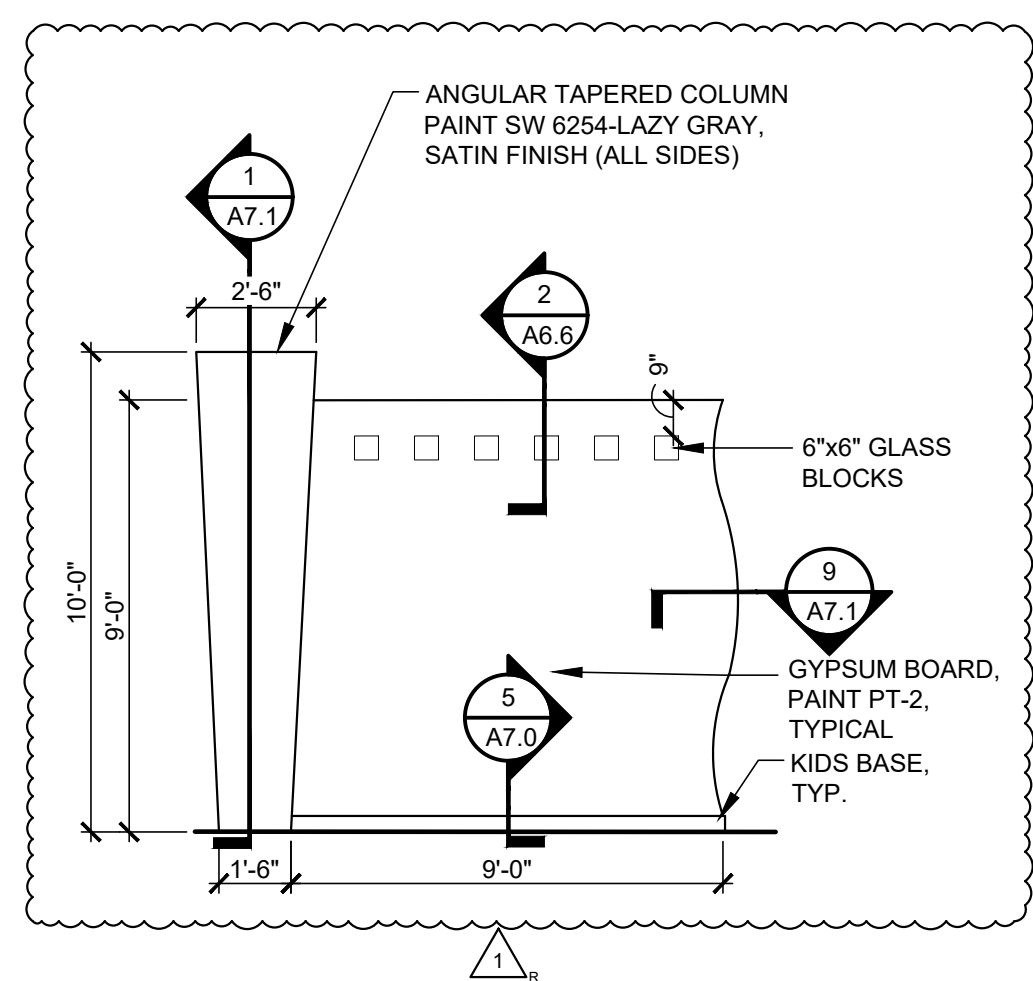
**ELEVATION "KC"**

1/4" = 1'-0"



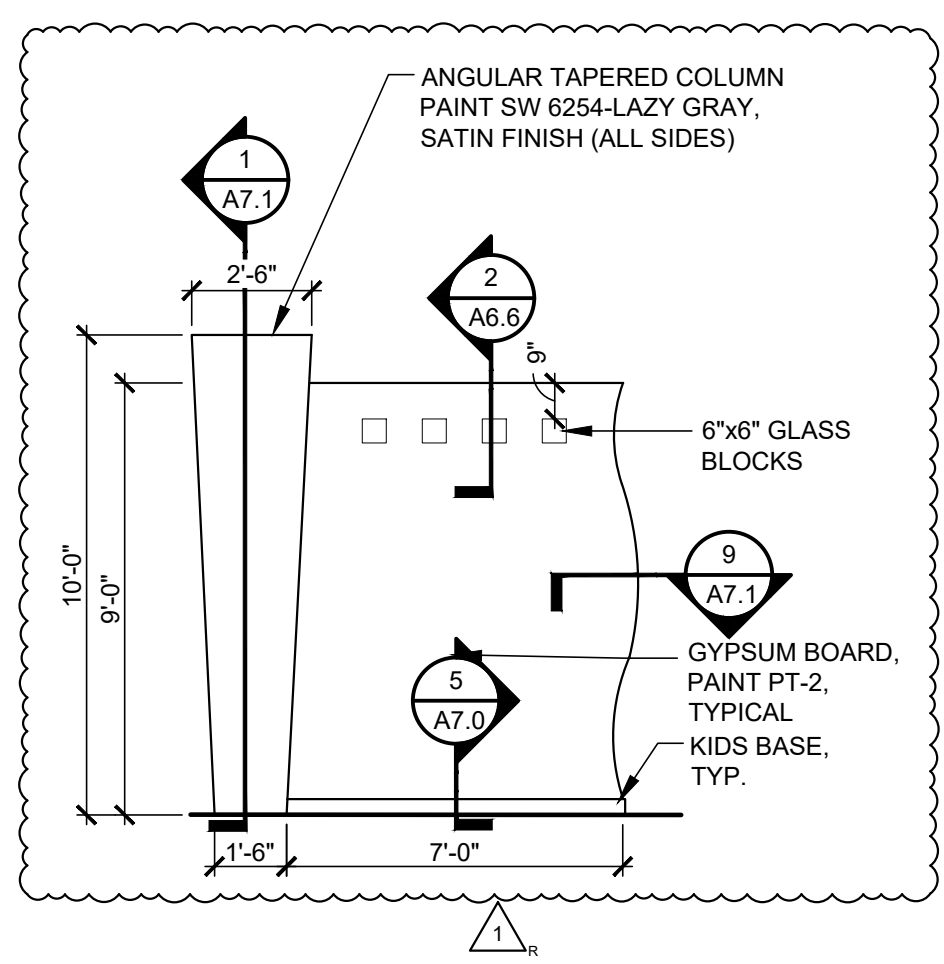
**ELEVATION "KC.1"**

1/4" = 1'-0"



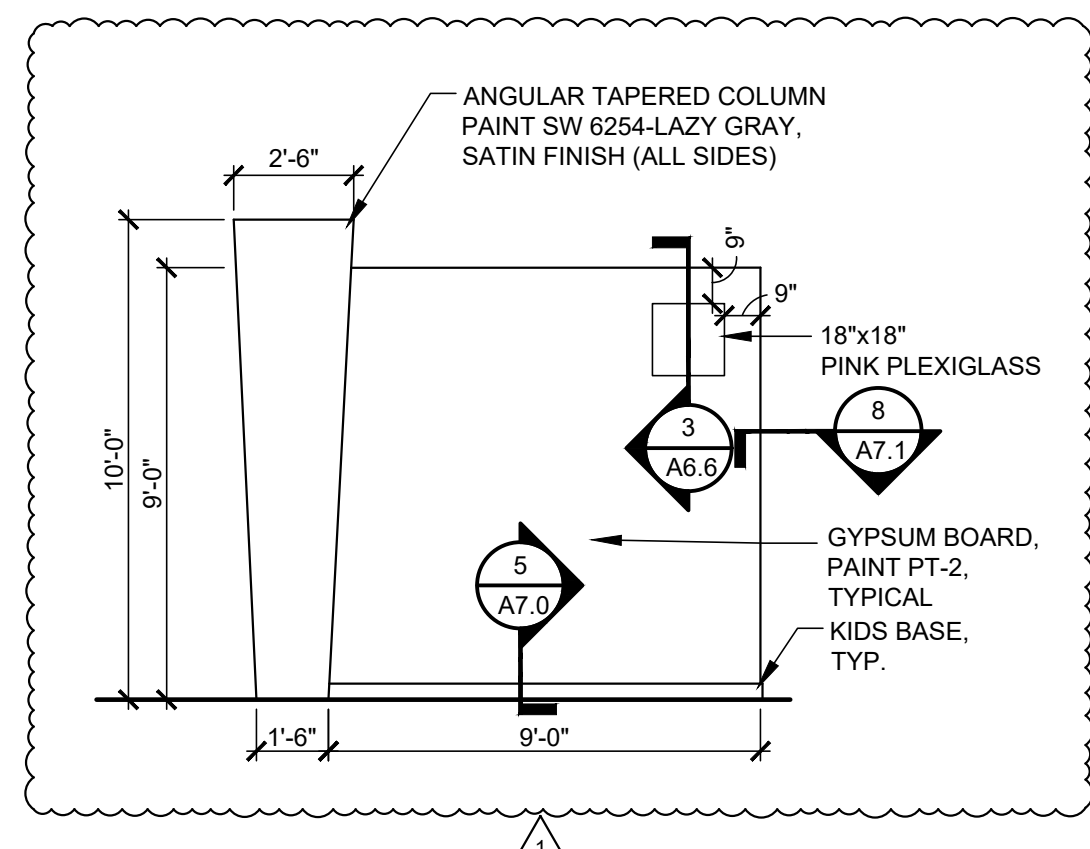
**ELEVATION "KD"**

1/4" = 1'-0"



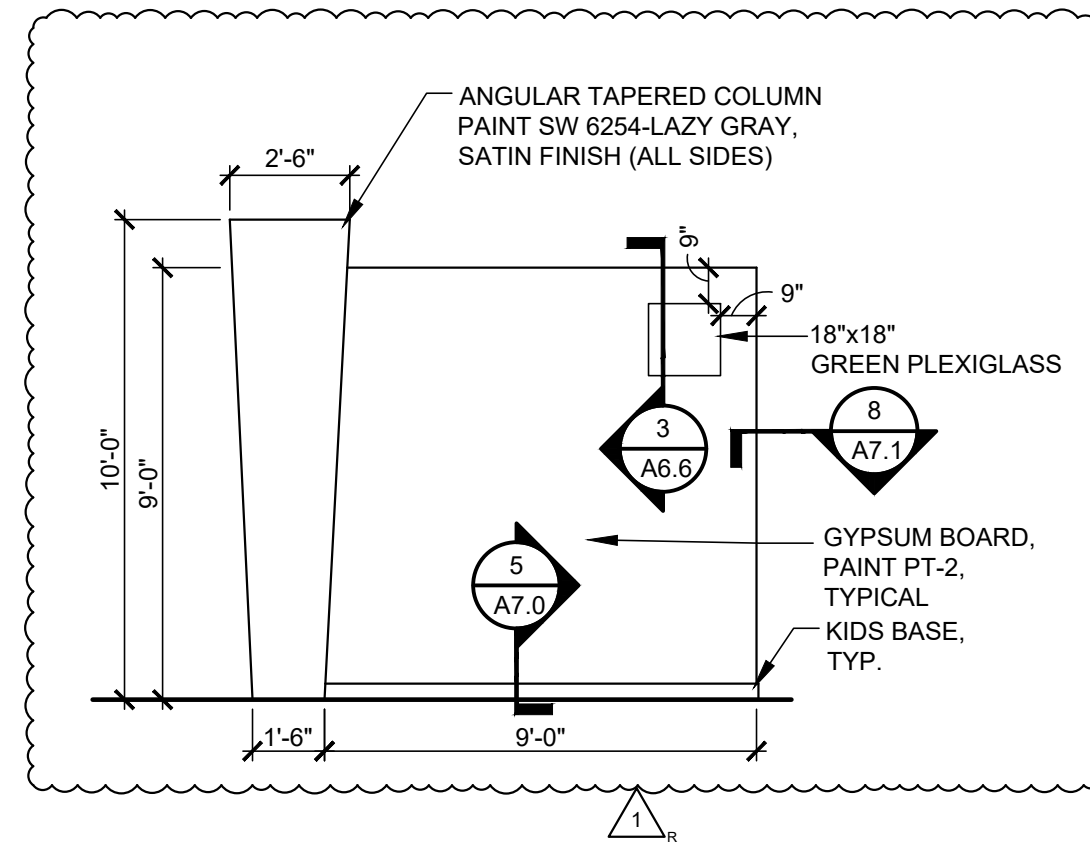
**ELEVATION "KD.1"**

1/4" = 1'-0"



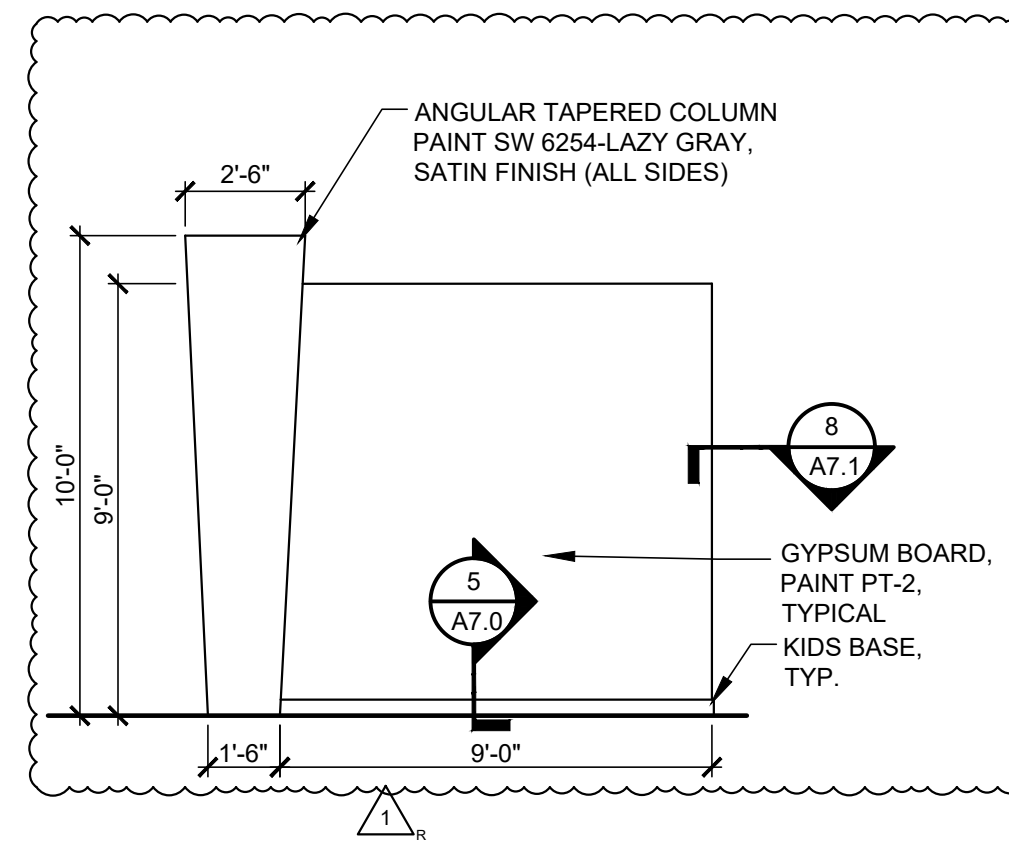
**ELEVATION "KE"**

1/4" = 1'-0"



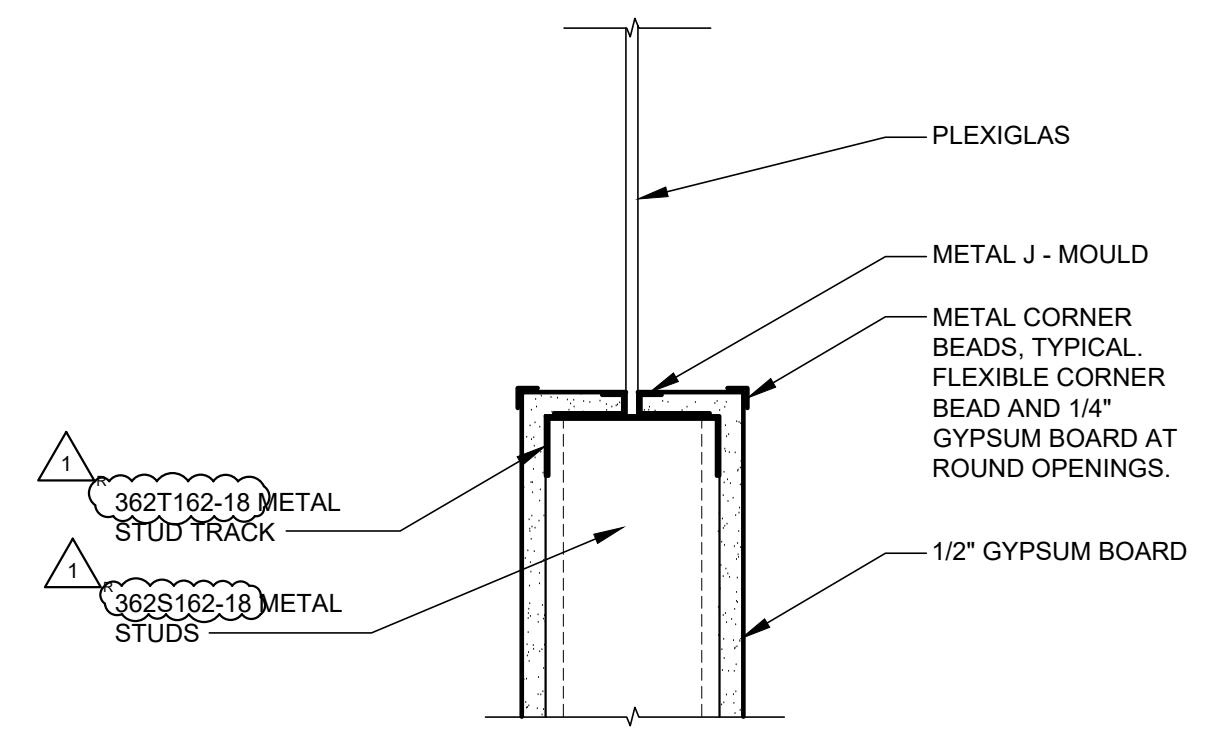
**ELEVATION "KE.1"**

1/4" = 1'-0"



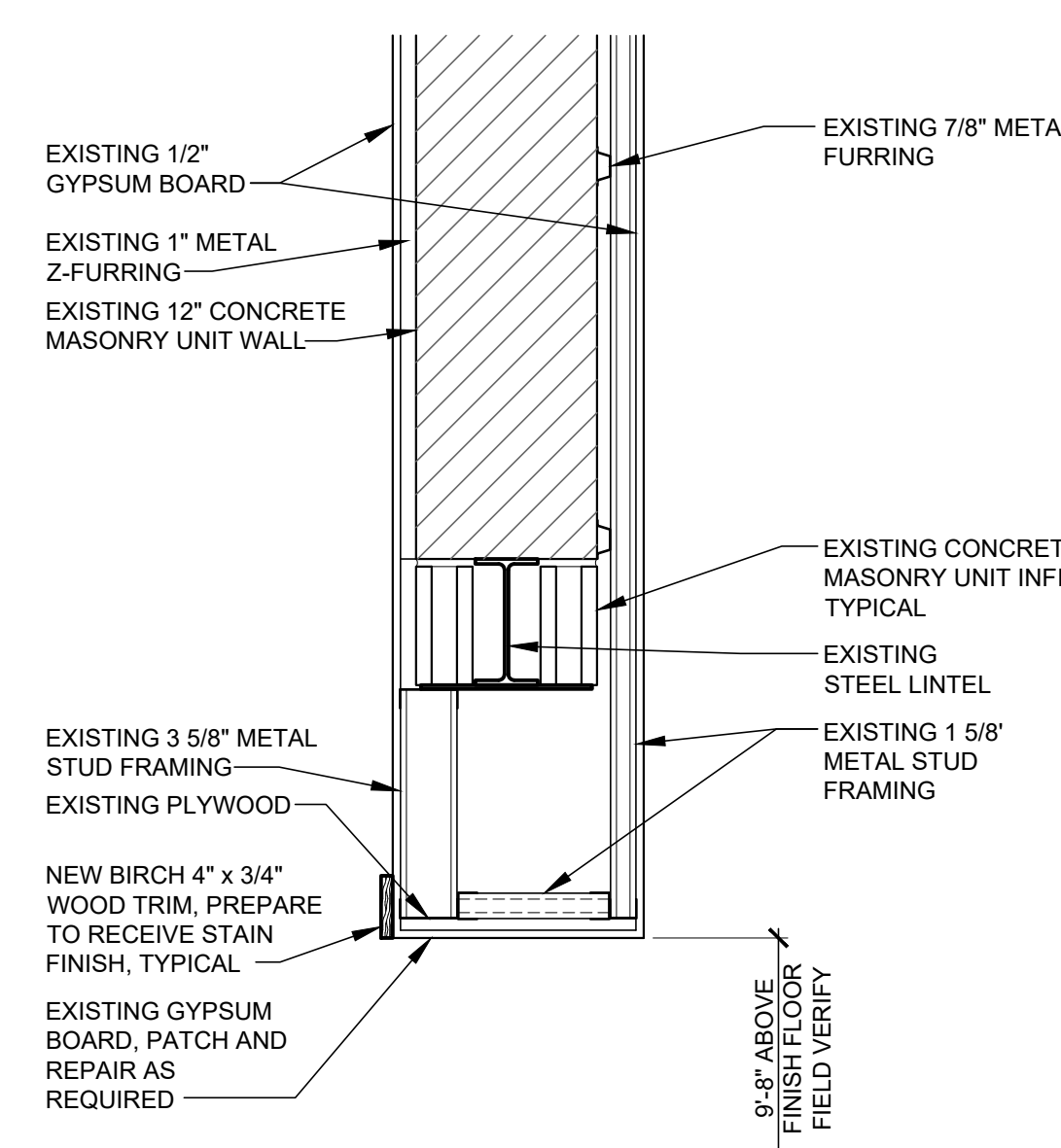
**ELEVATION "KF"**

1/4" = 1'-0"



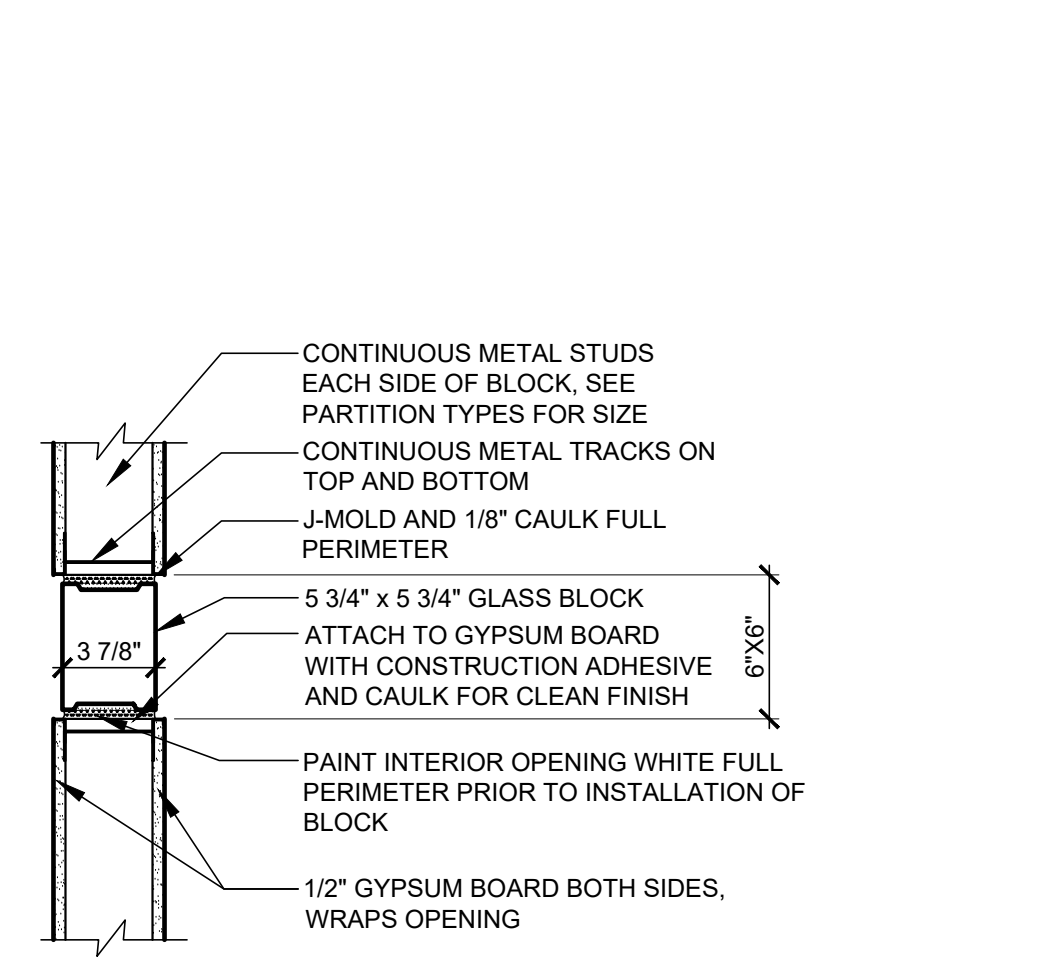
**3 PLEXIGLAS WINDOW DETAIL**

A6.6 SCALE: 3" = 1'-0"



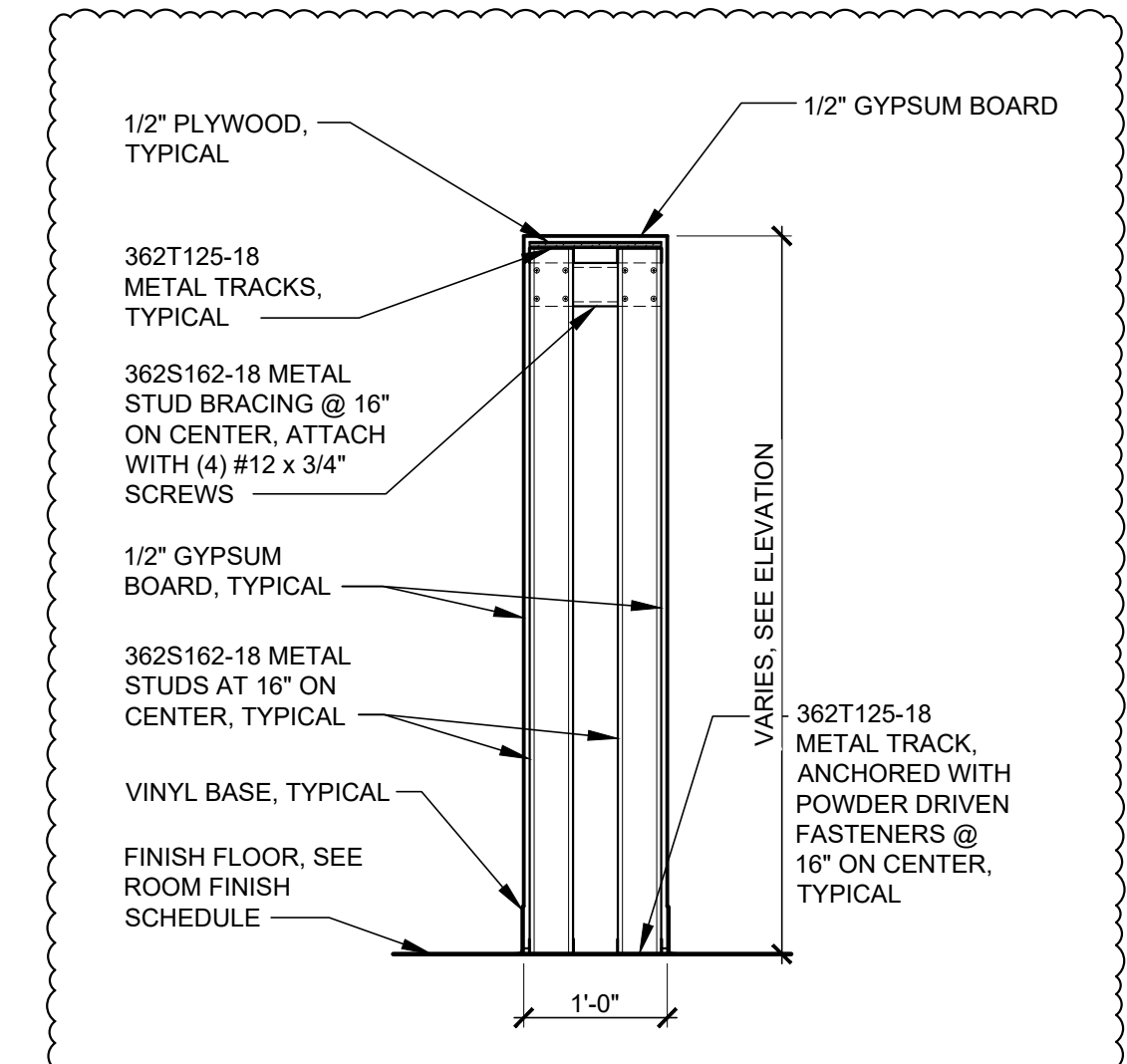
**1 DETAIL**

A6.6 SCALE: 1" = 1'-0"



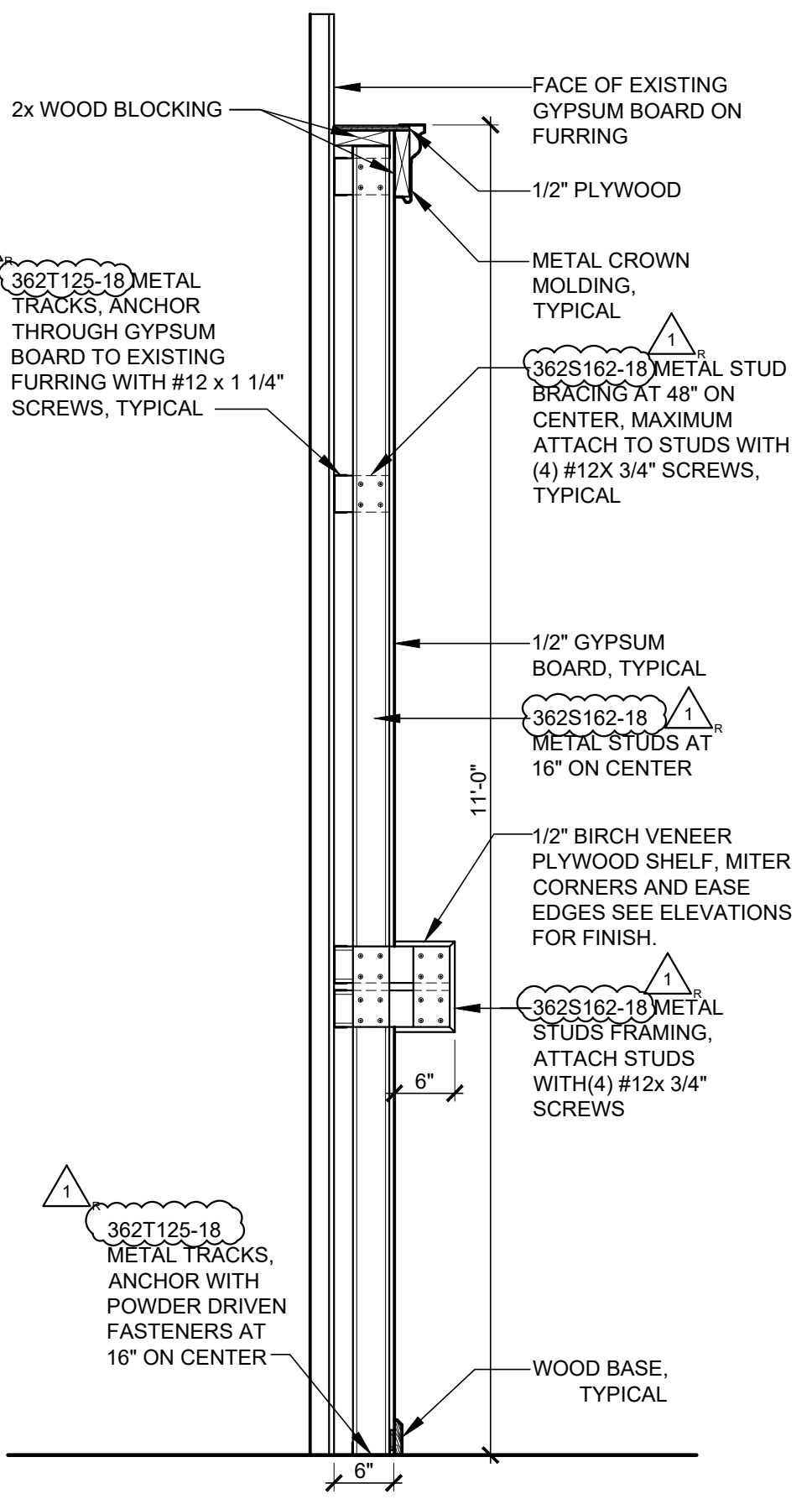
**2 GLASS BLOCK DETAIL**

A6.6 SCALE: 1 1/2" = 1'-0"



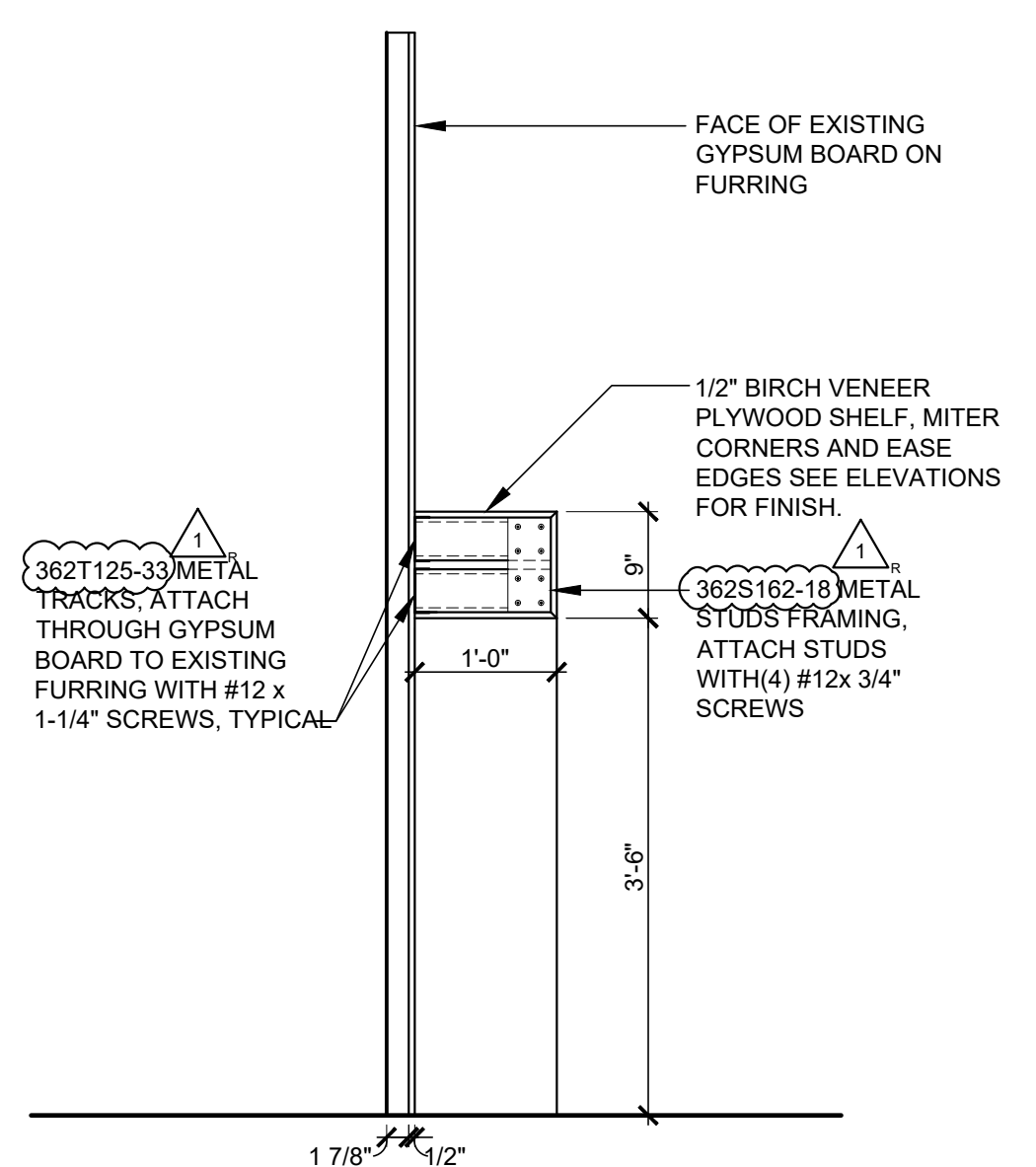
**4 SECTION**

A6.6 SCALE: 3/4" = 1'-0"



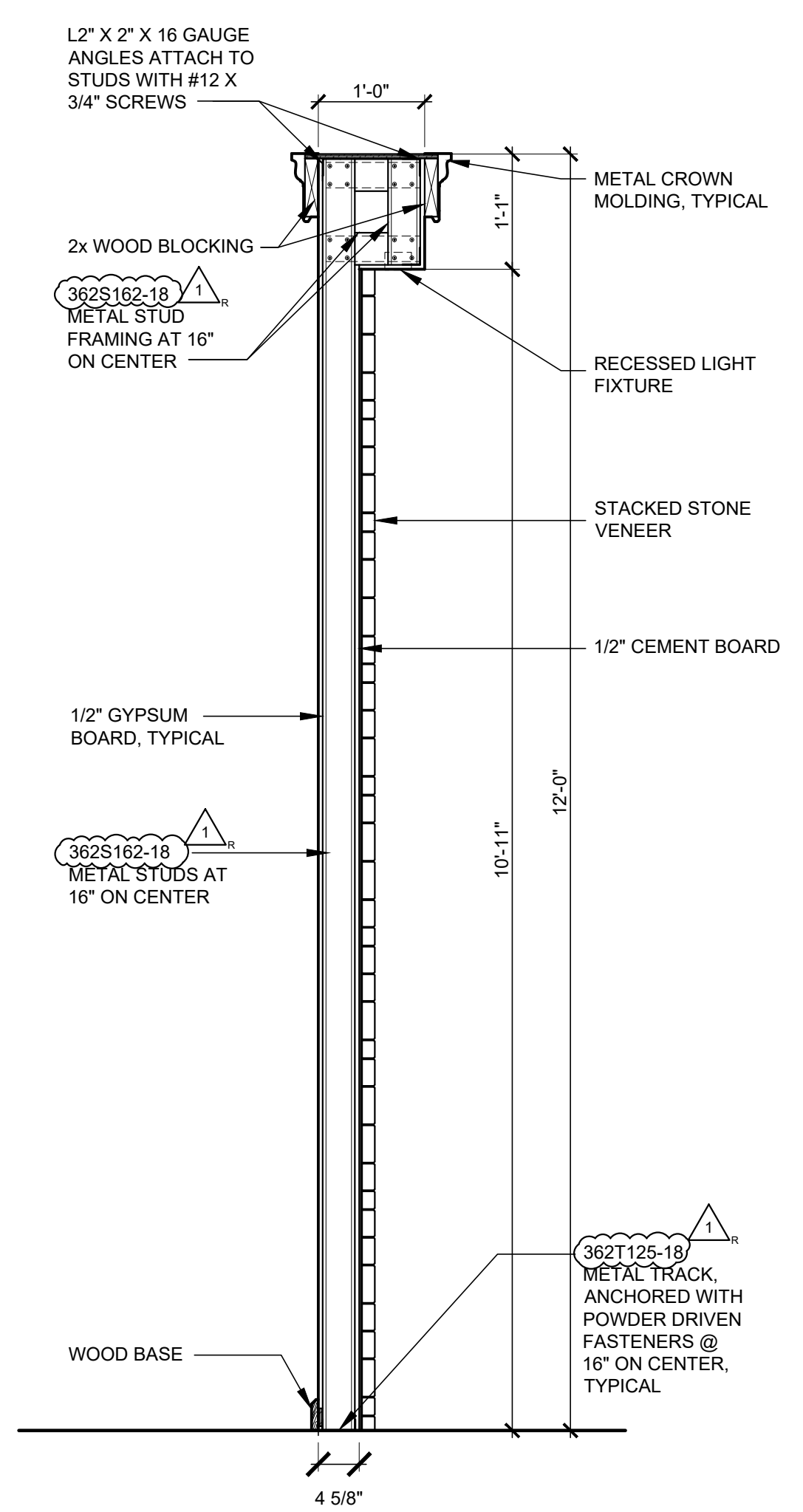
**5 WALL SECTION**

A6.6 SCALE: 3/4" = 1'-0"



**6 WALL SECTION**

A6.6 SCALE: 3/4" = 1'-0"



**7 WALL SECTION**

A6.6 SCALE: 3/4" = 1'-0"

ROOMS STORE EXPANSION AND REMODEL

TO GO

18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

No. Description  
1 ADDENDUM #5

CONSTR. DOC. & REVISIONS

Date  
01/29/24

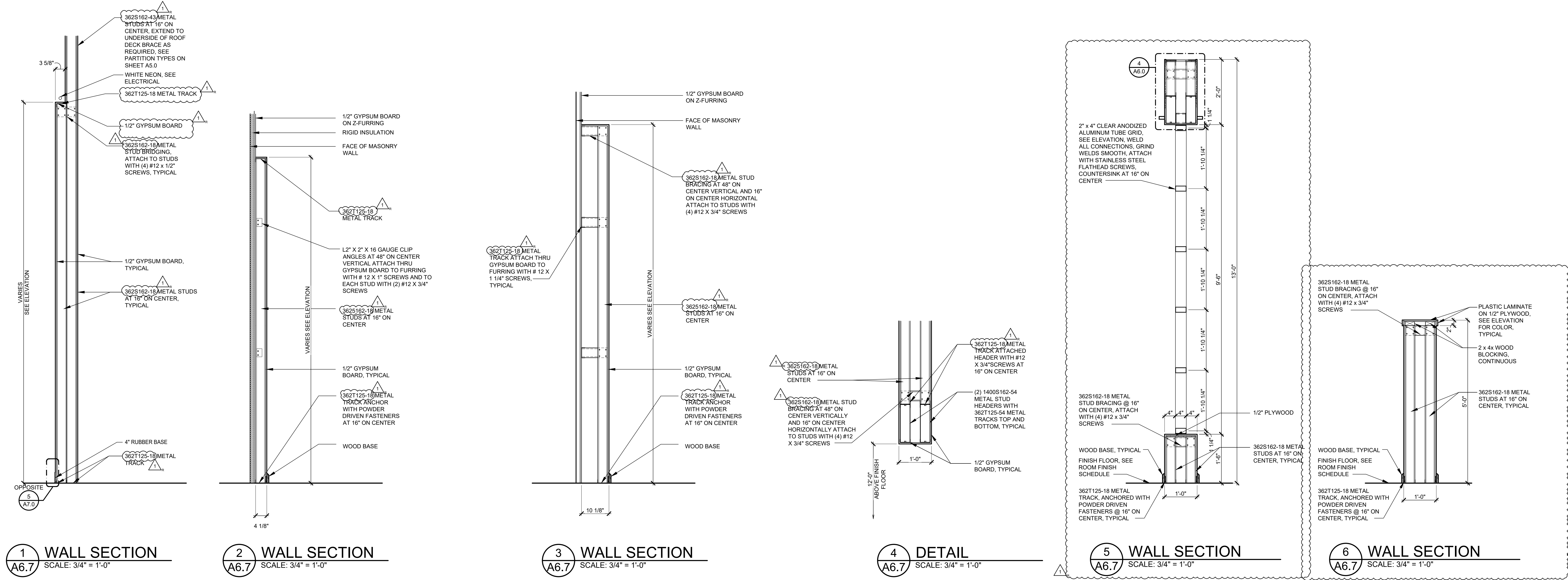
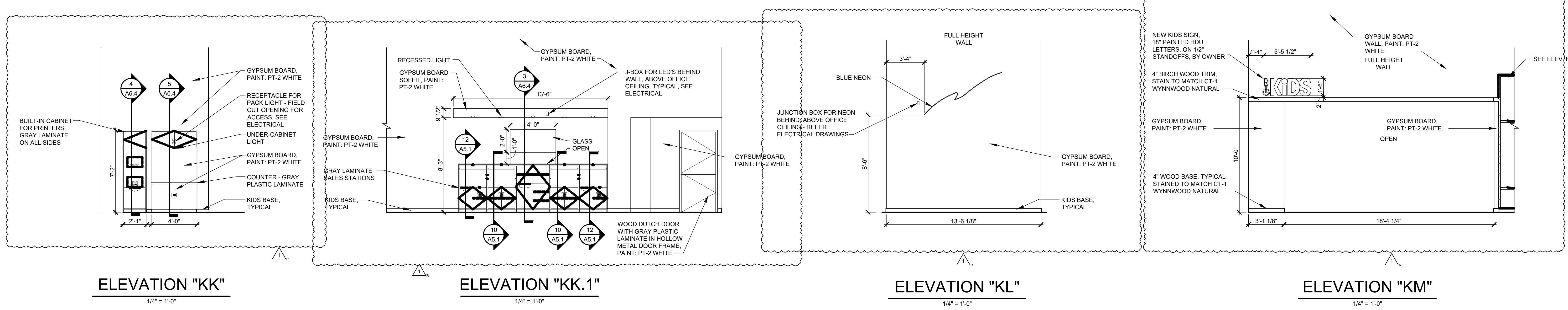
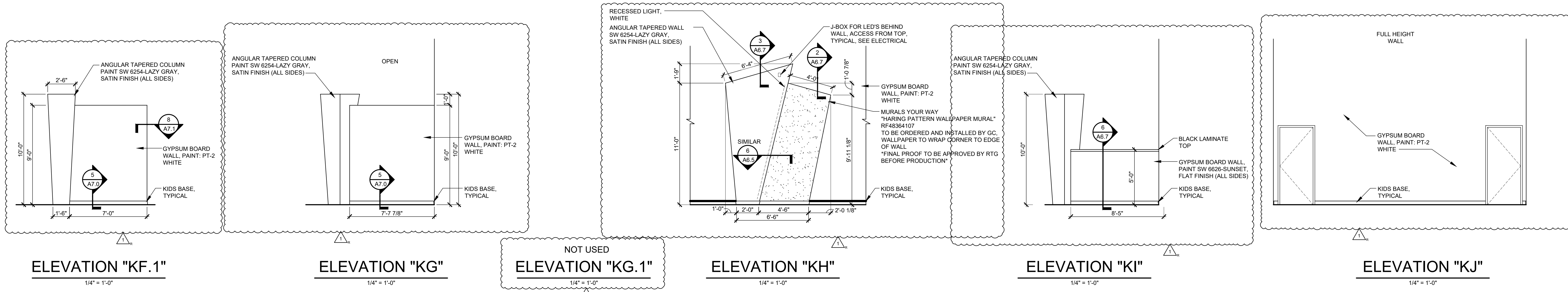
PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No.: AR03035  
Expiration Date: 02/28/25

Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**KIDS SALES INTERIOR ELEVATIONS AND DETAILS A6.6**

**CASCO**  
12 Sumner Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100



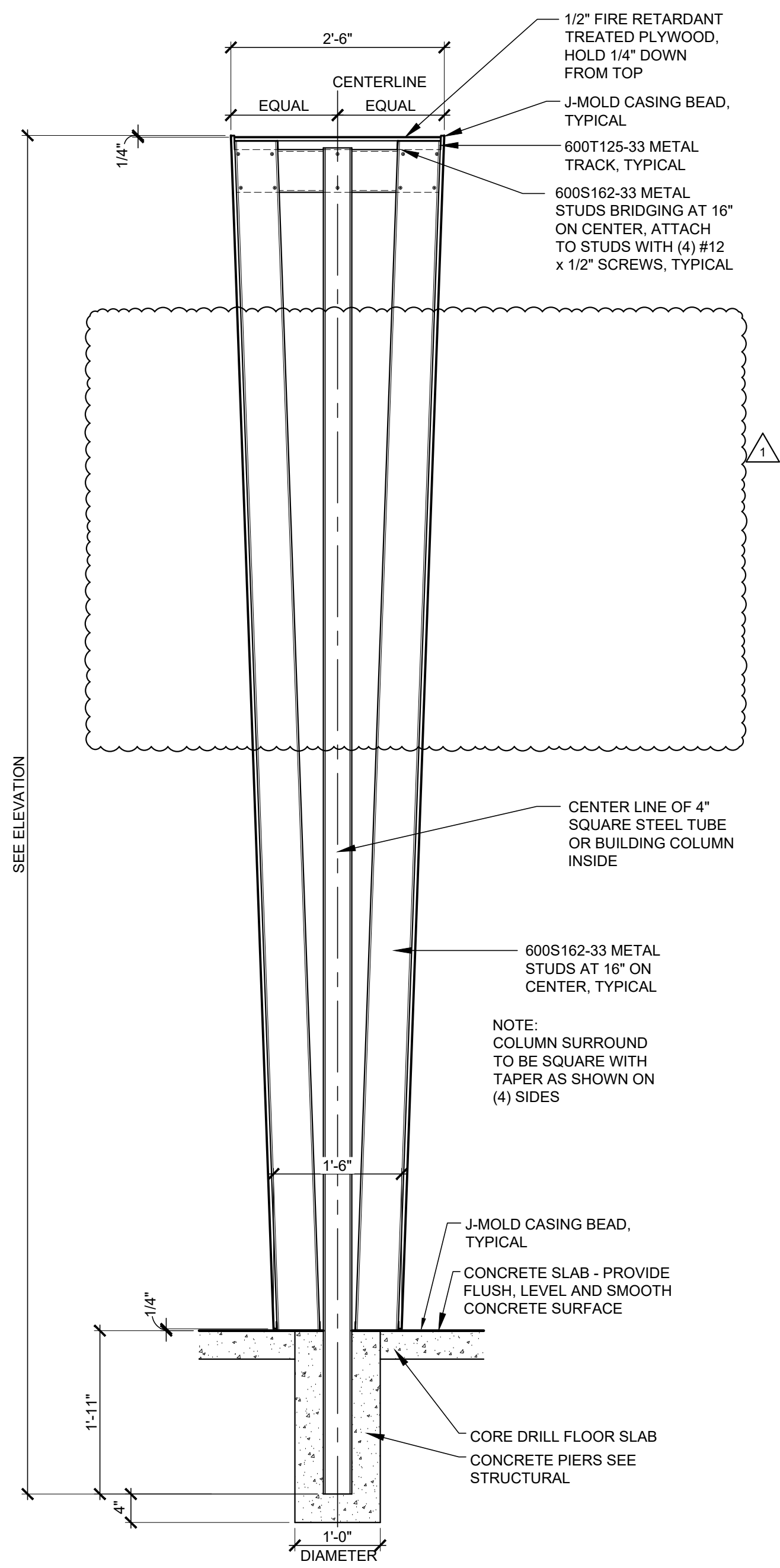


**ROOMS TO GO**  
 STORE EXPANSION AND REMODEL  
 18722 SOUTH DIXIE HIGHWAY,  
 CUTLER BAY, FL 33157

**CASCO**  
 12 Sumner Drive, Suite 100, St. Louis, MO 63143  
 T: 314.821.1100

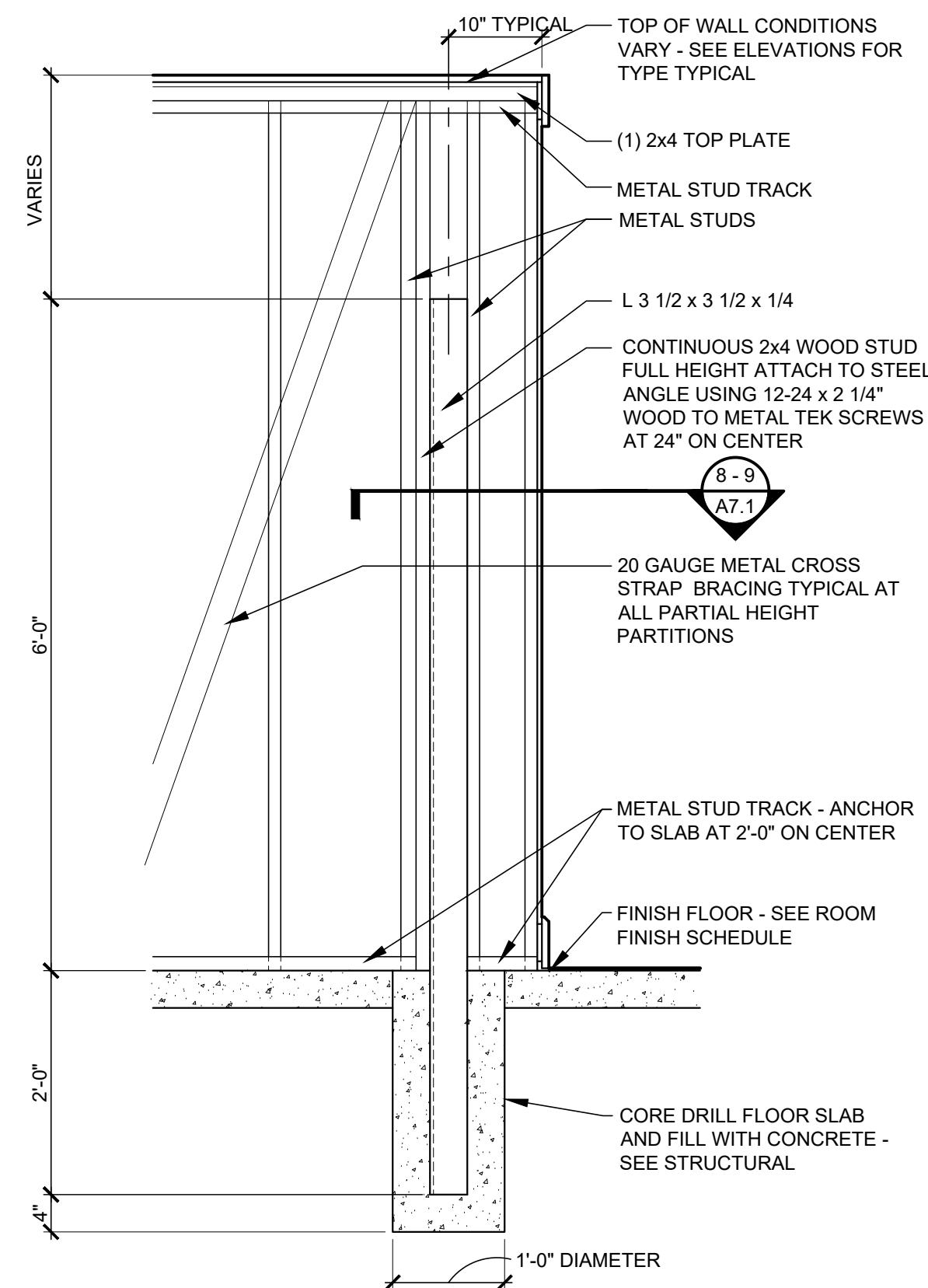
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 Date: 01/29/24  
 CONSTR. DOC. & REVISIONS  
 Drawn By/Checked By: dir/MSB  
 Project Number: 2101445  
 Bid Date: 11/09/23  
 Permit: 03/28/23  
 Owner Date: 07/06/22  
**KIDS SALES INTERIOR ELEVATIONS AND DETAILS A6.7**

PROFESSIONAL OF RECORD  
 MICHAEL SCOTT SUNDERMEYER  
 License No.: AR030305  
 Expiration Date: 02/28/25

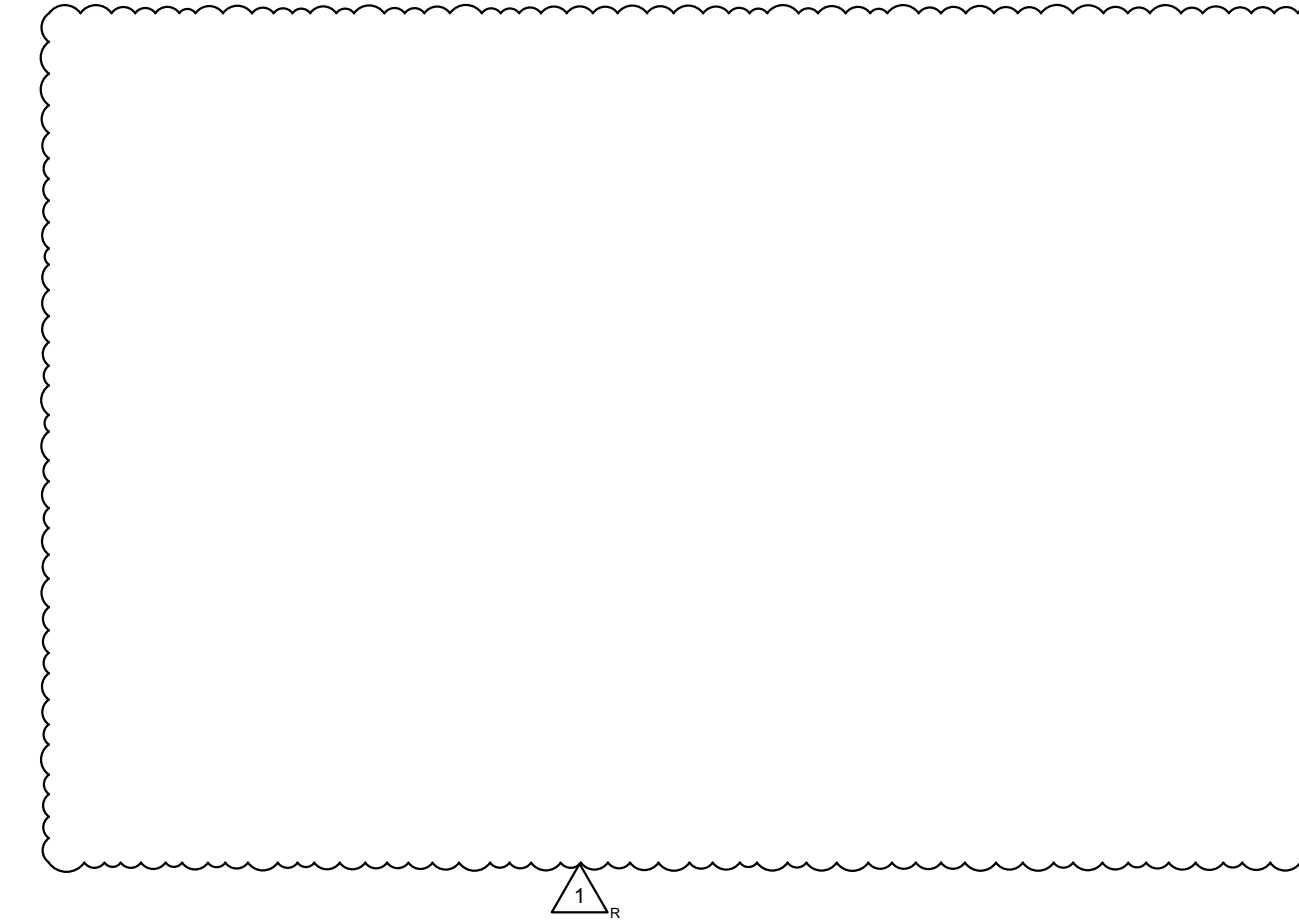


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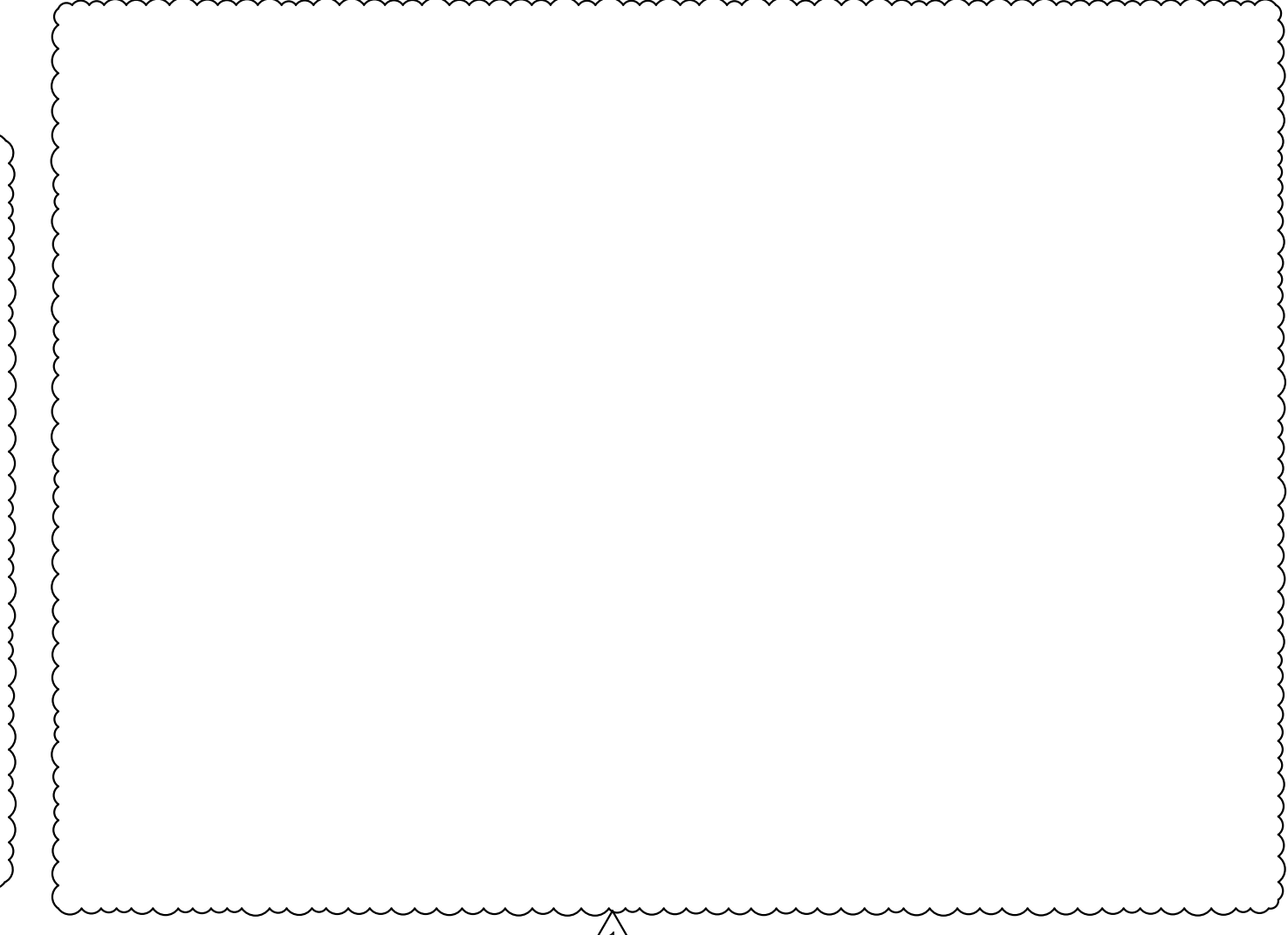
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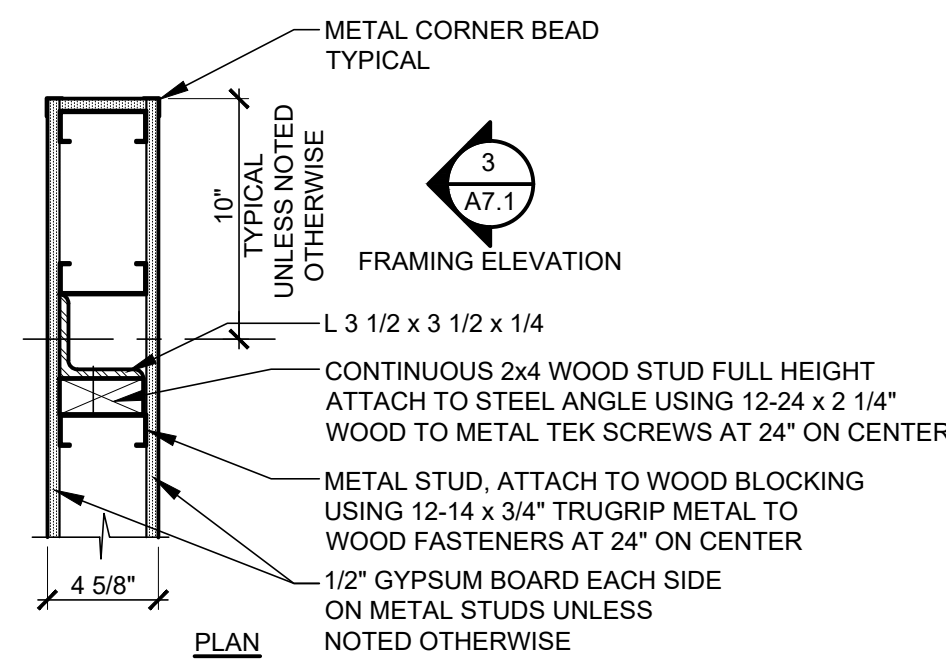
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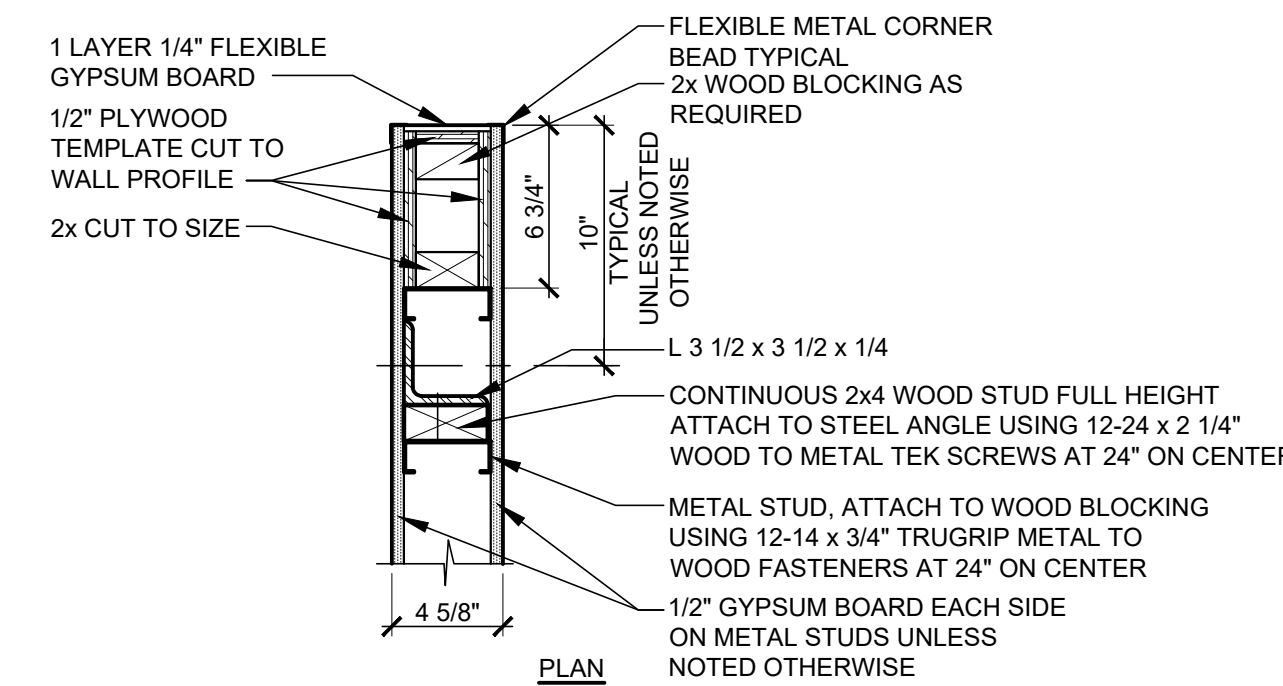
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**5 NOT USED**  
SCALE: 1 1/2" = 1'-0"



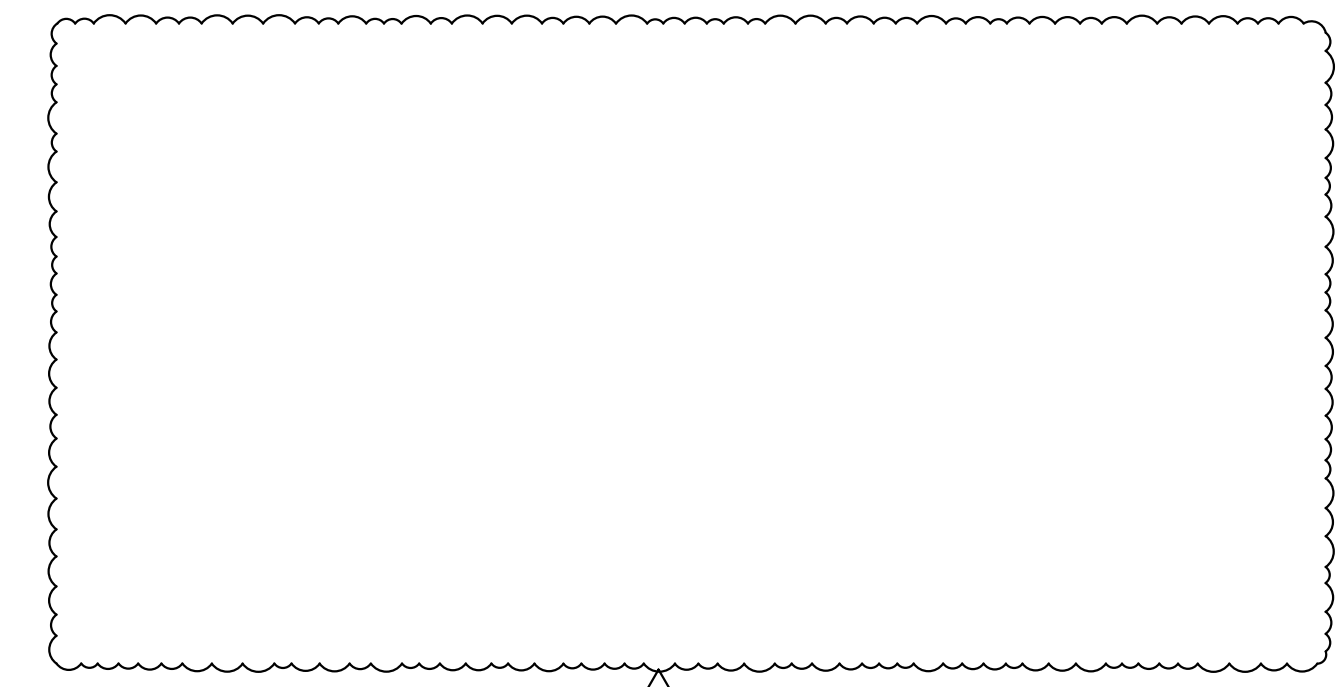
**8 PARTITION DETAIL**  
SCALE: 1 1/2" = 1'-0"



**9 PARTITION DETAIL**  
SCALE: 1 1/2" = 1'-0"

**6 NOT USED**  
SCALE: 1 1/2" = 1'-0"

**7 NOT USED**  
SCALE: 1 1/2" = 1'-0"



**10 NOT USED**  
SCALE: 1 1/2" = 1'-0"

**ROOMS TO GO** STORE EXPANSION AND REMODEL

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

CONSTR. DOC. & REVISIONS

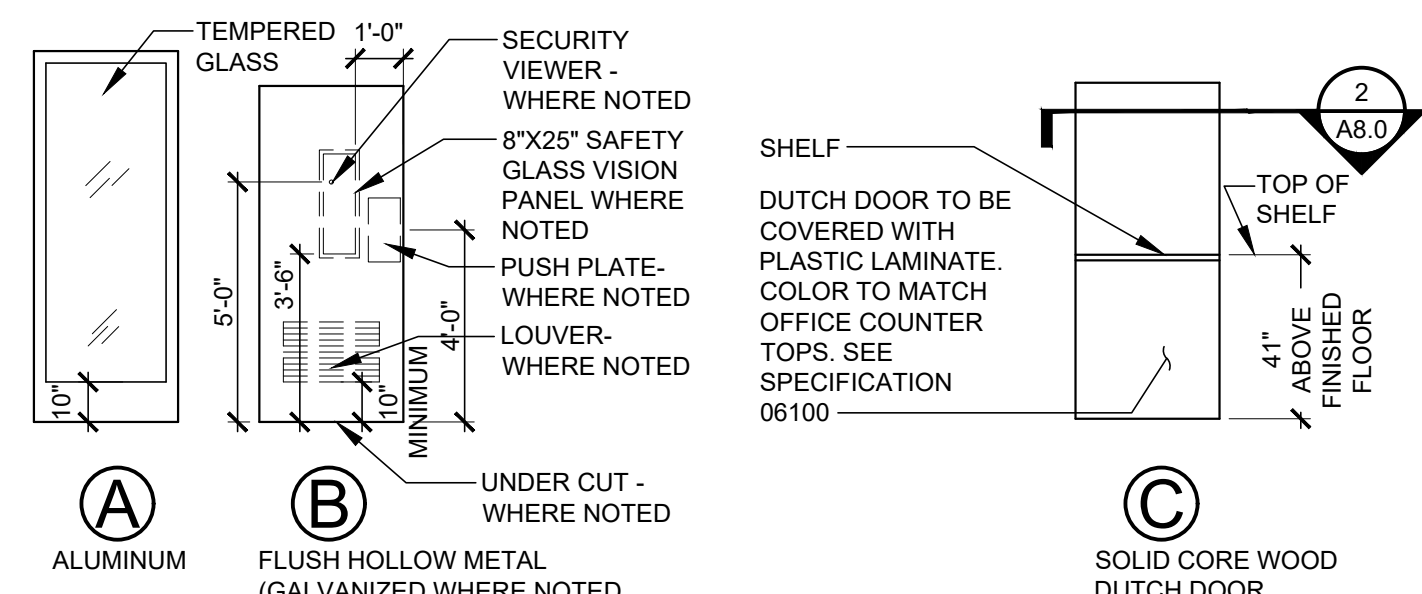
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|-----|-------------|----------|
| 1   | ADDENDUM #5 | 01/29/23 |

PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No.: AR00005  
Expiration Date: 02/28/25

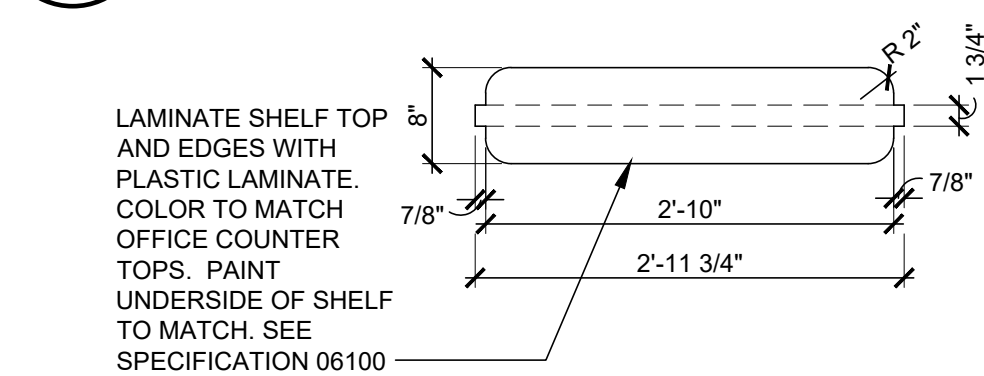
Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**TYPICAL  
INTERIOR  
DETAILS  
A7.1**





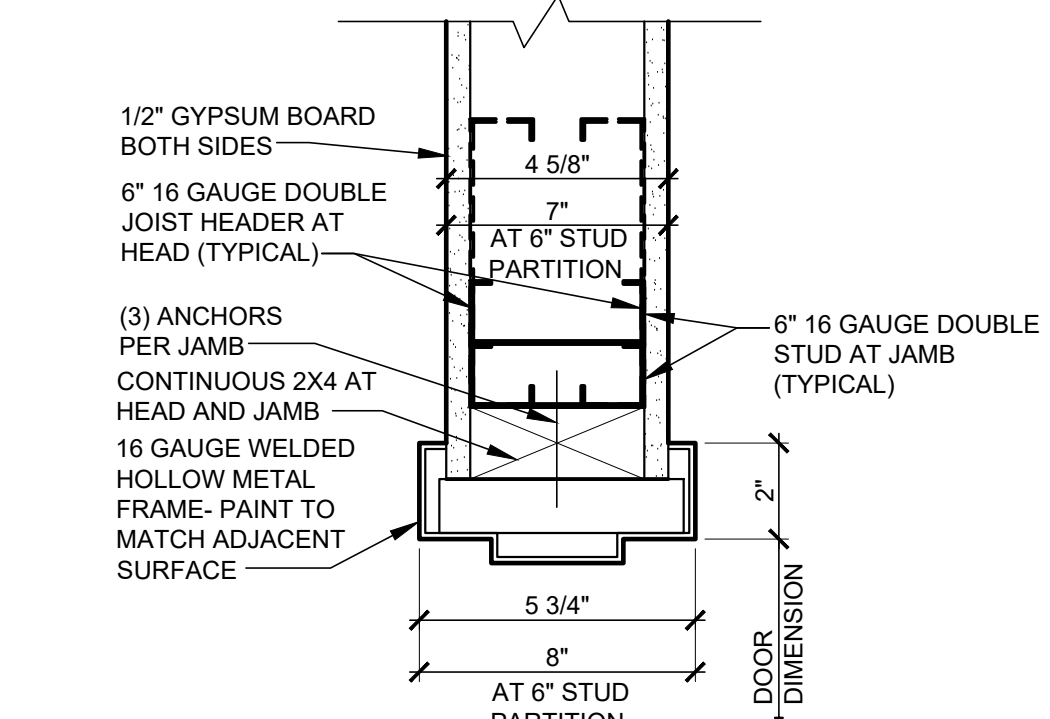
**1 DOOR TYPES**  
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**2 DUTCH DOOR SHELF PLAN**  
SCALE: 3/4" = 1'-0"

**3 NOT USED**  
SCALE:

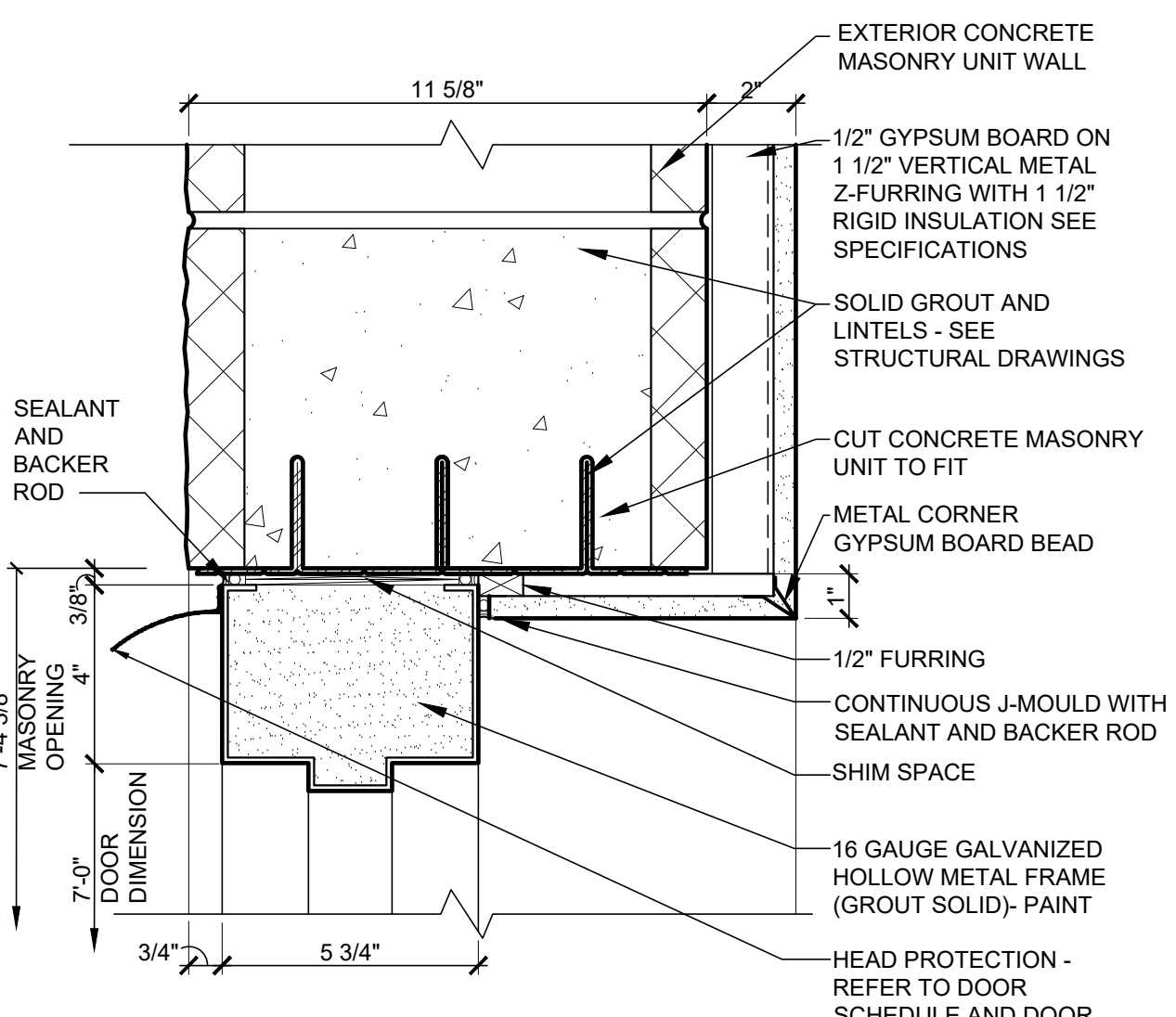
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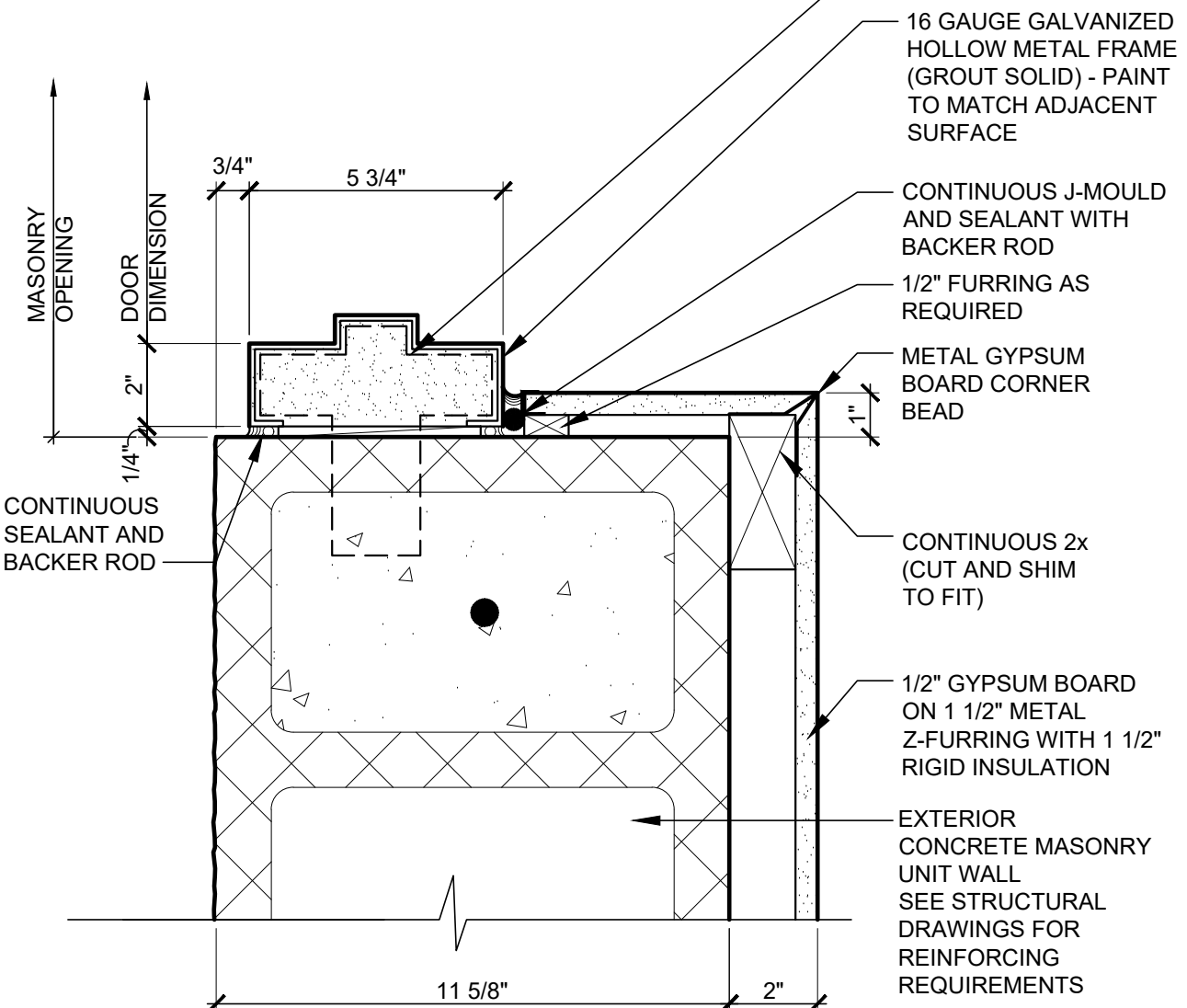
**5 HEAD DETAIL (SIMILAR) JAMB DETAIL (SHOWN)**  
SCALE: 3" = 1'-0"

**6 NOT USED**  
SCALE: 3" = 1'-0"

**7 NOT USED**  
SCALE: 3" = 1'-0"



**8 HEAD DETAIL**  
SCALE: 3" = 1'-0"



**9 JAMB DETAIL**  
SCALE: 3" = 1'-0"

**ROOM FINISH SCHEDULE**

| WALL SIDES | ROOMS |                 | FLOOR       | BASE     | WALL1     | WALL2    | WALL3    | WALL4    | CEILING  |        |        | DOORS  | REMARKS  |
|------------|-------|-----------------|-------------|----------|-----------|----------|----------|----------|----------|--------|--------|--------|--|
|            | ROOM  | ROOM NAME       | MATERIAL    | MATERIAL | MATERIAL  | MATERIAL | MATERIAL | MATERIAL | MATERIAL | HEIGHT | FINISH | FINISH |  |
| 4          | 100   | ADULT SALES     | CPT-1 CT-1  | FB-2     | WC-6 PT-2 | WC-6     | PT-2     | WC-6     | PT-2     | WC-6   | PT-2   | PT-2   | INSTALL TOP OF FLAT WOOD CROWN AT 10'-0" TYPICAL. REFER TO INTERIOR ELEVATIONS. MAIN ENTRANCE PAINT INTERIOR UNDERSIDE OF DECK AND STRUCTURAL STEEL AT BARREL VAULT PT-2. SEMI-GLOSS, NO TEXTURE. SEE INTERIOR ELEVATIONS FOR ADDITIONAL WALL COVERINGS.   |
| 2          | 101   | KIDS SALES      | CPT-1 LVT-1 | FB-4     | WC-6 PT-2 | WC-6     | PT-2     | WC-6     | PT-2     | WC-6   | PT-2   | PT-2   | INSTALL TOP OF FLAT WOOD CROWN AT 10'-0" TYPICAL. REFER TO INTERIOR ELEVATIONS. SEE INTERIOR ELEVATIONS FOR ADDITIONAL WALL COVERINGS.   |
| 2          | 102   | SALES           | CPT-1 CT-1  | FB-2     | WC-6 PT-2 | WC-6     | PT-2     | WC-6     | PT-2     | WC-6   | PT-2   | PT-2   | INSTALL TOP OF FLAT WOOD CROWN AT 10'-0" TYPICAL. REFER TO INTERIOR ELEVATIONS. SEE INTERIOR ELEVATIONS FOR ADDITIONAL WALL COVERINGS.   |
| 2          | 103   | MENS TOILET     | CT-2        | FB-3     | WC-5 WC-2 | WC-5     | WC-2     | WC-5     | WC-2     | WC-5   | WC-2   | PT-1   | WALL TILE IS TO RUN UP TO 8'-1"± DEPENDING ON GROUT JOINT WIDTH. ONLY FULL HEIGHT TILES SHALL BE USED ON THE WALLS. BOTTOM OF SUSPENDED CEILING SHALL BE SET AT THE TOP OF THE LAST FULL TILE. ALL GYPSUM BOARD IS TO BE MOISTURE RESISTANT. PAINT RESTROOM SIDE OF DOOR AND FRAME PT-1 SEMI-GLOSS. REPLACE EXISTING SUSPENDED CEILING WITH NEW GRID AND TILES |
| 2          | 104   | WOMENS TOILET   | CT-2        | FB-3     | WC-5 WC-2 | WC-5     | WC-2     | WC-5     | WC-2     | WC-5   | WC-2   | PT-1   | WALL TILE IS TO RUN UP TO 8'-1"± DEPENDING ON GROUT JOINT WIDTH. ONLY FULL HEIGHT TILES SHALL BE USED ON THE WALLS. BOTTOM OF SUSPENDED CEILING SHALL BE SET AT THE TOP OF THE LAST FULL TILE. ALL GYPSUM BOARD IS TO BE MOISTURE RESISTANT. PAINT RESTROOM SIDE OF DOOR AND FRAME PT-1 SEMI-GLOSS. REPLACE EXISTING SUSPENDED CEILING WITH NEW GRID AND TILES |
| 2          | 105   | JANITORS CLOSET | CONC        | EXISTING | WC-6      | WC-6     | WC-6     | WC-6     | WC-6     | WC-6   | WC-6   | PT-2   | INSTALL MOISTURE RESISTANT GYPSUM BOARD BEHIND TWO ADJACENT WALLS OF MOP SINK. GYPSUM BOARD TO EXTEND 12" ABOVE CEILING. FIBERGLASS REINFORCED PANELS TO GO ON WALLS AT MOP SINK   |
| 2          | 106   | UTILITY ROOM    | CONC        | EXISTING | EXISTING  | WC-4     | EXISTING | EXISTING | EXISTING | EXP    | VARIES | EXIST  | PAINT LADDER AND CAGE YELLOW   |
| 2          | 107   | BREAKROOM       | LVT-1       | FB-4     | WC-6 PT-3 | WC-6     | PT-3     | WC-6     | PT-3     | WC-6   | PT-3   | PT-3   |  |
| 2          | 108   | STORAGE ROOM    | CPT-1       | FB-4     | WC-6 PT-3 | WC-6     | PT-3     | WC-6     | PT-3     | WC-6   | PT-3   | PT-3   |  |
| 2          | 109   | OFFICE          | LVT-1       | FB-4     | WC-6 PT-3 | WC-6     | PT-3     | WC-6     | PT-3     | WC-6   | PT-3   | PT-3   |  |
| 2          | 110   | RAC OFFICE      | LVT-1       | FB-4     | WC-6 PT-3 | WC-6     | PT-3     | WC-6     | PT-3     | WC-6   | PT-3   | PT-3   |  |
| 2          | 111   | WOMENS TOILET   | CT-2        | FB-3     | WC-5 WC-2 | WC-5     | WC-2     | WC-5     | WC-2     | WC-5   | WC-2   | PT-1   | WALL TILE IS TO RUN UP TO 8'-1"± DEPENDING ON GROUT JOINT WIDTH. ONLY FULL HEIGHT TILES SHALL BE USED ON THE WALLS. BOTTOM OF SUSPENDED CEILING SHALL BE SET AT THE TOP OF THE LAST FULL TILE. ALL GYPSUM BOARD IS TO BE MOISTURE RESISTANT. PAINT RESTROOM SIDE OF DOOR AND FRAME PT-1 SEMI-GLOSS. REPLACE EXISTING SUSPENDED CEILING WITH NEW GRID AND TILES |
| 2          | 112   | MENS TOILET     | CT-2        | FB-3     | WC-5 WC-2 | WC-5     | WC-2     | WC-5     | WC-2     | WC-5   | WC-2   | PT-1   | WALL TILE IS TO RUN UP TO 8'-1"± DEPENDING ON GROUT JOINT WIDTH. ONLY FULL HEIGHT TILES SHALL BE USED ON THE WALLS. BOTTOM OF SUSPENDED CEILING SHALL BE SET AT THE TOP OF THE LAST FULL TILE. ALL GYPSUM BOARD IS TO BE MOISTURE RESISTANT. PAINT RESTROOM SIDE OF DOOR AND FRAME PT-1 SEMI-GLOSS. REPLACE EXISTING SUSPENDED CEILING WITH NEW GRID AND TILES |
| 2          | 113   | HALL 1          | LVT-1       | FB-4     | -         | -        | WC-6     | PT-2     | WC-6     | PT-2   | WC-6   | PT-2   |  |
| 2          | 114   | HALL 2          | LVT-1       | FB-4     | WC-6      | PT-2     | -        | -        | WC-6     | PT-2   | WC-6   | PT-2   |  |
| 2          | 115   | HALL 3          | LVT-1       | FB-4     | WC-6      | PT-3     | -        | -        | WC-6     | PT-3   | WC-6   | PT-3   |  |
| 2          | 116   | ELECTRIC ROOM   | CONC        | EXIST    | EXIST     | -        | EXIST    | -        | EXIST    | -      | EXIST  | EXIST  |  |
| 2          | 117   | NOT USED        |             |          |           |          |          |          |          |        |        |        |  |
| 2          | 118   | FIRE RISER ROOM | CONC        | FB-4     | WC-6      | -        | WC-6     | -        | WC-6     | -      | WC-6   | -      |  |
| 2          | 119   | HALL 4          | CPT-1       | FB-2     | WC-6      | PT-2     | -        | -        | WC-6     | PT-2   | WC-6   | PT-2   |  |

**FLOOR COVERINGS:**

**FLOOR COVERING GENERAL NOTES:**  
1. SEE FLOOR FINISH PLAN 1/A.1.1 FOR EXTENT OF FLOOR COVERINGS

| FLOOR FINISH LEGEND  |  |
|--|--|
| <b>LUXURY VINYL TILE</b>   |  |
| (LVT-1) PATCRAFT COLLECTION: SUBTRACTIVE LAYERS, STYLE: WITHDRAW I416V, SIZE: 11.81" X 23.62". COLOR: 00565 MOUNTAIN GRAY. PATTERN: RUNNING BOND   |  |
| <b>CARPET:</b>   |  |
| (CPT-1) J-J INVISION. RTG 924480722-00113 SOLUTION DYE, SOLID  |  |
| <b>CERAMIC TILE:</b>   |  |
| (CT-1) FLOOR & DECOR. WOODVILLE NATURAL WOOD PLANK, SKU: 100581628, 12" x 59", PATTERN: STACK BOND, GROUT: CUSTOM BUILDING PRODUCTS -PRISM #186 KHAKI 186 SEAL, JOINTS PER SPECIFICATIONS. |  |
| (CT-2) DAL TILE, ASTRONOMY, ORION AT71, SIZE: 12" X 24", PATTERN: STACK BOND, GROUT: CUSTOM BUILDING PRODUCTS -PRISM #135 MUSHROOM. SEAL, JOINTS PER SPECIFICATIONS.                       |  |
| <b>CONCRETE:</b>   |  |
| (CONC) EXPOSED CONCRETE WITH SMOOTH TOWELED FINISH. APPLY 2 COATS OF ACRYLIC FLOOR ENAMEL (MEDIUM GRAY COLOR)  |  |

**FLOOR GENERAL NOTES:**  
1. IN THE CASE OF VINYL TILE AND CERAMIC TILE, THE PATTERN DEPICTED INDICATES THE FLOOR COVERING JOINT PATTERN  
2. DIMENSIONS TO FLOORING FROM COLUMN GRID LINES OR FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.

**FINISH NOTES**

1. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 10.  
2. INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE DOC FF-1 "PILL TEST" (CPS 16 CFR PART 1630) OR WITH ASTM D 2859.  
3. INTERIOR WALLS AND CEILING SHALL HAVE A FLAME SPREAD OF 0-200 AND A SMOKE DEVELOPMENT RATINGS OF 0-450.

**WALL COVERINGS:**  
(WC-1) ALUMINUM/GLASS WINDOW - SEE DETAILS AND ELEVATIONS FOR SIZES, LOCATIONS AND TYPE  
(WC-2) DAL TILE, ASTRONOMY, ORION AT71, SIZE: 12" X 24", GROUT: CUSTOM BUILDING PRODUCTS. PRISM #135 MUSHROOM NOT USED  
(WC-3) 3/4" FIRE TREATED B/C GRADE PLYWOOD TO 8'-0" ABOVE FINISH FLOOR - GYPSUM BOARD ABOVE 8'-0"  
(WC-4) 1/2" MOISTURE RESISTANT GYPSUM BOARD  
(WC-5) 1/2" GYPSUM BOARD

**FLOOR BASES:**  
(FB-1) NOT USED  
(FB-2) 1/4" WOOD BASE, SEE ELEVATIONS FOR FINISH, SEE SPECIFICATIONS  
(FB-3) SCHLUTER DILEX AHK AND ALL ASSOCIATED CORNER COMPONENTS, COLOR: FINISH: ANODIZED ALUMINUM.  
(FB-4) 1" TARKETT RUBBER COVE BASE, COLOR: 63 BURNT UMBER

**CEILING:**  
(EXP) EXPOSED CONSTRUCTION - PAINT EXPOSED CEILING DUCTWORK, PIPING, STRUCTURE, ETC. UP TO AND INCLUDING BOTTOM OF ROOF DECK  
(ACT-1) 2 X 2 LAY-IN ACOUSTICAL CEILING PANEL UNITED STATES GYPSUM INTERIORS, INC. PATTERN: SQUARE EDGE TILE, TOUCHSTONE #5893 (SQUARE), SUSPENSION SYSTEM USG / DX / DLX, WHITE, HUNG WITH 1/2 GAUGE WIRE (INSTALL ACOUSTICAL CEILING IN ACCORDANCE WITH ASTM C635)  
(ACT-2) 2 X 2 VINYL COATED LAY-IN ACOUSTICAL CEILING PANEL UNITED STATES GYPSUM INTERIORS, INC. PATTERN SHEET ROCK LAY-IN CEILING PANEL, CLMA PLUS, FINISH: WHITE VINYL FACING IN STIPPLE PATTERN, SUSPENSION SYSTEM USG / DOWN DX / DLX, WHITE, HUNG WITH 1/2 GAUGE WIRE (INSTALL ACOUSTICAL CEILING IN ACCORDANCE WITH ASTM C635)  
(GBC) 1/2" GYPSUM BOARD

**SHEEN SCHEDULE**

| ADULT SALES AREA WALLS   | FLAT WITH SMOOTH FINISH FROM FLOOR TO BOTTOM OF METAL DECK ON ALL FULL HEIGHT WALLS IN NEW ADDITION. SMOOTH FINISH ON ALL PARTIAL HEIGHT WALLS. MATCH EXISTING WALL FINISHES IN EXISTING BUILDING. UNLESS NOTED OTHERWISE |
|--|---|
| KIDS SALES AREA WALLS  | FLAT SHEEN WITH SMOOTH FINISH   |
| JANITOR AND ELECTRICAL ROOM WALLS  | EGGSHELL SHEEN WITH SMOOTH FINISH   |
| ALL OTHER ROOMS NOT LISTED (WALLS)   | EGGSHELL SHEEN WITH ORANGE PEEL MEDIUM TEXTURE  |
| ALL CEILING, UNLESS NOTED OTHERWISE  | FLAT SHEEN  |
| MAIN ENTRANCE BARREL VAULT INCLUDING: ROOF DECK, GYPSUM BOARD, BEAMS, CONDUIT, PIPING, ETCETERA. | SEMI-GLOSS SHEEN  |
| FULL HEIGHT STEEL BUILDING COLUMNS AT THE EXTERIOR WINDOWS                                       | SEMI-GLOSS SHEEN (UNLESS NOTED OTHERWISE)   |

**PAINT COLOR SCHEDULE**

| TAG  | MANUFACTURER                 | NUMBER AND COLOR OR CUSTOM FORMULA   | REMARKS  |
|--|------------------------------|--|--|
| PT-1 BEIGE (RESTROOM SIDE OF DOOR AND FRAME) | SHERWIN WILLIAMS             | SW9594 SETTLEMENT  |  |
| PT-2 WHITE (PUBLIC AREA WALLS AND CEILING)   | SHERWIN WILLIAMS             | SW7005 PURE WHITE  | DRYFALL AT CEILING   |
| PPG PAINTS                                   | PPG1006-1                    | GYPSUM   |  |
| PT-3 GRAY (OFFICES AND BREAKROOM)            | SHERWIN WILLIAMS             | SW7022 ALPACA  |  |
| PPG PAINTS                                   | PPG1022-2                    | INTUITIVE  |  |
| PT-4 BLACK                                   | SHERWIN WILLIAMS             | SW6258 TRICORN BLACK   | GLOSS SHEEN UNLESS NOTED OTHERWISE   |
| PPG PAINTS                                   | PPG1001-7                    | BLACK MAGIC  |  |
| PT-5 SILVER                                  | SHERWIN WILLIAMS             | SILVER - SEE PAINT SCHEDULE IN SPECIFICATION SECTION 0900-PAINTING FOR INFORMATION |  |
| PPG PAINTS                                   |                              |  |  |
| PT-10 SAFETY YELLOW                          | SHERWIN WILLIAMS             | OSHA SAFETY YELLOW   | GLOSS SHEEN UNLESS NOTED OTHERWISE   |
| PPG PAINTS                                   | OSHA SAFETY YELLOW           |  |  |
| PT-11 WHITE (EXTERIOR)                       | SHERWIN WILLIAMS             | SW 6252 ICE CUBE   |  |
| PPG PAINTS                                   | PPG1001-2                    | ARIA   |  |
| PT-13 BLUE                                   | SHERWIN WILLIAMS             | W1=40/32+1/84, B1=8/32, L1=4 OZ+59/32+1/128, R3=2 OZ+8/32+1/128                    | PANEL FINISH / COLOR TO MATCH CUSTOM COLOR: ALPOLIC / MITSUBISHI CHEMICAL MC11-3088 (ROOMS TO GO BLUE) 70% GLOSS |
| PPG PAINTS                                   | B-7, E-2Y+16, V-24, W-24+3/4 |  |  |

**DOOR NOTES**

1. PROVIDE (3) SILENCERS FOR ALL SINGLE HOLLOW METAL DOORS AND (2) SILENCERS FOR PAIRS  
2. ALL HOLLOW METAL DOORS AND FRAMES TO BE SHOP PRIMED AND FIELD PAINTED  
3. PAINT DOORS (SEMI-GLOSS SHEEN) TO MATCH ADJACENT WALL SURFACES (TYPICAL BOTH SIDES AND EDGES UNLESS NOTED OTHERWISE)  
4. REFER FLOOR PLAN 1/A.1.1 FOR CALLOUTS  
5. GLAZING ADJACENT TO AND WITHIN DOORS SHALL COMPLY WITH ALL CODES AND SAFETY GLAZING REQUIREMENTS. ALSO ALL FRAMED GLASS DOORS SHALL COMPLY WITH SECTION 404.2.9 OF ANSI A117.1, 2003 EDITION  
6. REFER TO DETAIL 1/A8.0 FOR DOOR TYPES  
7. DOOR HANDLES, PULLS LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 OF THE INTERNATIONAL BUILDING CODE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE

**DOOR SCHEDULE**

| DOOR NUMBER | LOCATION                   | DOOR SIZE                   | TYPE     | MATERIAL                  | FRAME DETAILS |        |         | HARDWARE GROUP | REMARKS   |
|-------------|----------------------------|-----------------------------|----------|---------------------------|---------------|--------|---------|----------------|---|
|             |                            |                             |          |                           | HEAD          | JAMB   | SILL    |                |   |
| (A) AND (B) | ENTRANCE/EXIT              | PAIR 3'-0" x 7'-7 5/8"      | EXISTING | ALUMINUM                  | --            | --     | --      | EXISTING       | EXISTING DOORS AND GLAZING TO REMAIN  |
| (2)         | KIDS ENTRANCE/EXIT         | PAIR 3'-0" x 7'-7 5/8"      | EXISTING | ALUMINUM                  | --            | --     | --      | EXISTING       | EXISTING DOORS AND GLAZING TO REMAIN  |
| (3)         | HALL 3 TO EXTERIOR         | PAIR 3'-0" x 7'-0" x 1 3/4" | EXISTING | HOLLOW METAL (GALVANIZED) | --            | --     | --      | EXISTING       | EXISTING DOORS AND FRAME TO REMAIN  |
| (4)         | SALES ADDITION TO EXTERIOR | 3'-0" x 7'-0" x 1 3/4"      | B        | HOLLOW METAL (GALVANIZED) | 8/A8.0        | 9/A8.0 | 4/A2.1  | 7              |   |
| (5)         | SALES TO EXTERIOR          | 3'-0" x 7'-0" x 1 3/4"      | B        | HOLLOW METAL (GALVANIZED) | 8/A8.0        | 9/A8.0 | 4/A2.1  | 7              |   |
| (6)         | STORAGE                    | 3'-0" x 7'-0" x 1 3/4"      | B        | HOLLOW METAL              | 5/A8.0        | 5/A8.0 | --      | 8              | LOUVER 18"x12"  |
| (7)         | OFFICE                     | 3'-0" x 7'-0" x 1 3/4"      | C        | WOOD                      | 5/A8.0        | 5/A8.0 | 10/A2.1 | 5              | 2 3/4" BACKSET REQUIRED   |
| (8)         | BREAKROOM                  | 3'-0" x 7'-0" x 1 3/4"      | B        | HOLLOW METAL              | 5/A8.0        | 5/A8.0 | 10/A2.1 | 8              | PROVIDE 4x24 LITE WITH SAFETY GLASS, AND LOUVER 18"x12"   |
| (9)         | MENS TOILET                | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOOR AND FRAME TO REMAIN   |
| (10)        | JANITOR CLOSET             | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOOR AND FRAME TO REMAIN   |
| (11)        | WOMENS TOILET              | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOOR AND FRAME TO REMAIN   |
| (12)        | UTILITY ROOM               | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOORS AND FRAMES TO REMAIN PROVIDE "ROOF ACCESS / FIRE CONTROL ROOM" SIGN COMPLYING WITH FIRE MARSHAL'S REQUIREMENTS |
| (13)        | UTILITY ROOM               | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOORS AND FRAMES TO REMAIN PROVIDE "ROOF ACCESS / FIRE CONTROL ROOM" SIGN COMPLYING WITH FIRE MARSHAL'S REQUIREMENTS |
| (14)        | ROOF SCUTTLE               | 2'-6" x 3'-0"               | --       | ALUMINUM                  | --            | --     | --      | --             | BILCO TYPE "S-50" WITH LADDER UP SAFETY POLE. SEE DETAIL 10/A5.4 (OWNER TO PROVIDE PADLOCK)                                   |
| (15)        | RAC OFFICE                 | 3'-0" x 7'-0" x 1 3/4"      | C        | WOOD                      | 5/A8.0        | 5/A8.0 | 10/A2.1 | 5              | 2 3/4" BACKSET REQUIRED. 1" UNDER CUT   |
| (16)        | WOMENS TOILET              | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOOR AND FRAME TO REMAIN   |
| (17)        | MENS TOILET                | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOOR AND FRAME TO REMAIN   |
| (18)        | NOT USED                   |                             |          |                           |               |        |         |                |   |
| (19)        | HALL 2 TO EXTERIOR         | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL (GALVANIZED) | --            | --     | --      | EXISTING       | EXISTING DOORS AND FRAME TO REMAIN  |
| (20)        | FIRE RISER ROOM            | 3'-0" x 7'-0" x 1 3/4"      | B        | HOLLOW METAL              | 5/A8.0        | 5/A8.0 | 7/A2.1  | 9              | 45 MINUTE FIRE RATED DOOR, PROVIDE "FIRE RISER" SIGN COMPLYING WITH FIRE MARSHAL'S REQUIREMENTS                               |
| (21)        | ELECTRICAL ROOM            | 3'-0" x 7'-0" x 1 3/4"      | EXISTING | HOLLOW METAL              | --            | --     | --      | EXISTING       | EXISTING DOOR AND FRAME TO REMAIN   |

**HARDWARE GROUPS**

**GROUP #5 (OFFICE)**  
2 PAIR BUTTS - STANLEY FBB 179  
4 1/2 x 4 1/2 626 - 1 PAIR FOR UPPER AND LOWER LEAVES OF DUTCH DOOR  
1 LOCKSET - SCHLAGE #ALBOLD (BY OWNER)  
1 FLUSH BOLT (AT BOTTOM OF TOP LEAF IN EDGE OF DOOR)  
IVES #261 WITH COMPATIBLE DUST-PROOF STRIKE SET INTO SHELF  
2 WALL STOPS - IVES WS 406

**GROUP #6 (IDF)**  
1/2 PAIR BUTTS - STANLEY FBB 179 4 1/2 x 4 1/2 626  
1 PAIR BUTTS - STANLEY 2060R 4 1/2 x 4 1/2 626 (SPRING HINGE)  
1 MECHANICAL ACCESS CONTROL LOCKLATCH - SIMPLEX 1011-26D-41  
1 WALL STOP - IVES WS 406

**GROUP #7 (SALES TO EXTERIOR- SINGLE DOOR AT CONCRETE MASONRY UNITS)**  
1 1/2 PAIR HAGER BB1191 4 1/2 x 4 1/2  
NON-RISING PINS 626  
1 TOUCHBAR DEVINE PRECISION APEX 2101 626  
1 THRESHOLD ALUMINUM - NATIONAL GUARD 426  
1 WEATHERSTRIP AWM - NATIONAL GUARD FS 162A  
1 SWEEP - NATIONAL GUARD 102VA  
1 HEAD PROTECTION - NATIONAL GUARD 16AD  
1 LOCK GUARD - LG13 STAINLESS STEEL BY IVES  
1 OVERHEAD CHAIN STOP - STANLEY-748263 ZINC PLATED (2C)  
CHAIN DOORSTOP

**GROUP #8 (BREAKROOM AND STORAGE)**  
1 1/2 PAIR BUTTS - STANLEY FBB 179 4 1/2 x 4 1/2 626  
1 PUSH/PULL SET - IVES 8200 8X16 AND 8302 6X16 US26D  
1 CLOSER - LCN 1460 AC (1071)  
1 WALL STOP - IVES WS 406

**GROUP #9 (FIRE RISER ROOM)**  
2 PAIR HAGER BB1191 4 1/2 x 4 1/2  
NON-RISING PIN 626  
1 LOCKSET - SCHLAGE #ALBOLD (BY OWNER)  
1 CLOSER - LCN 4040 CUSHXAL "THRU-BOLTED" WITH SEX BOLTS (NO SUBSTITUTIONS) 626

STORE EXPANSION AND REMODEL

**ROOMS TO GO**

18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

CONSTR. DOC. & REVISIONS

| No. | Description                   | Date     |
|-----|-------------------------------|----------|
| 1   | FIRE DEPARTMENT CODE COMMENTS | 06/13/23 |
| 2   | ADDENDUM #2                   | 11/29/23 |
| 3   | ADDENDUM #3                   | 12/05/23 |
| 4   | ADDENDUM #4                   | 01/02/24 |
| 5   | ADDENDUM #5                   | 01/29/24 |

PROFESSIONAL OF RECORD  
MICHAEL SCOTT SUNDERMEYER  
License No. AR03005  
Expiration Date 02/28/25

Drawn By/Checked By: dir/MSB  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**SCHEDULES AND DETAILS**

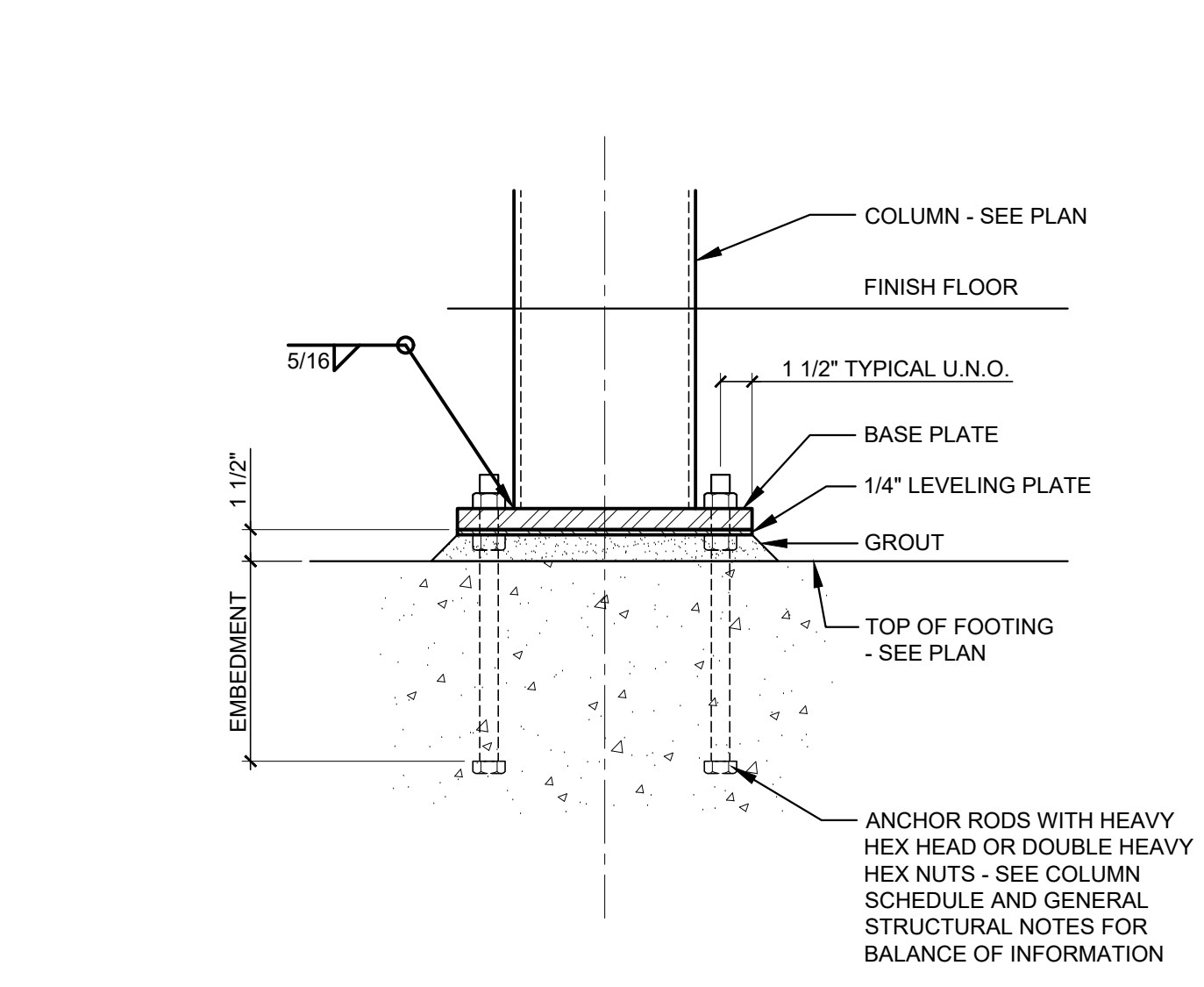
**A8.0**

CASCO  
12 Sumner Drive, Suite 100, St. Louis, MO 63143 T-314.821.1100

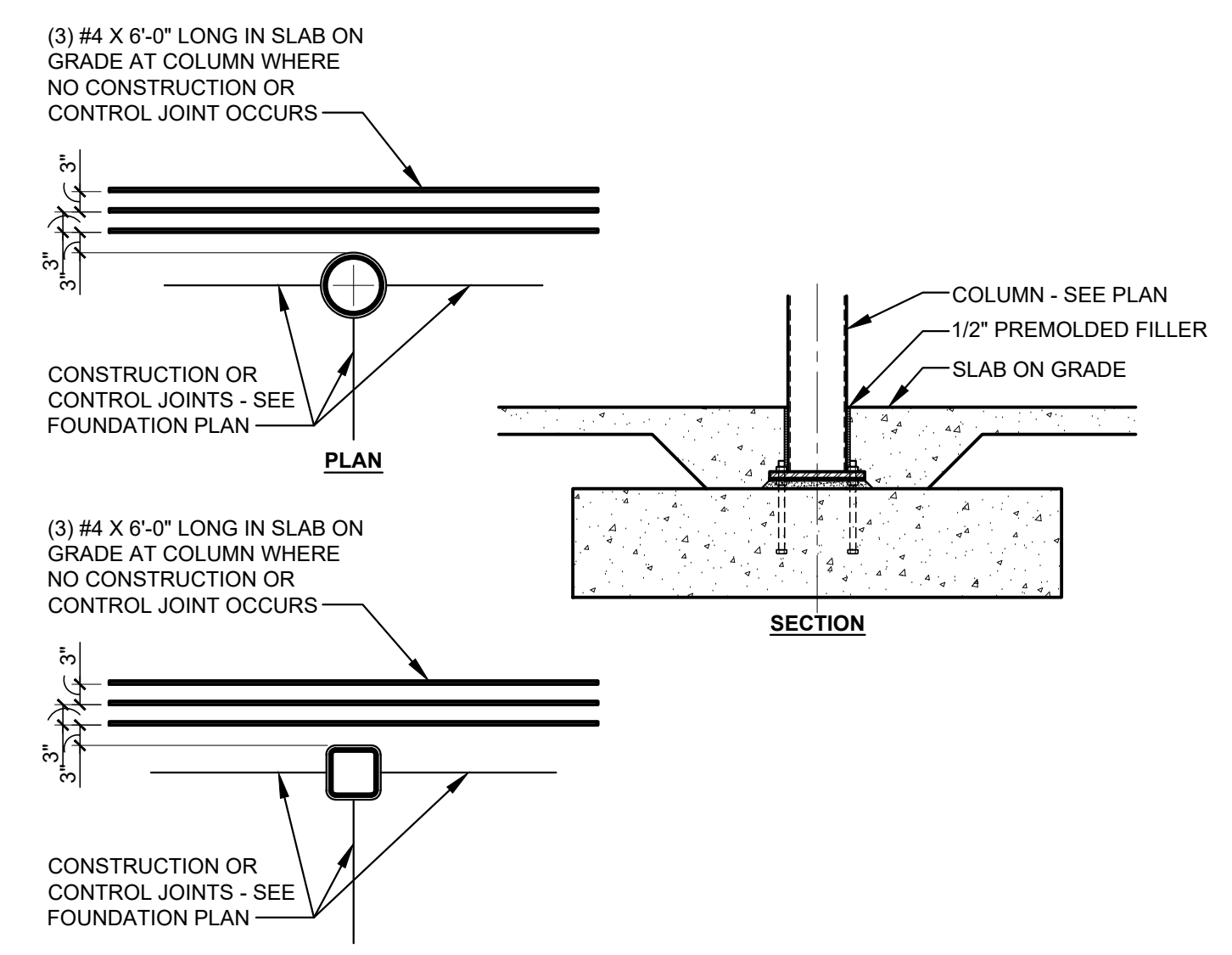




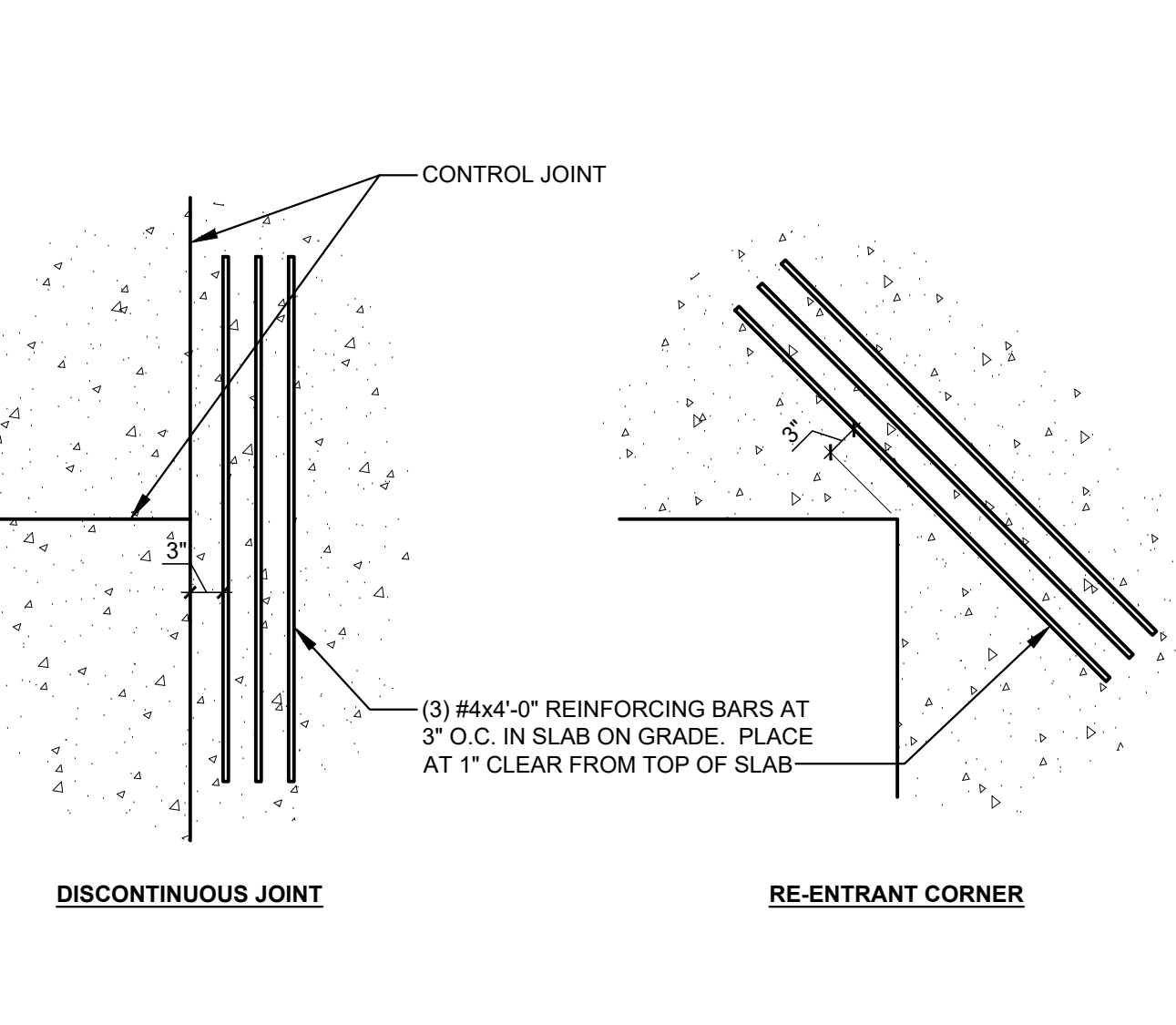




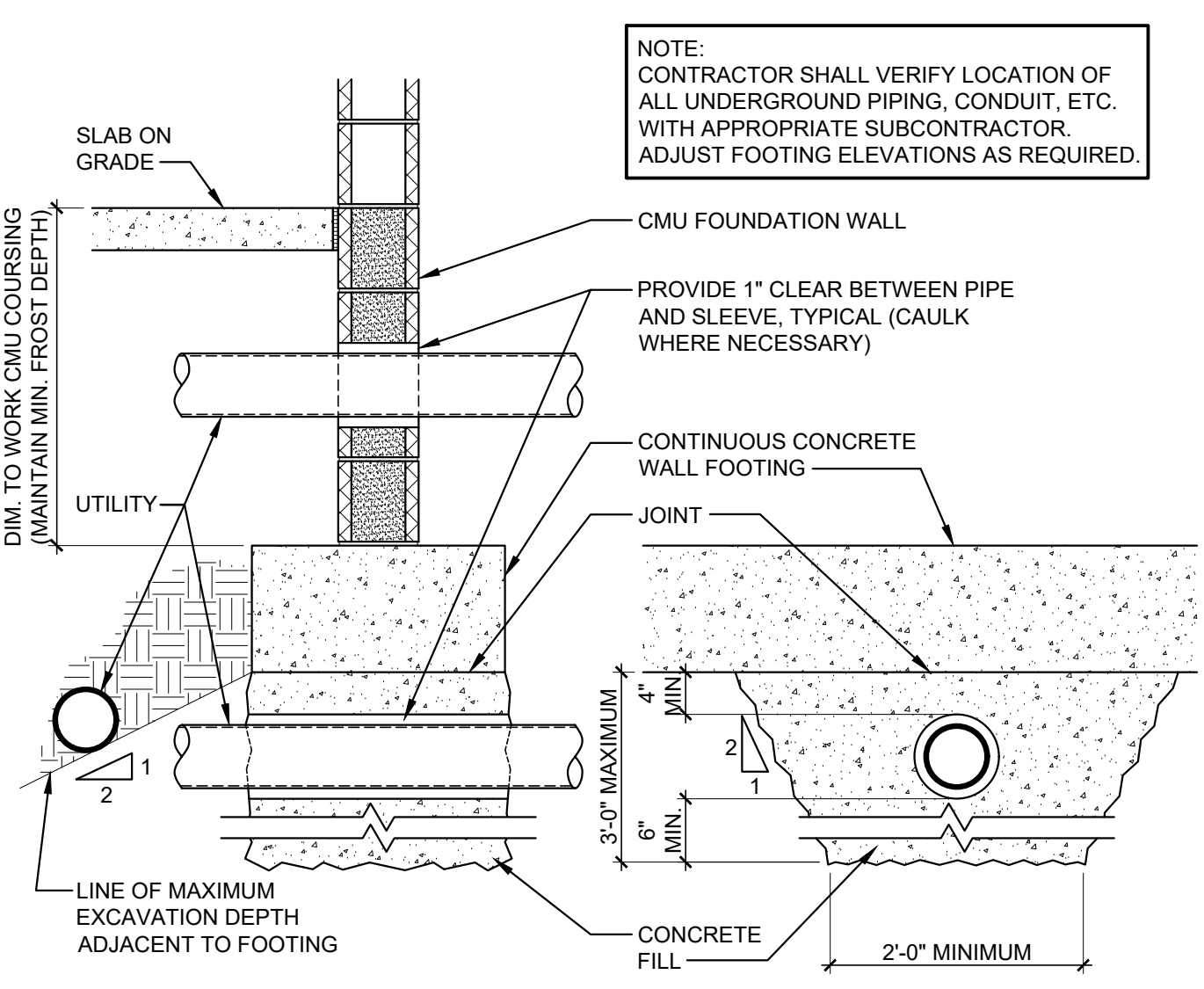
**1**  
S0.2  
TYPICAL COLUMN BASE DETAIL  
SCALE: 1 1/2" = 1'-0"



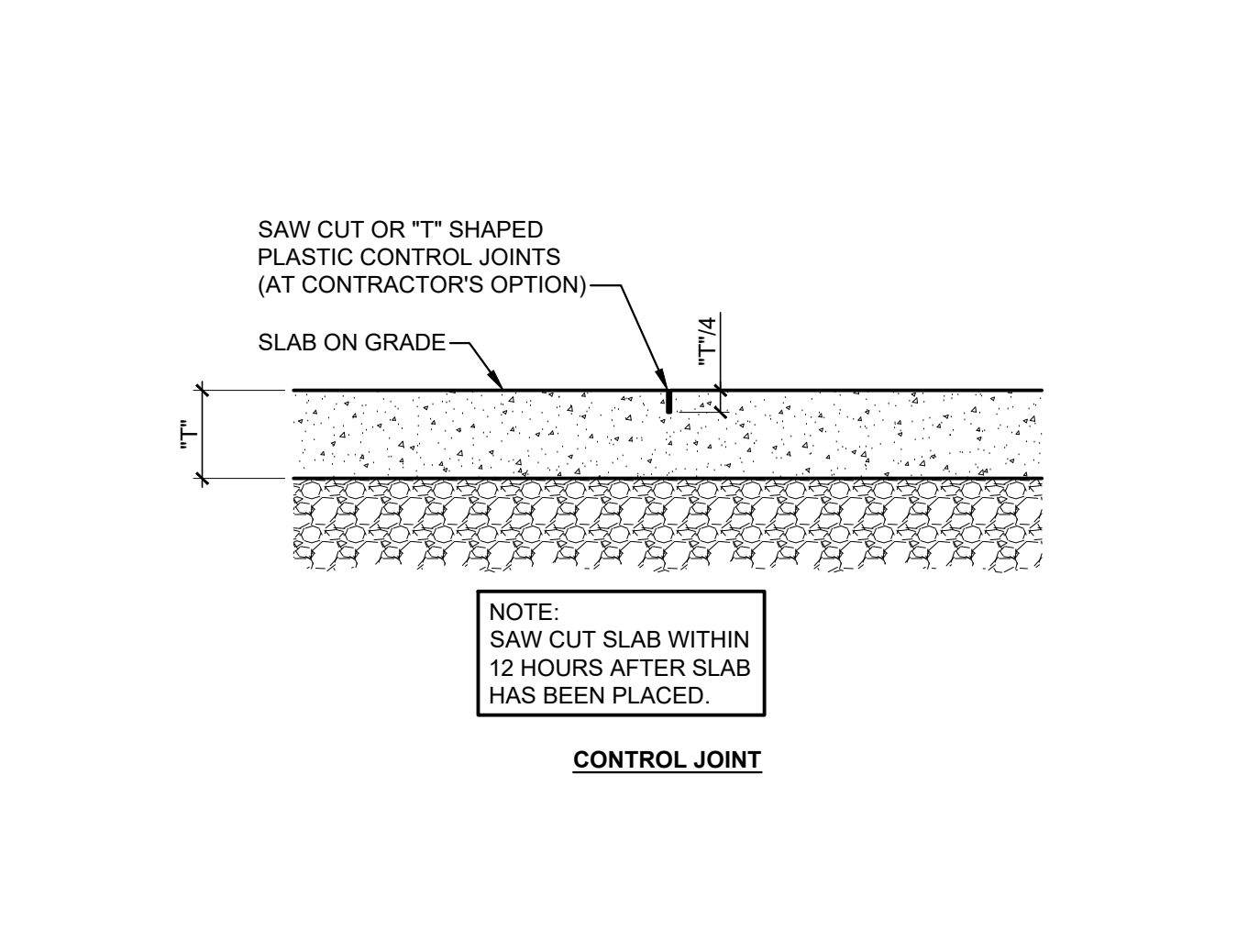
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TYPICAL SLAB AT COLUMN DETAIL  
SCALE: 1/2" = 1'-0"



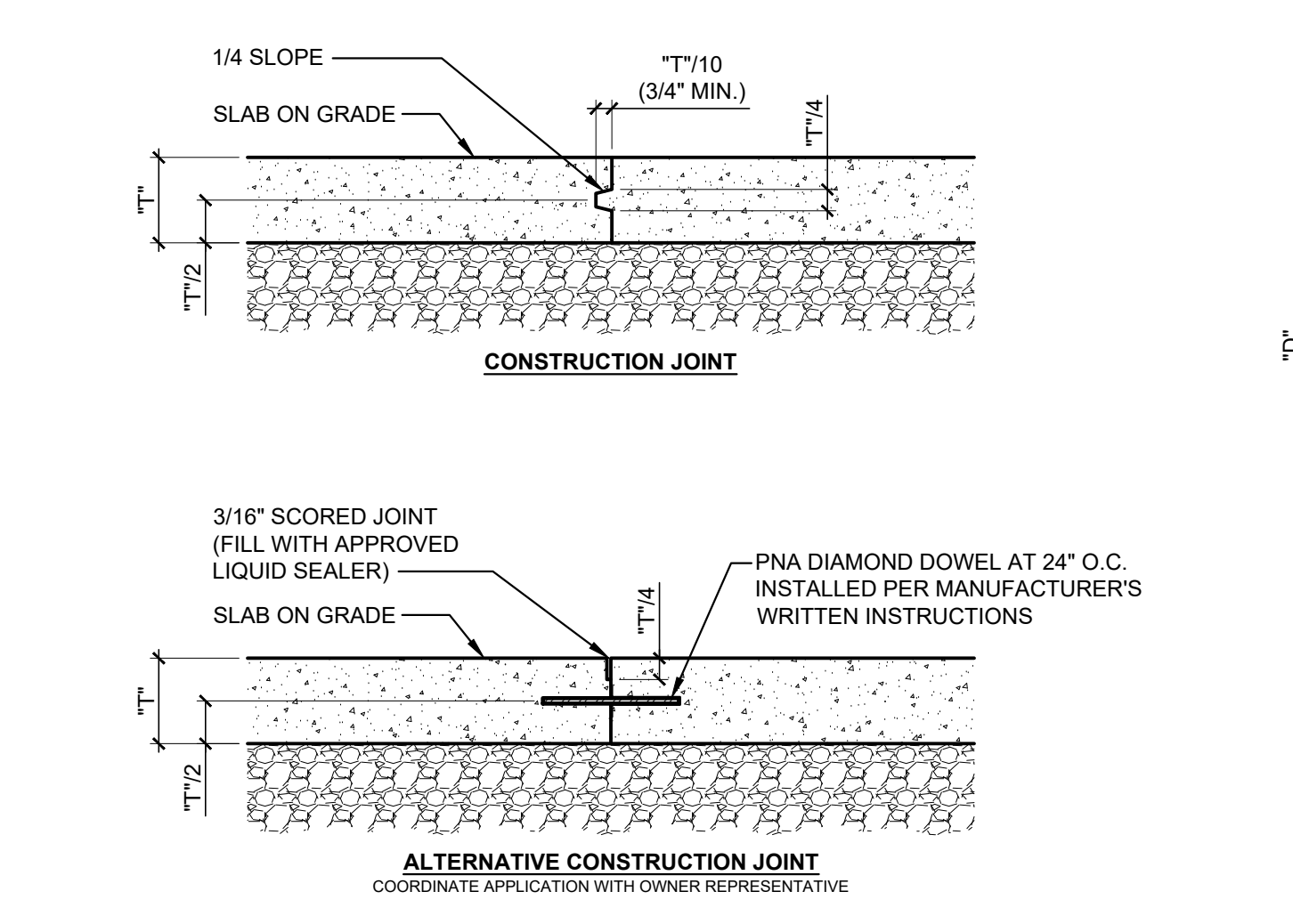
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S0.2  
TYPICAL SLAB REINFORCING DETAIL  
SCALE: 3/4" = 1'-0"



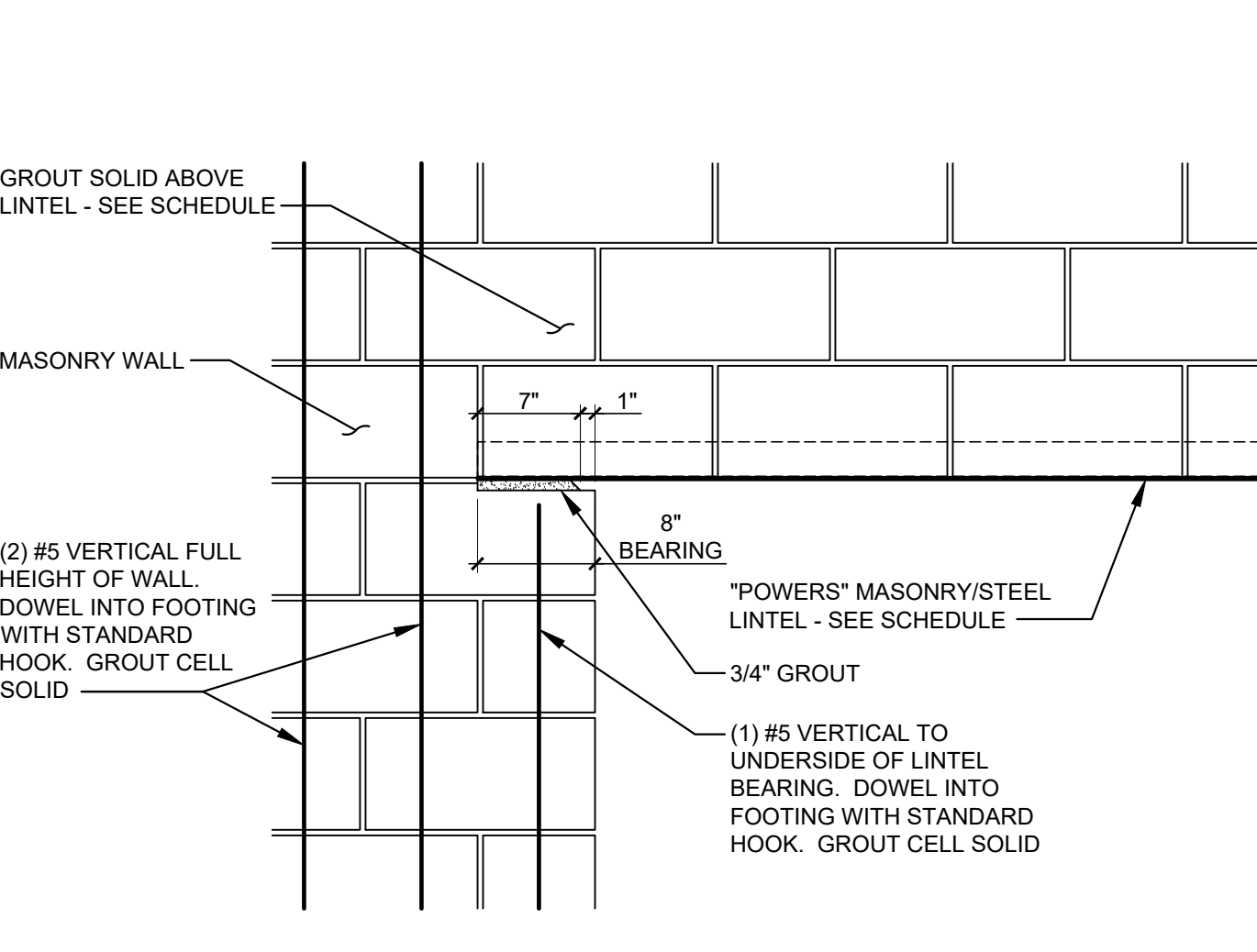
**4**  
S0.2  
TYPICAL PIPE AT FOUNDATION WALL DETAIL  
SCALE: 3/4" = 1'-0"



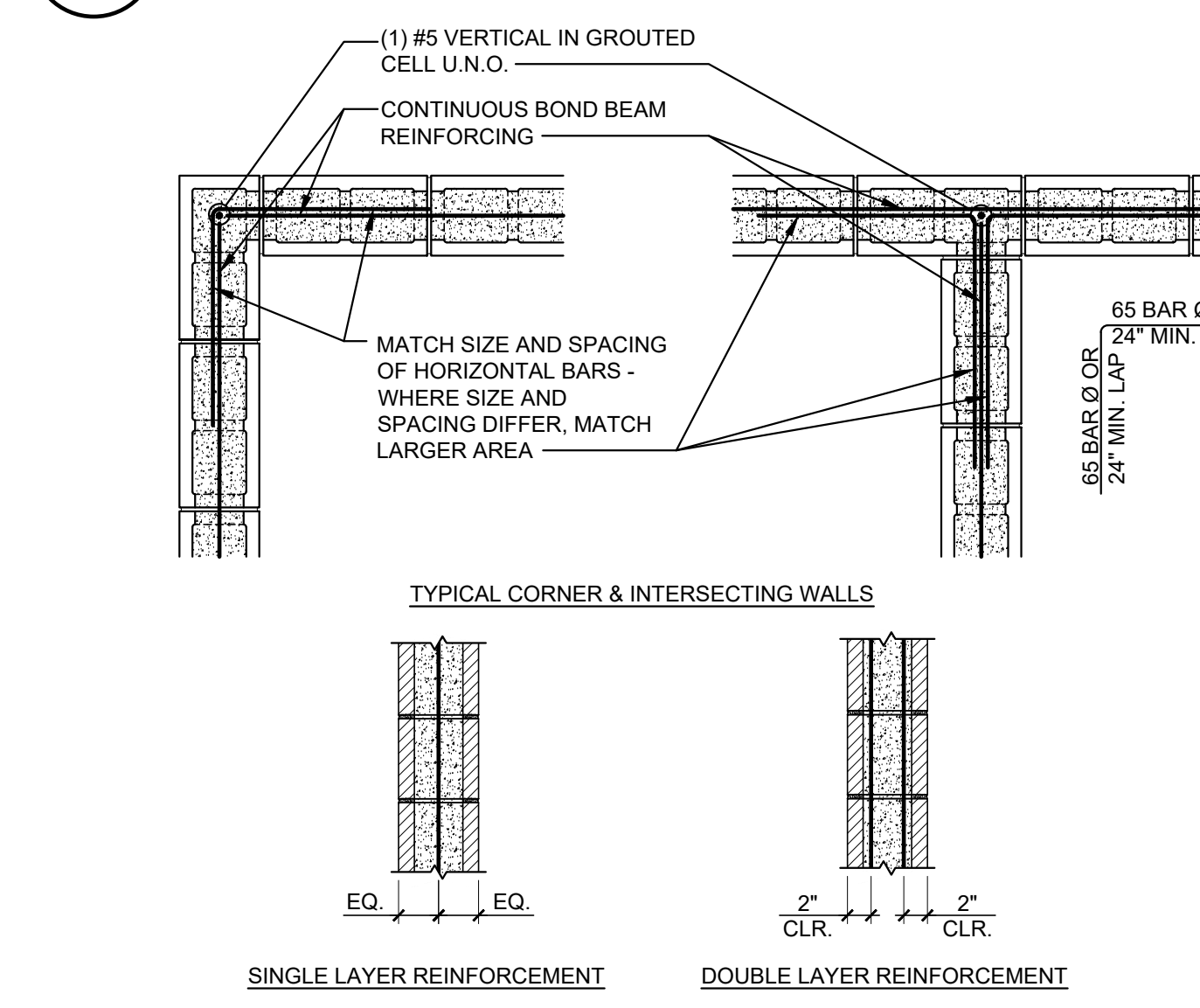
**5**  
S0.2  
TYPICAL SLAB JOINT DETAILS  
SCALE: 1 1/2" = 1'-0"



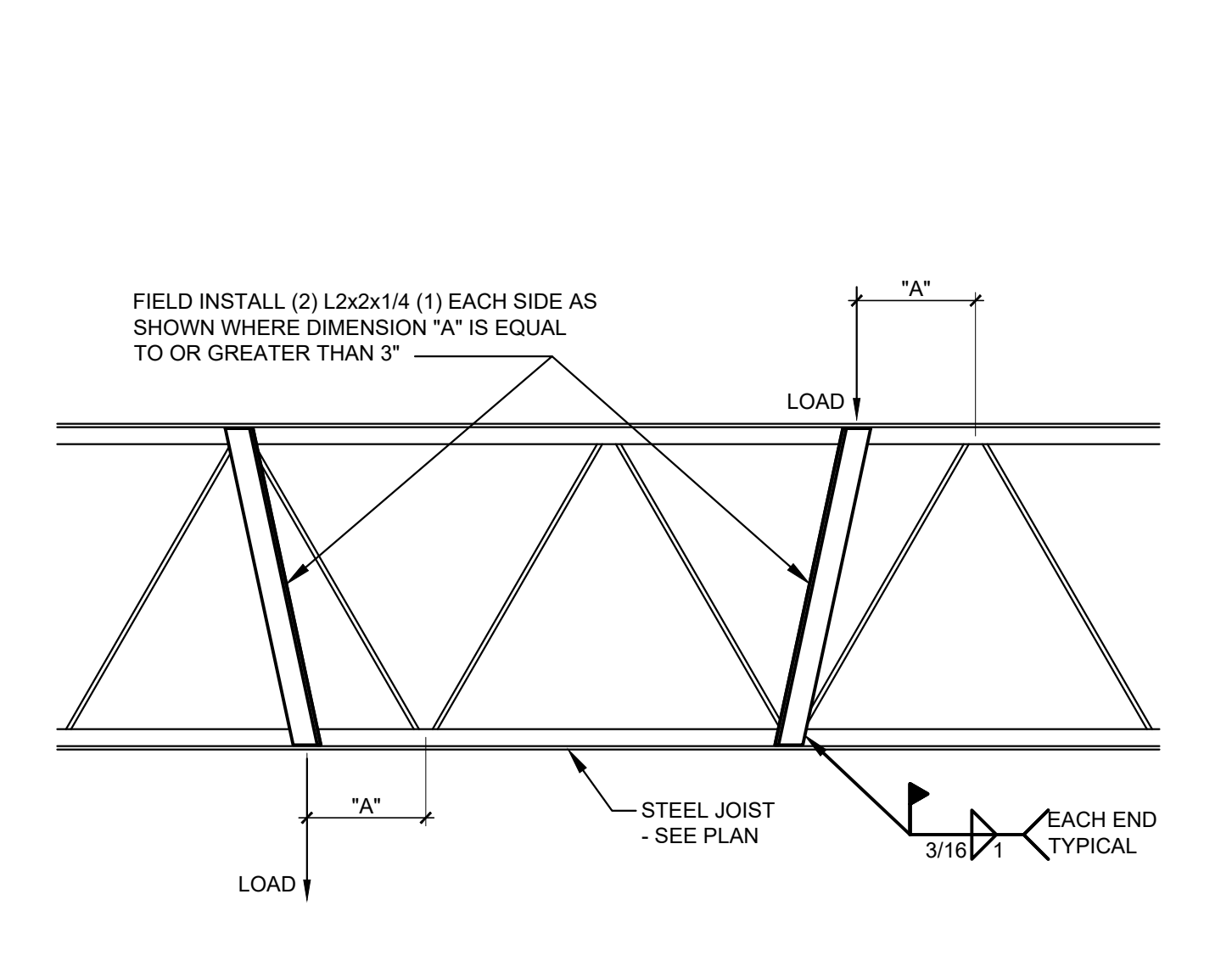
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S0.2  
TYPICAL STEPPED FOOTING DETAIL  
SCALE: 1/2" = 1'-0"



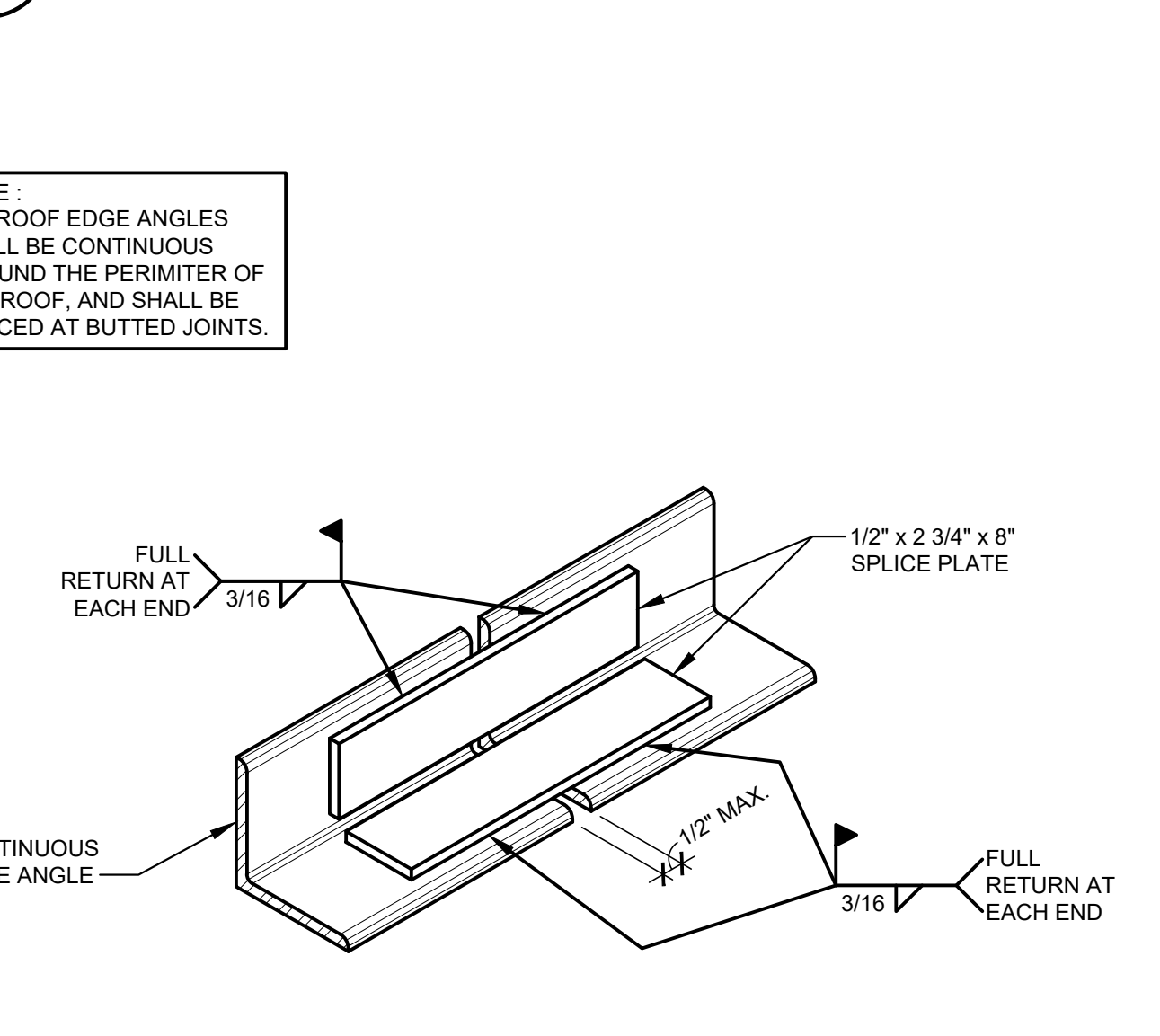
**7**  
S0.2  
TYPICAL LINTEL BEARING DETAIL  
SCALE: 1" = 1'-0"



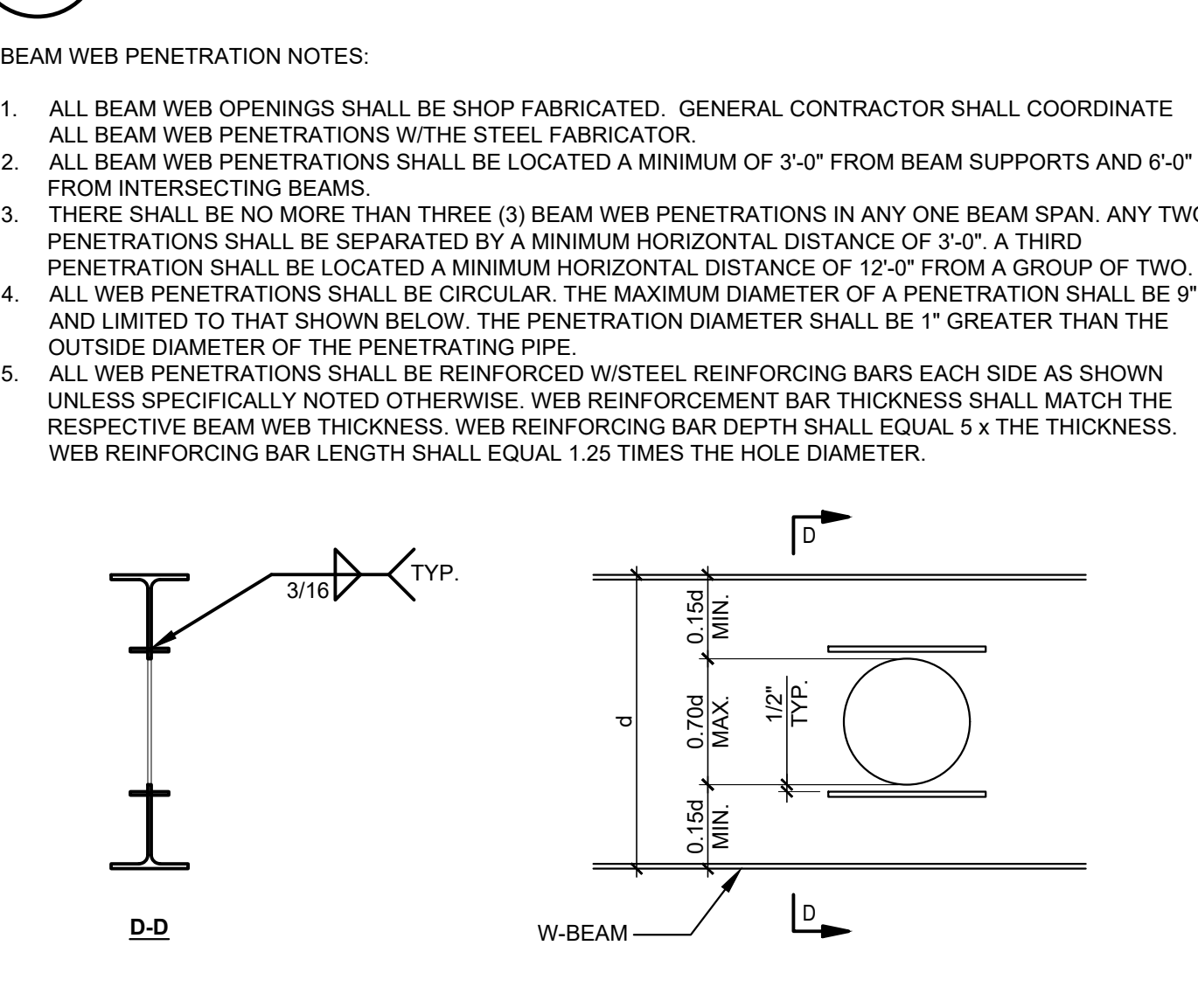
**8**  
S0.2  
TYPICAL CMU REINFORCEMENT DETAILS  
SCALE: 3/4" = 1'-0"



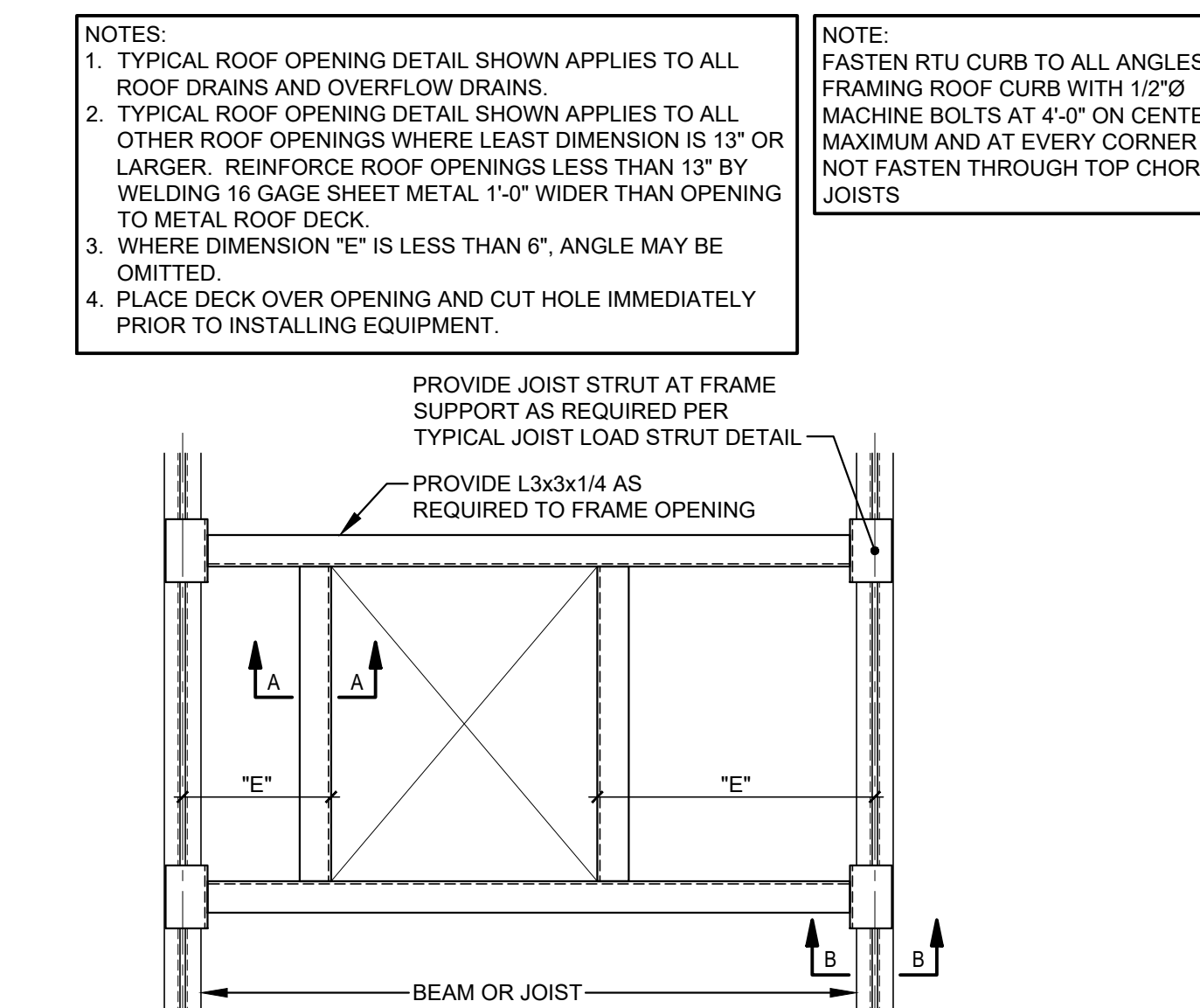
**9**  
S0.2  
TYPICAL JOIST LOAD STRUT DETAIL  
SCALE: 1" = 1'-0"



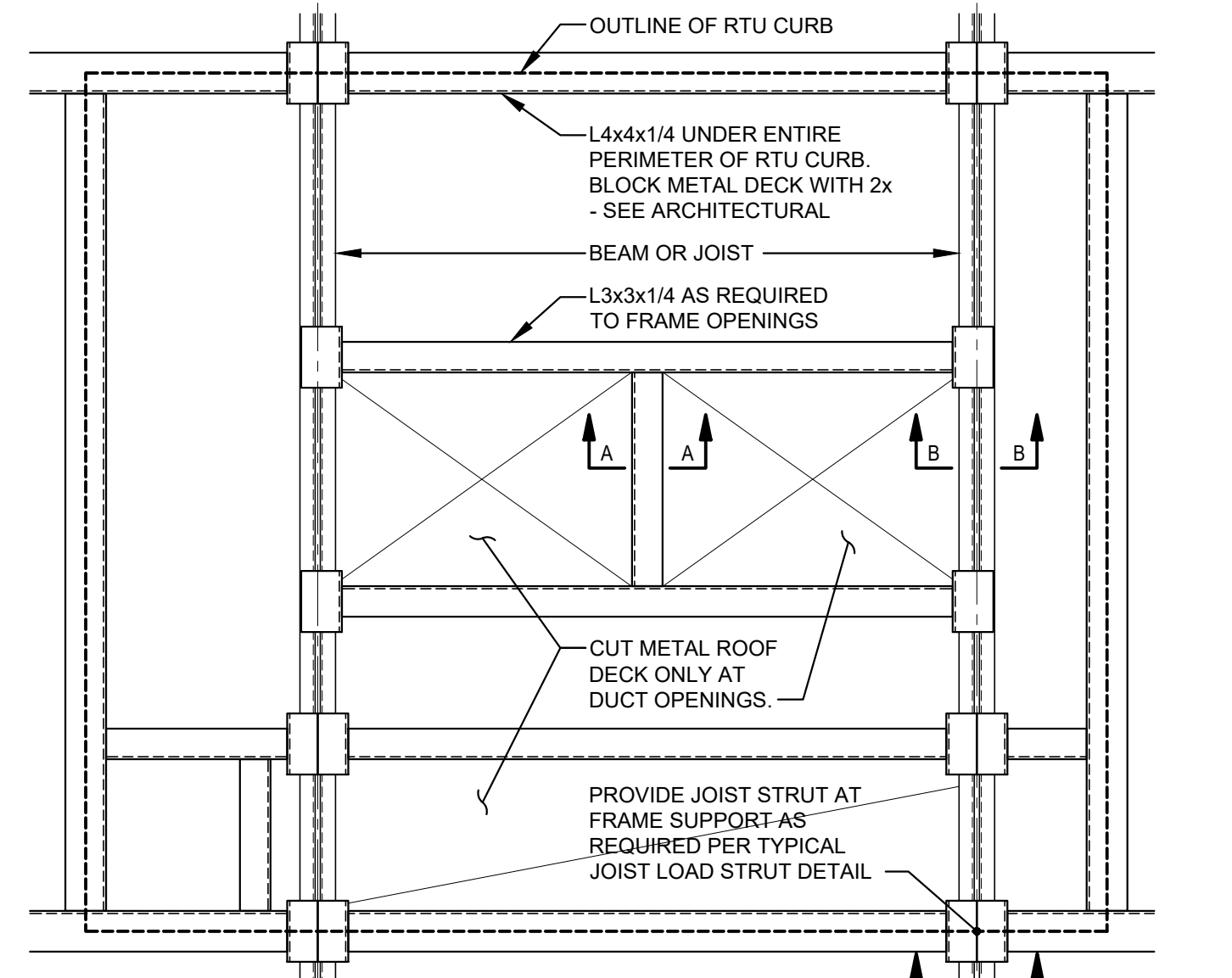
**10**  
S0.2  
TYPICAL EDGE ANGLE SPLICE DETAIL  
SCALE: 3" = 1'-0"



**11**  
S0.2  
TYPICAL STEEL W-BEAM WEB PENETRATION DETAIL  
SCALE: 1" = 1'-0"



**12**  
S0.2  
TYPICAL ROOF OPENING AND RTU SUPPORT DETAIL  
SCALE: 3/4" = 1'-0"



**13**  
S0.2  
TYPICAL TRENCH INFILL DETAIL  
SCALE: 1 1/2" = 1'-0"

ROOMS STORE EXPANSION AND REMODEL

TO GO

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

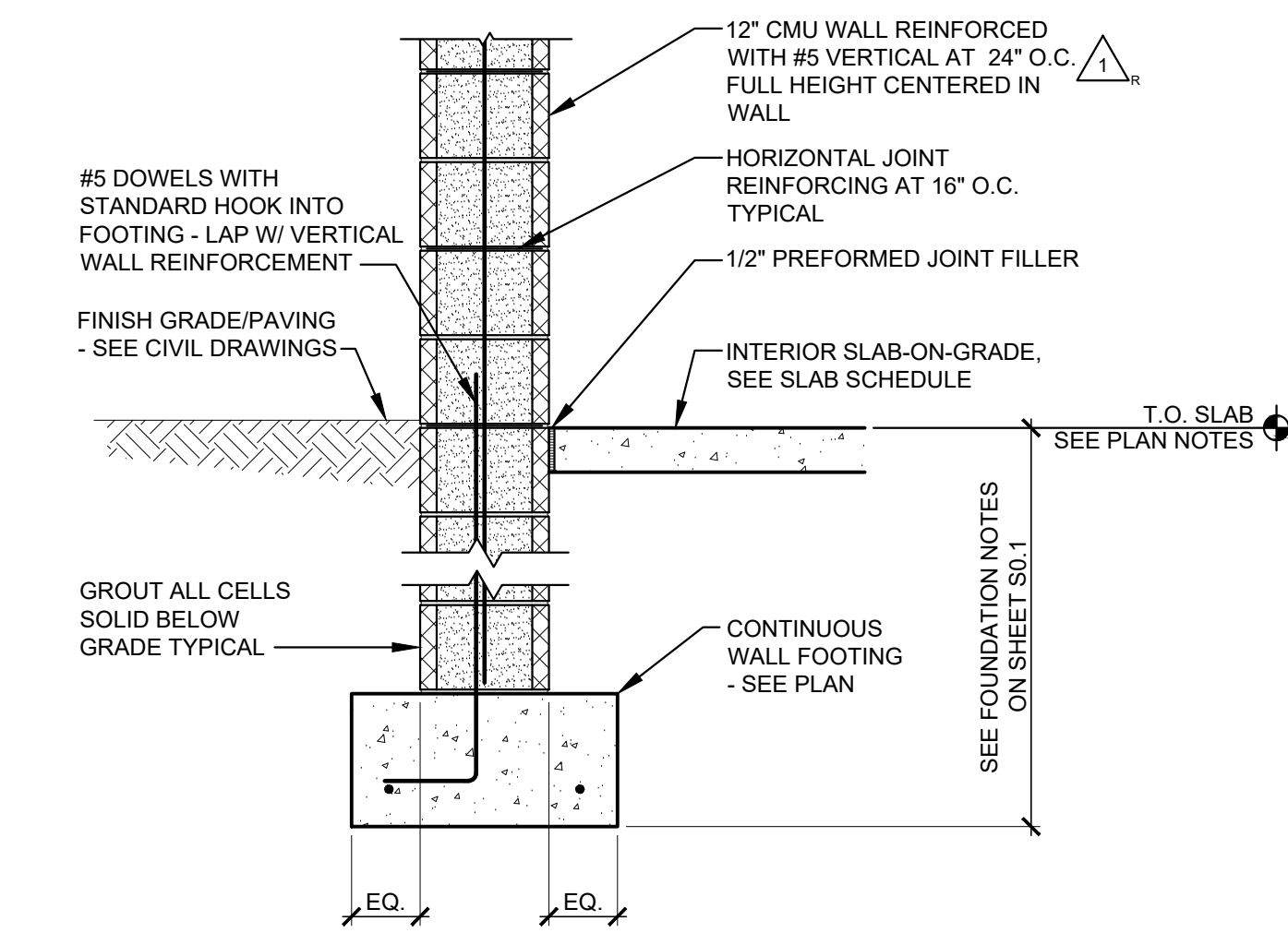
CONSTR. DOC. & REVISIONS  
Date: 01/29/24  
Description: 1 POST BID ADDENDUM #5

PROFESSIONAL OF RECORD  
MARK A. SPALINGER  
LICENSE NUMBER 65866  
EXPIRATION DATE: 02/28/25  
Drawn By/Checked By: MPD/MPD  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

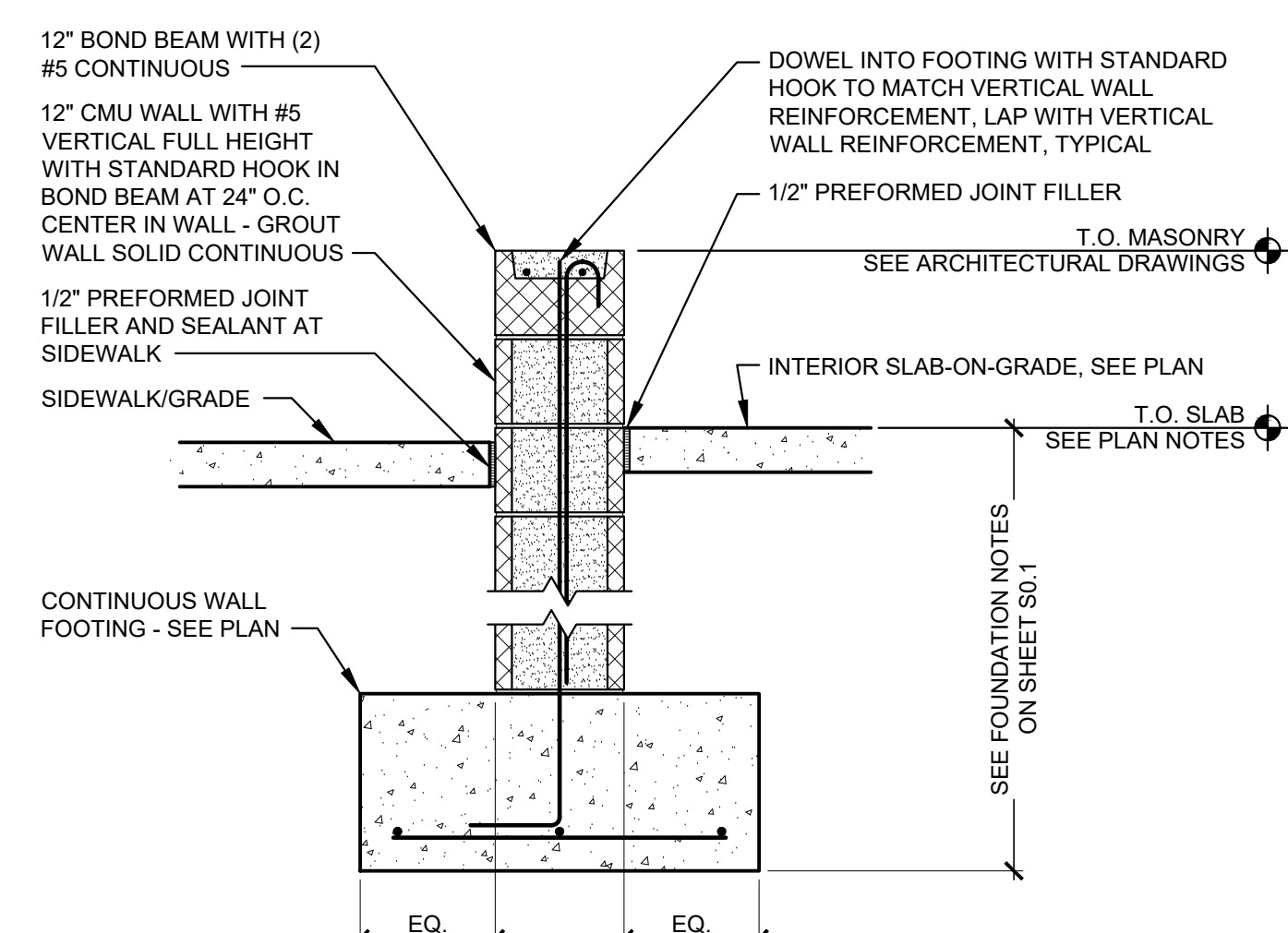
TYPICAL DETAILS

S0.2

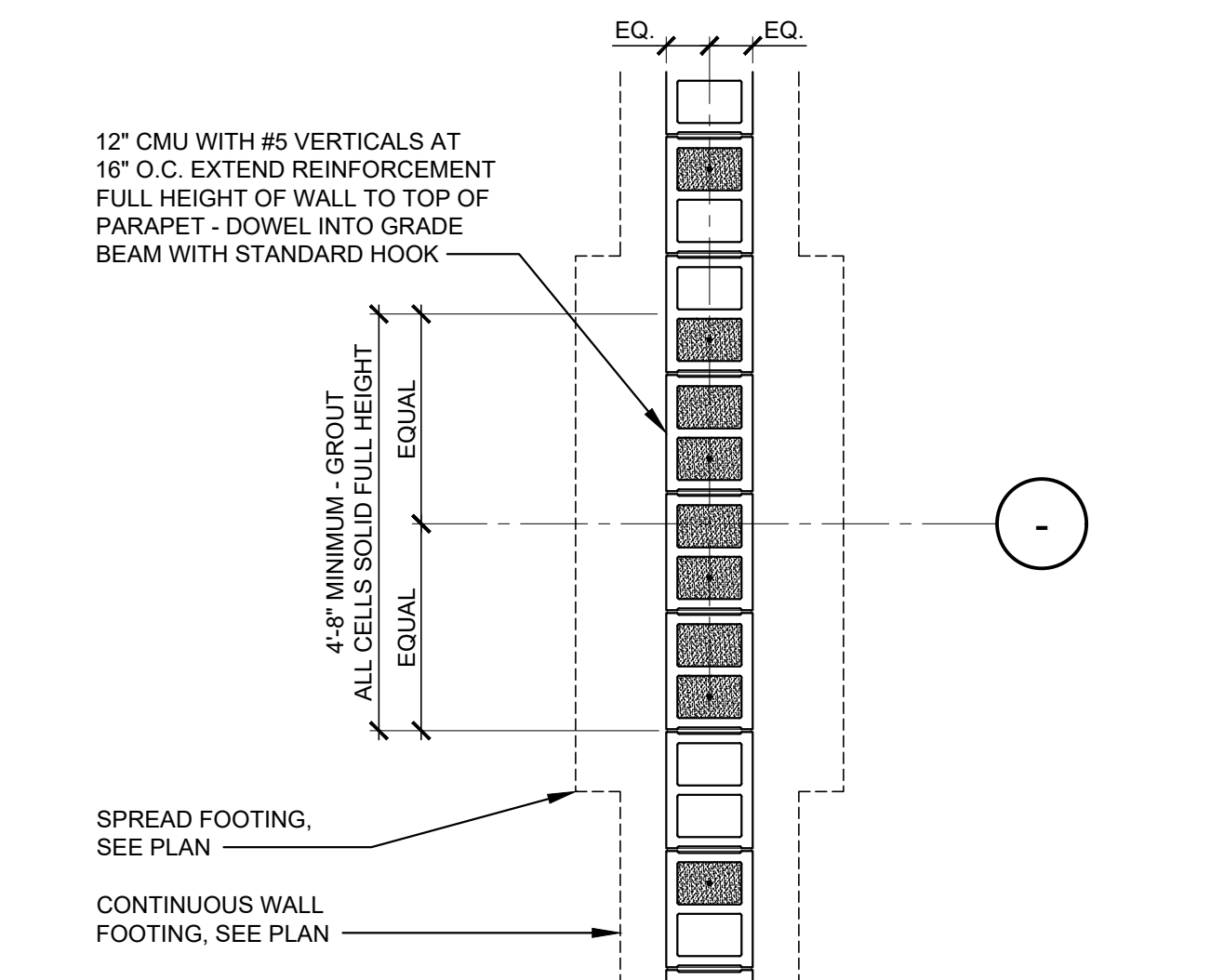
CASCO  
12 Sumner Drive, Suite 100, St. Louis, MO 63143  
T: 314.821.1100



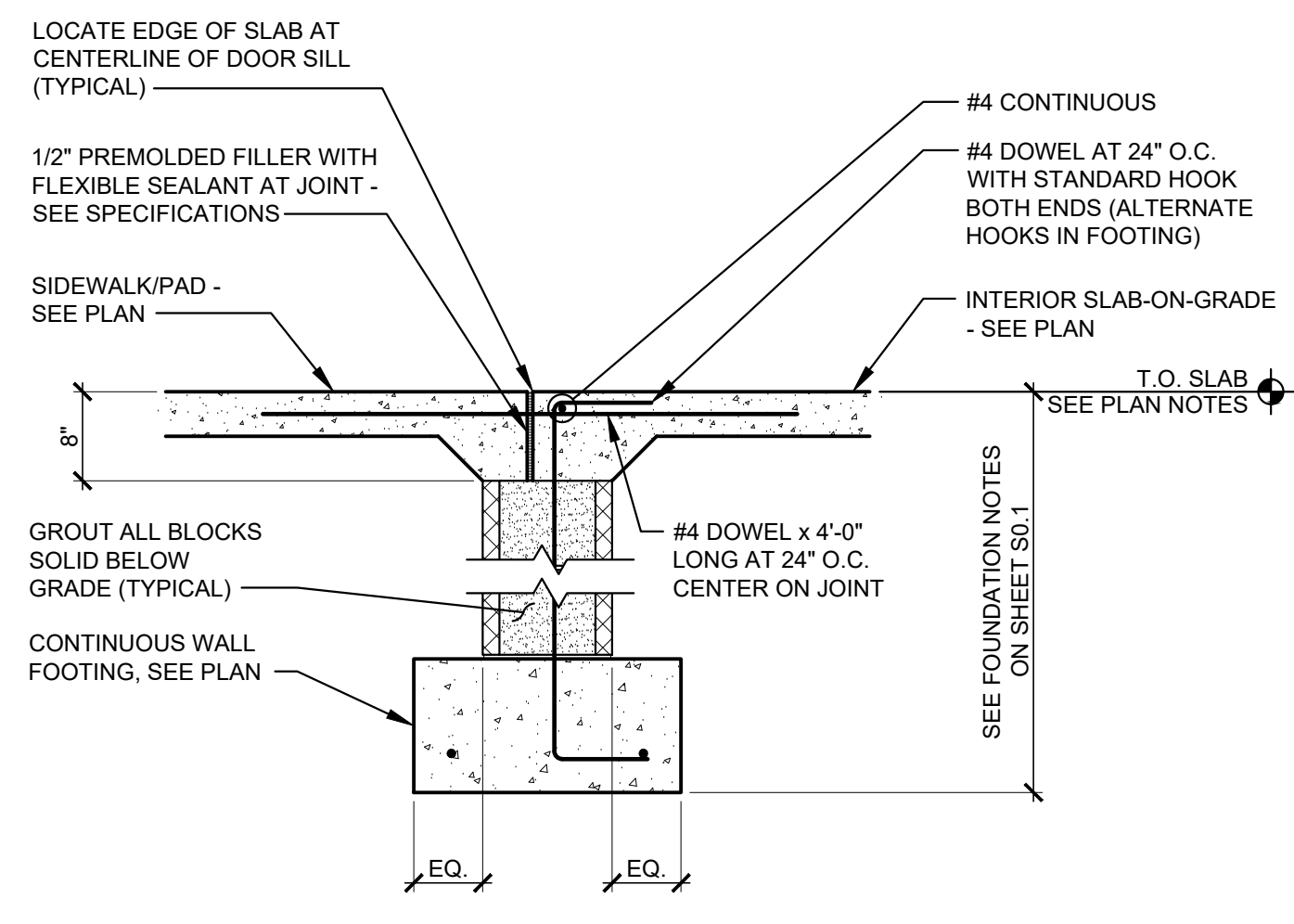
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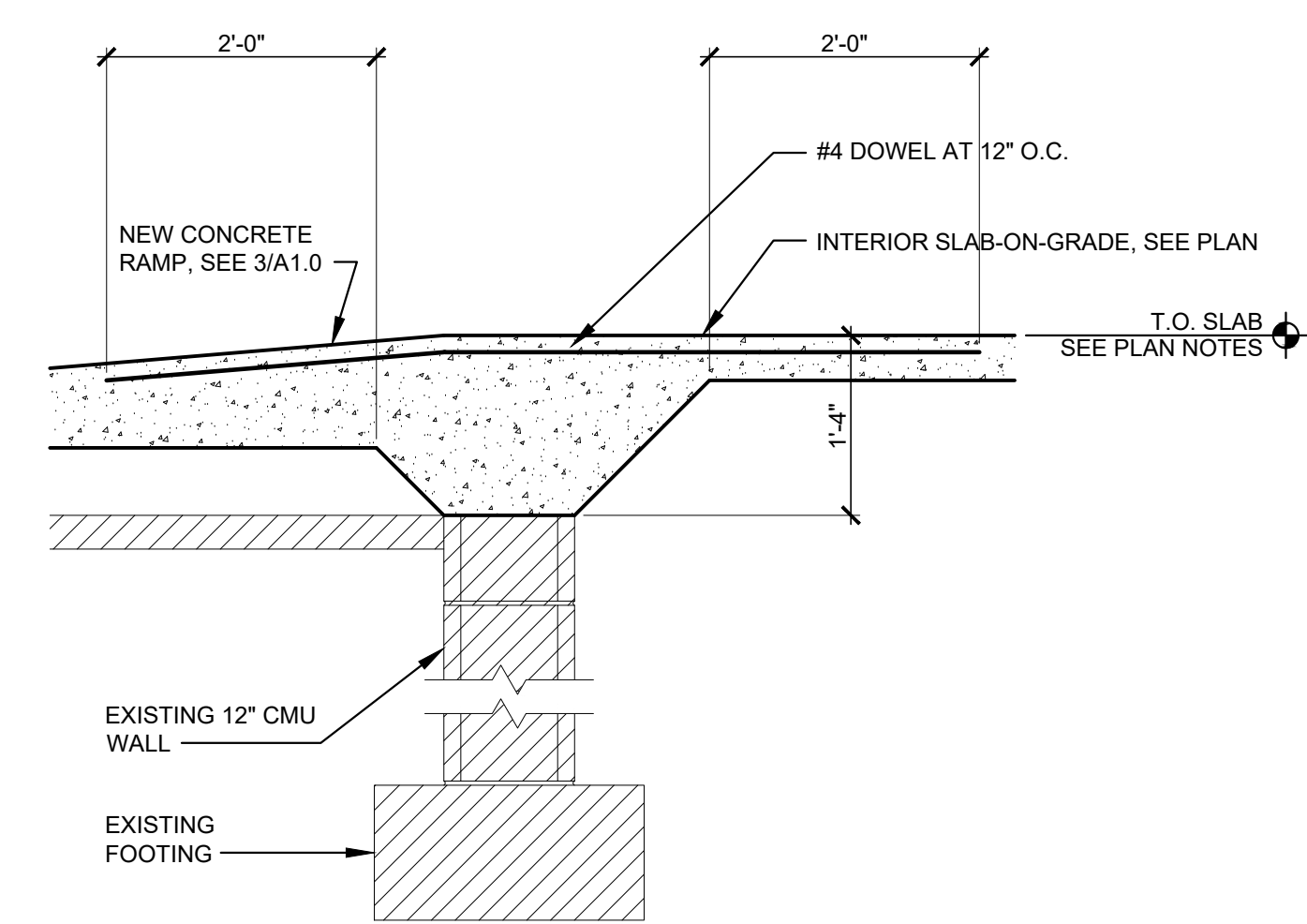
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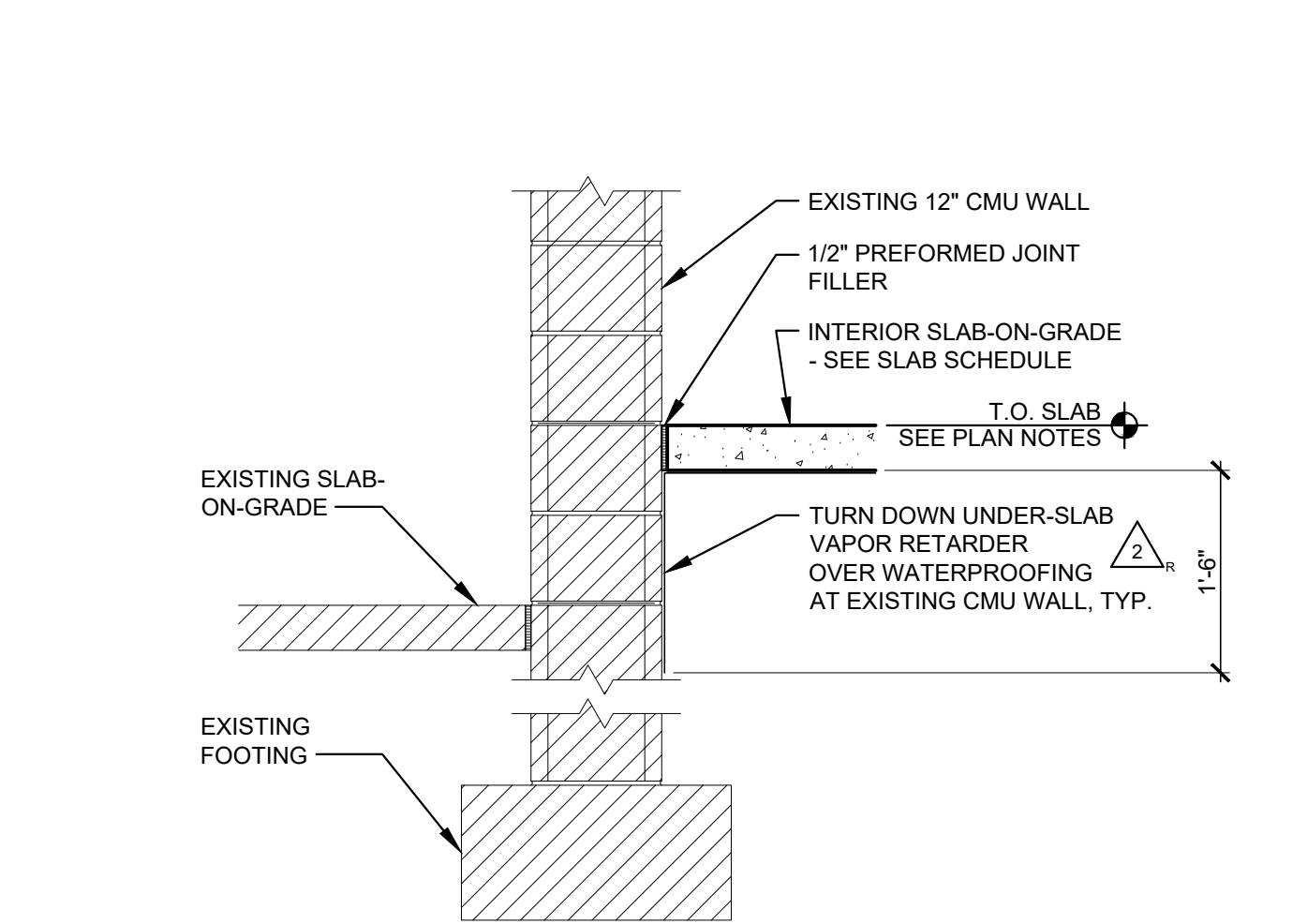
**3 PLAN DETAIL**  
SCALE: 1/2" = 1'-0"



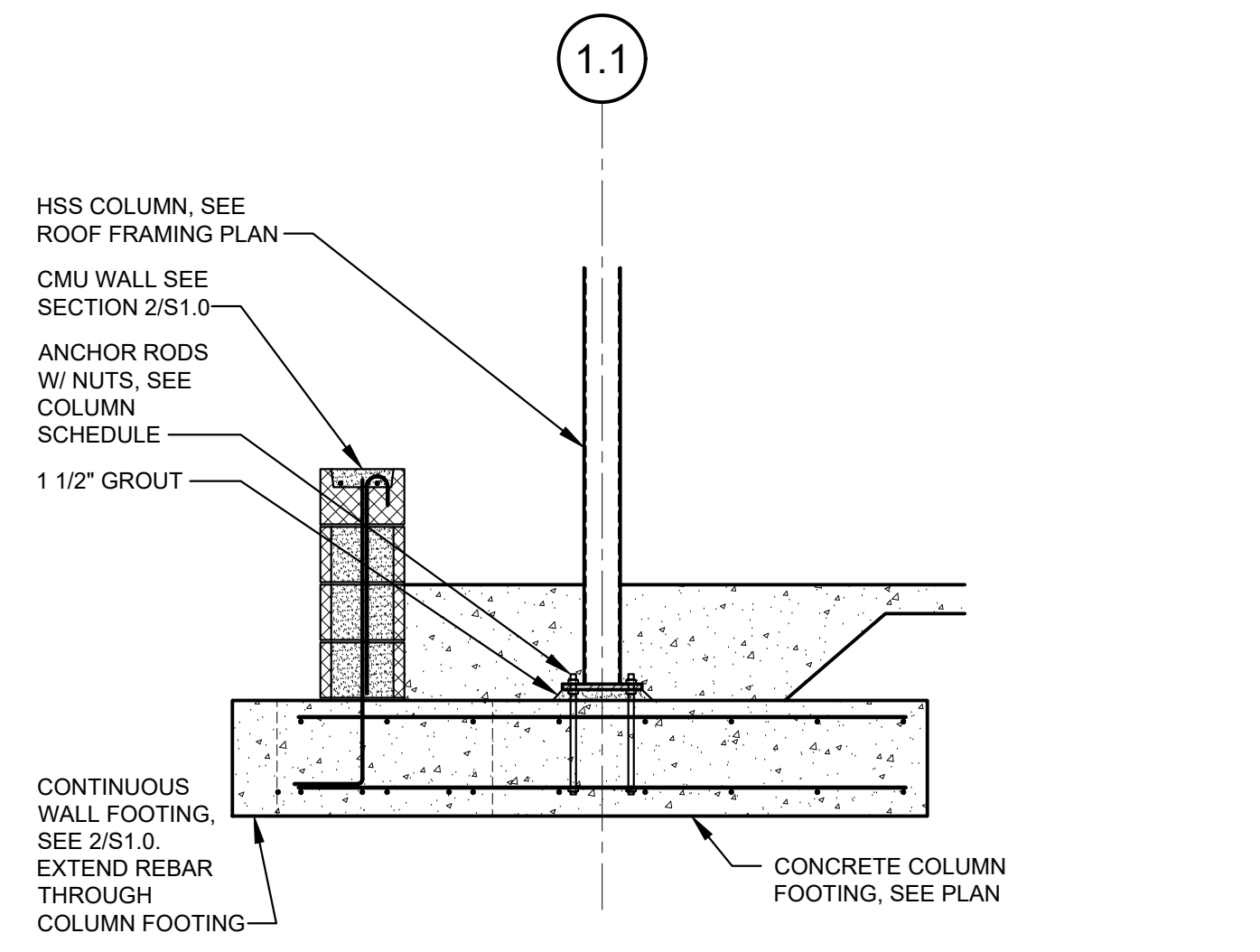
**4 SECTION**  
SCALE: 3/4" = 1'-0"



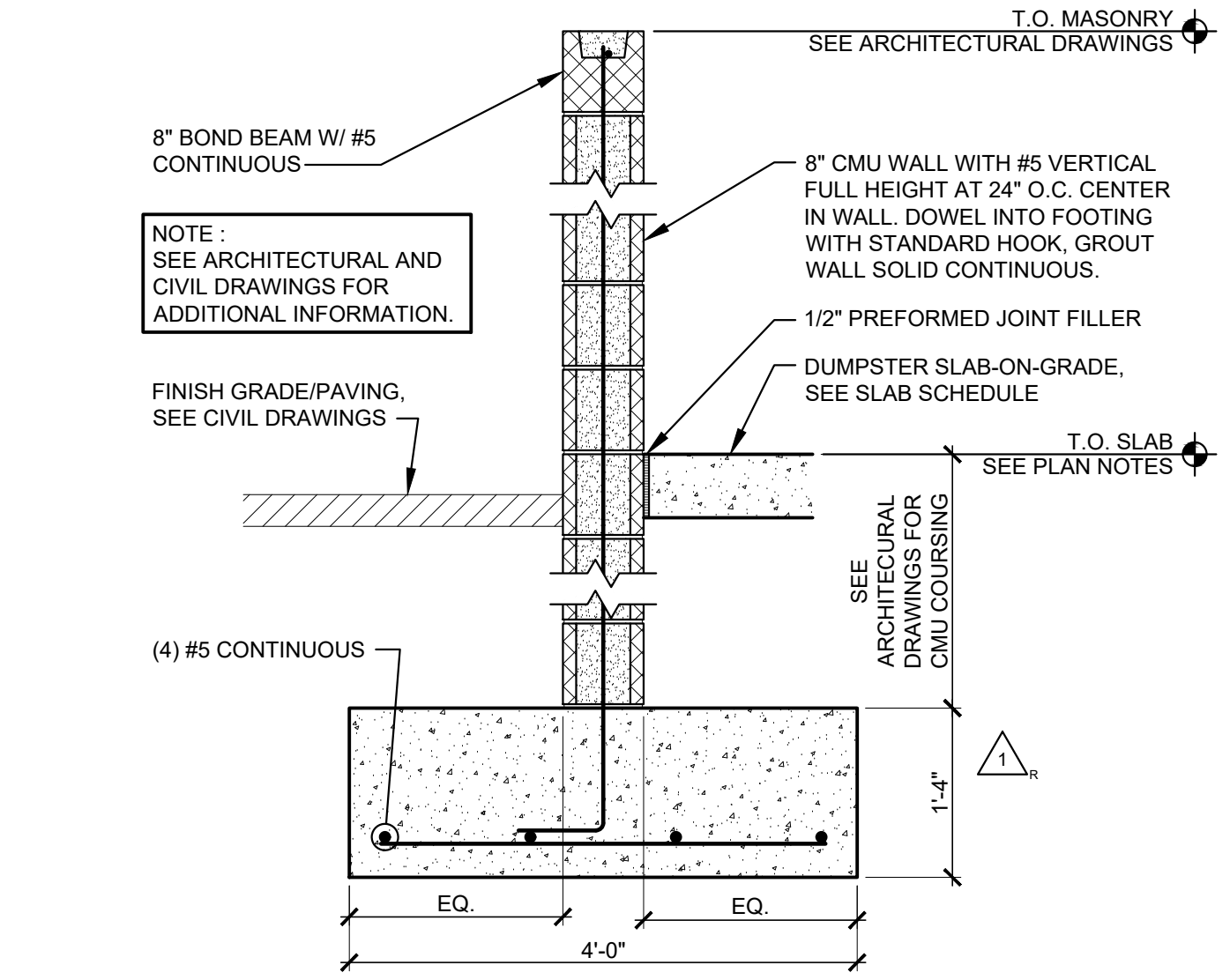
**6 SECTION**  
SCALE: 3/4" = 1'-0"



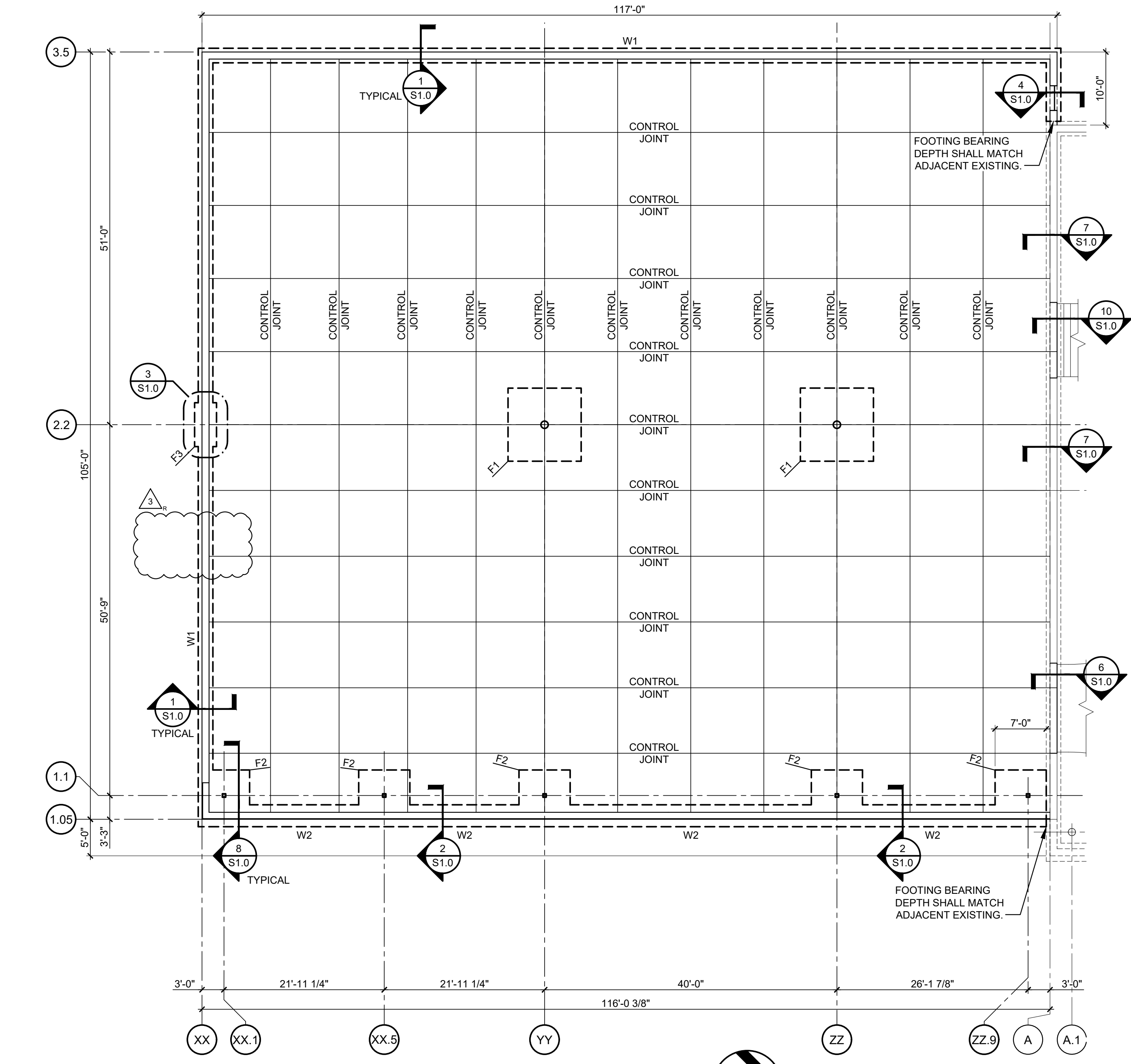
**7 SECTION**  
SCALE: 3/4" = 1'-0"



**8 SECTION**  
SCALE: 1/2" = 1'-0"



**9 TYPICAL CMU SCREEN WALL SECTION**  
SCALE: 3/4" = 1'-0"



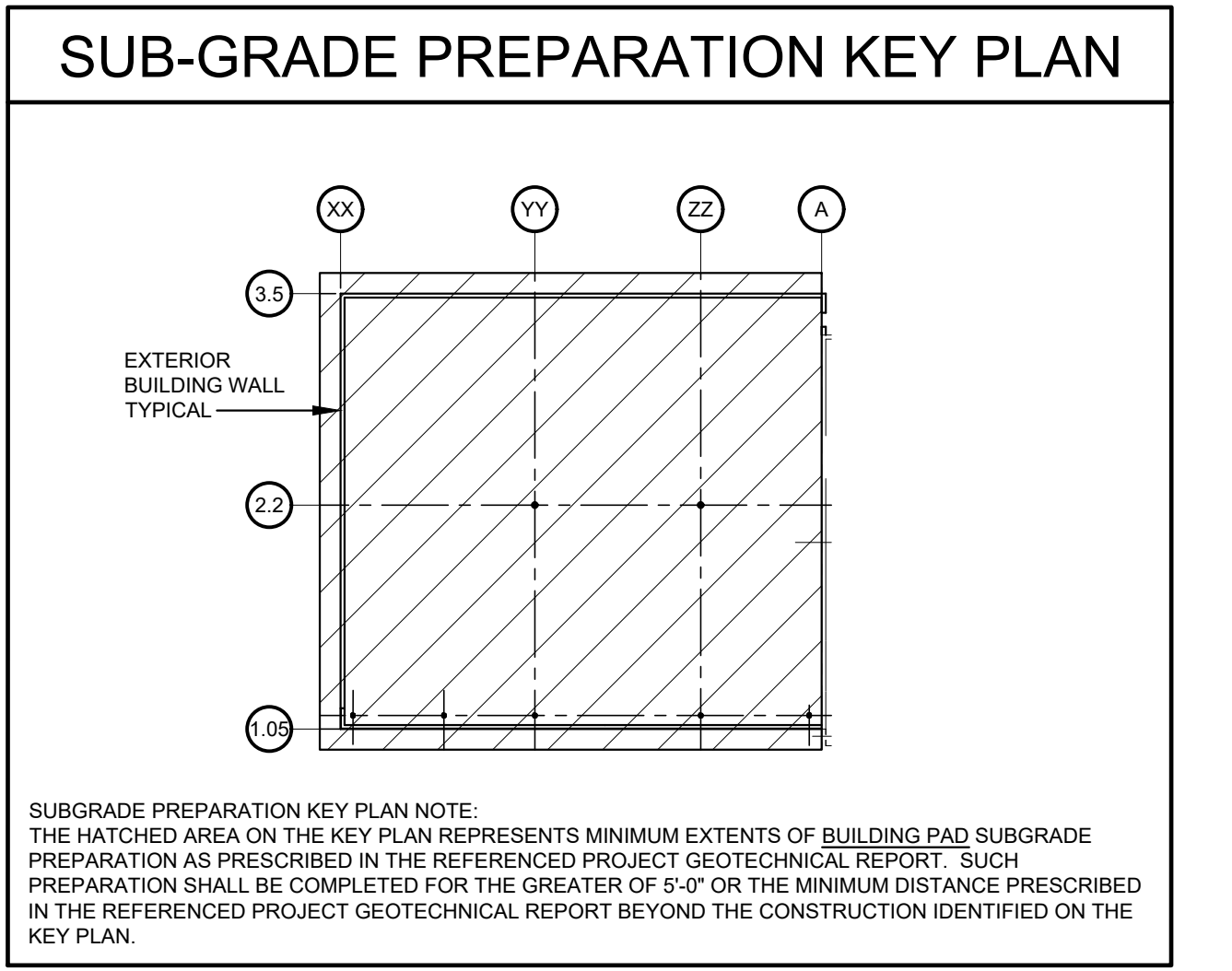
**5 FOUNDATION PLAN**  
SCALE: 3/32" = 1'-0"

| FOUNDATION PLAN NOTES |   |
|-----------------------|---|
| 1.                    | SEE SHEETS S0.1 AND S0.2 FOR GENERAL NOTES AND TYPICAL DETAILS.   |
| 2.                    | ALL ELEVATIONS BASED ON EXISTING FINISH FLOOR ELEVATION = 100'-0" AND NEW FINISH FLOOR ELEVATION = 101'-4" FOR REFERENCE ONLY. SEE SITE PLAN FOR ACTUAL FINISH FLOOR ELEVATIONS.  |
| 3.                    | TOP OF INTERIOR FOOTING (TF) = 100'-8" UNLESS NOTED OTHERWISE ON PLAN. SEE GENERAL STRUCTURAL NOTES FOR TOP OF EXTERIOR FOOTING ELEVATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE ALL TOP OF FOOTING ELEVATIONS WITH THE CIVIL ENGINEERING DRAWINGS AND SITE CONDITIONS. FOOTINGS SHALL BE STEPPED IN ACCORDANCE WITH THE TYPICAL STEPPED FOOTING DETAIL. |
| 4.                    | CENTER ALL FOOTINGS ON COLUMN AND WALL CENTERLINES, UNLESS NOTED OTHERWISE.   |
| 5.                    | CONTINUOUS WALL FOOTING REINFORCING SHALL BE PLACED CONTINUOUS THROUGH ISOLATED COLUMN FOOTINGS.  |
| 6.                    | SEE ARCHITECTURAL PLANS AND DETAILS FOR TYPICAL INTERIOR WALL PARTITION SUPPORTS THAT PENETRATE SLAB.   |

| FOOTING SCHEDULE |                            |                                 |
|------------------|----------------------------|---------------------------------|
| MARK             | SIZE                       | REINFORCING                     |
| W1               | 2'-0" x 1'-0" x CONTINUOUS | (2) #5 CONTINUOUS - BOTTOM      |
| W2               | 3'-0" x 1'-4" x CONTINUOUS | (3) #5 CONTINUOUS - BOTTOM      |
| F1               | 10'-8" x 10'-8" x 2'-0"    | (11) #6 EACH WAY - TOP & BOTTOM |
| F2               | 7'-6" x 7'-6" x 1'-4"      | (8) #5 EACH WAY - TOP & BOTTOM  |
| F3               | 6'-0" x 3'-0" x 1'-0"      | (4) #5 LONG WAY - BOTTOM        |

| SLAB SCHEDULE          |   |   |
|------------------------|---|---|
| LOCATION               | THICKNESS* & REINFORCING  | REMARKS   |
| INTERIOR SLAB ON GRADE | 4" CONCRETE SLAB ON GRADE REINFORCED WITH MINIMUM 1.0 LBS./YARD POLYPROPYLENE FIBRILLATED FIBERS - SEE PROJECT SPECIFICATIONS | VAPOR RETARDER PER SPECIFICATION OVER COMPACTED SUB-GRADE PER PROJECT GEOTECHNICAL REPORT                     |
| SIDEWALK               | 4" CONCRETE SLAB ON GRADE REINFORCED WITH MINIMUM 1.0 LBS./YARD POLYPROPYLENE FIBRILLATED FIBERS - SEE PROJECT SPECIFICATIONS | COMPACTED SUBBASE PER PROJECT GEOTECHNICAL REPORT. SEE ARCHITECTURAL DRAWINGS FOR SLAB JOINTS AND PLAN LAYOUT |
| DUMPS/TER SLAB         | 6" CONCRETE SLAB ON GRADE REINFORCED WITH #4 BARS AT 18" O.C. EACH WAY - CENTER   | COMPACTED SUBBASE PER PROJECT GEOTECHNICAL REPORT   |

\* THICKNESS OF SLABS AS SPECIFIED IN SCHEDULE ARE MINIMUMS. THERE SHALL BE NO TOLERANCE FOR SLABS THINNER THAN THOSE SPECIFIED IN SCHEDULE.



**10 SECTION**  
SCALE: 3/4" = 1'-0"

**ROOMS TO GO** STORE EXPANSION AND REMODEL  
18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

| CONSTR. DOC. & REVISIONS |                      |
|--------------------------|----------------------|
| No.                      | Description          |
| 1                        | CODE RESPONSE        |
| 2                        | ADDENDUM #2          |
| 3                        | POST BID ADDENDUM #5 |

Date: 08/21/23  
07/29/23  
01/29/24

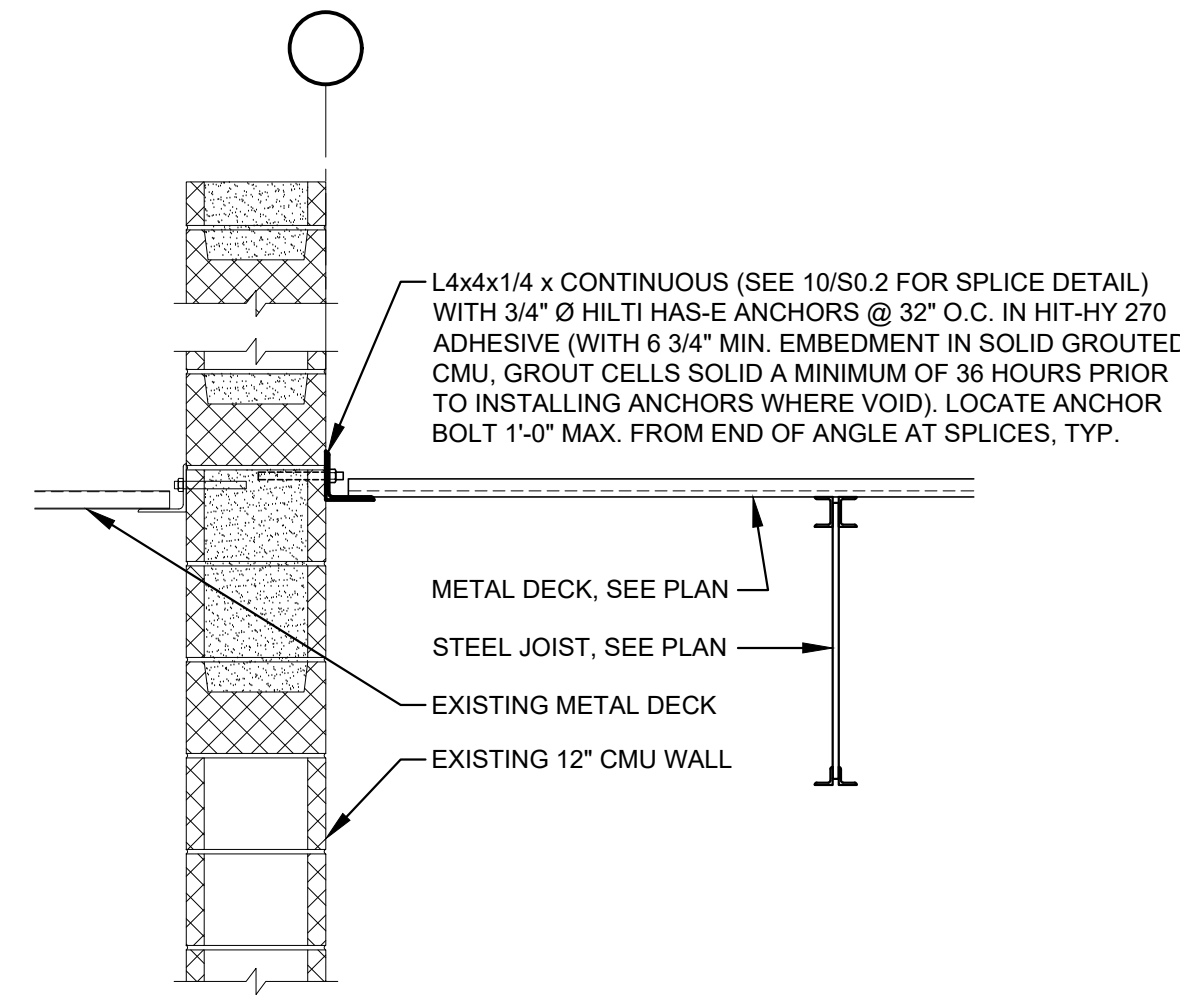
PROFESSIONAL OF RECORD  
MARK A. SPALINGER  
LICENSE NUMBER 65866  
EXPIRATION DATE: 02/28/25

Drawn By/Checked By: MPD/MPD  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

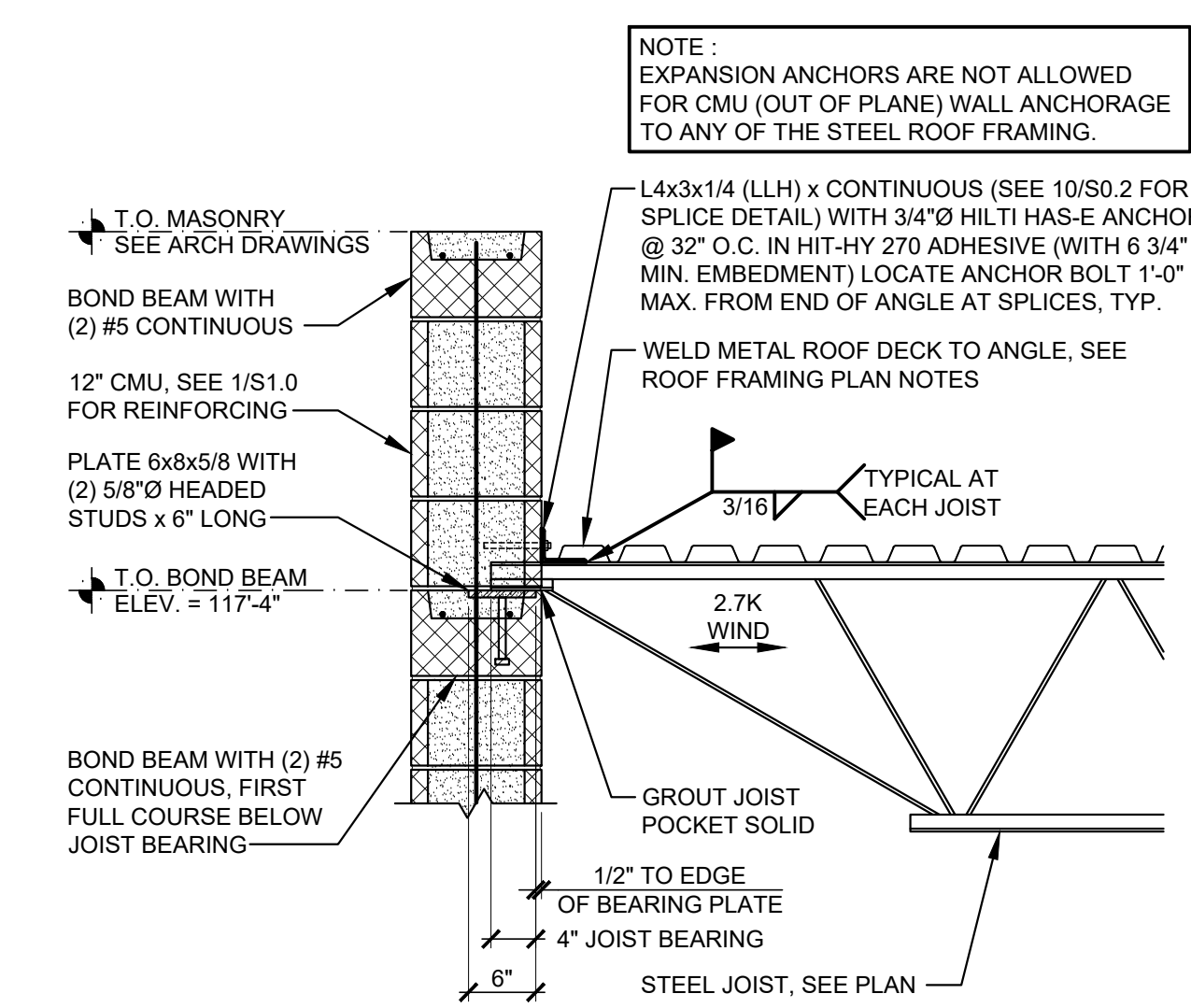
**FOUNDATION PLAN**  
**S1.0**

**CASCO**  
12 Sumner Drive, Suite 100, St. Louis, MO 63143  
T: 314.821.1100

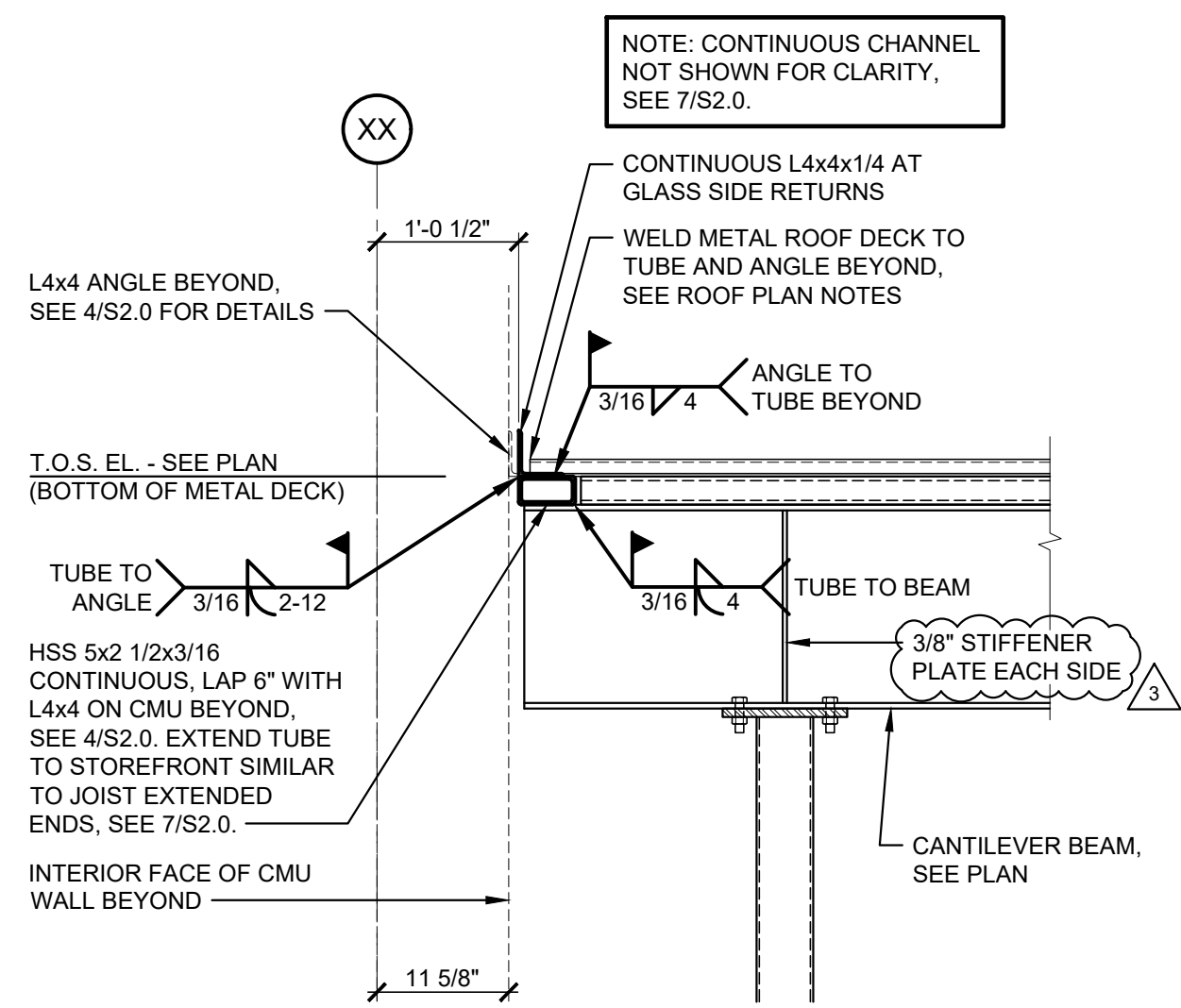




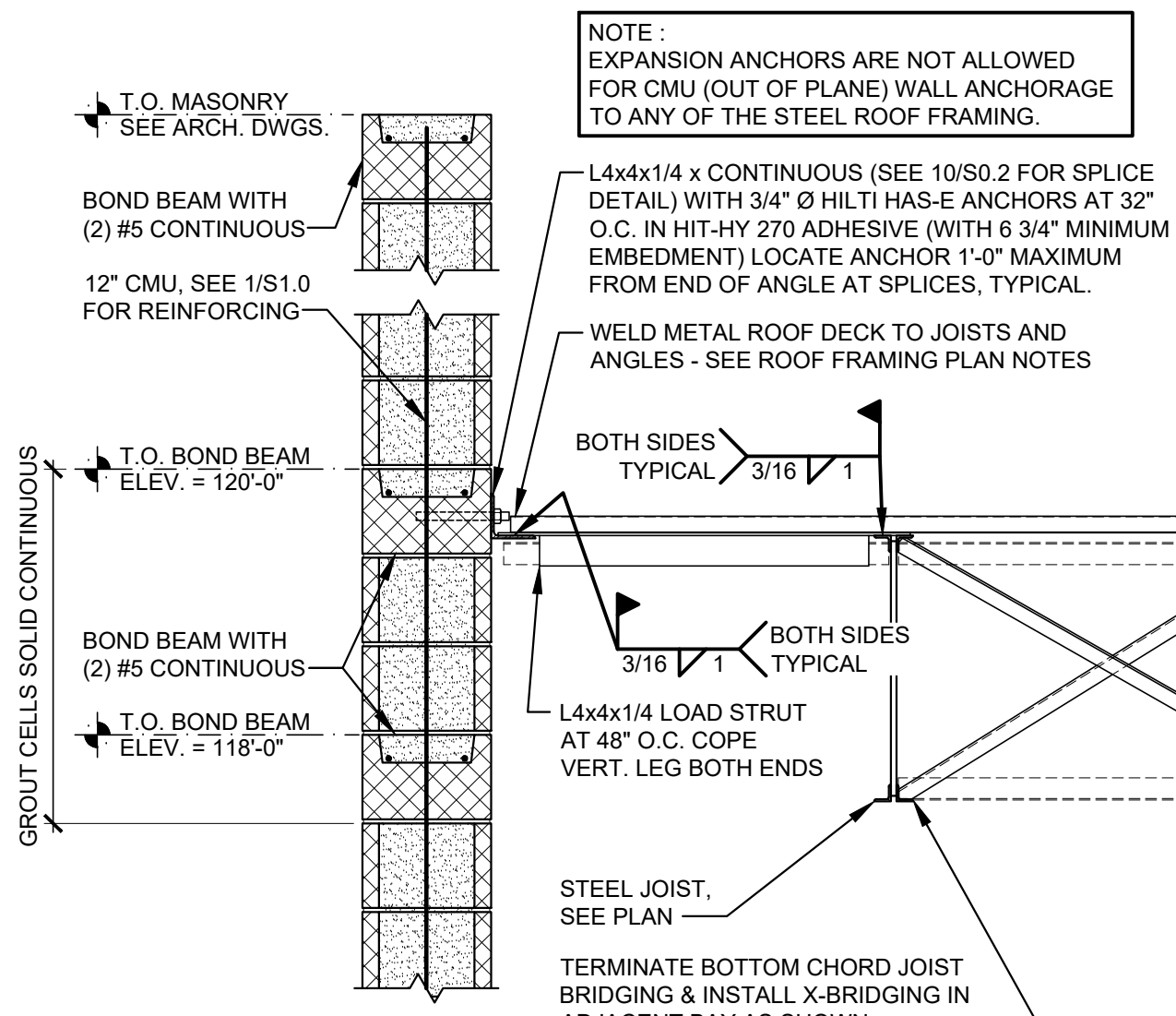
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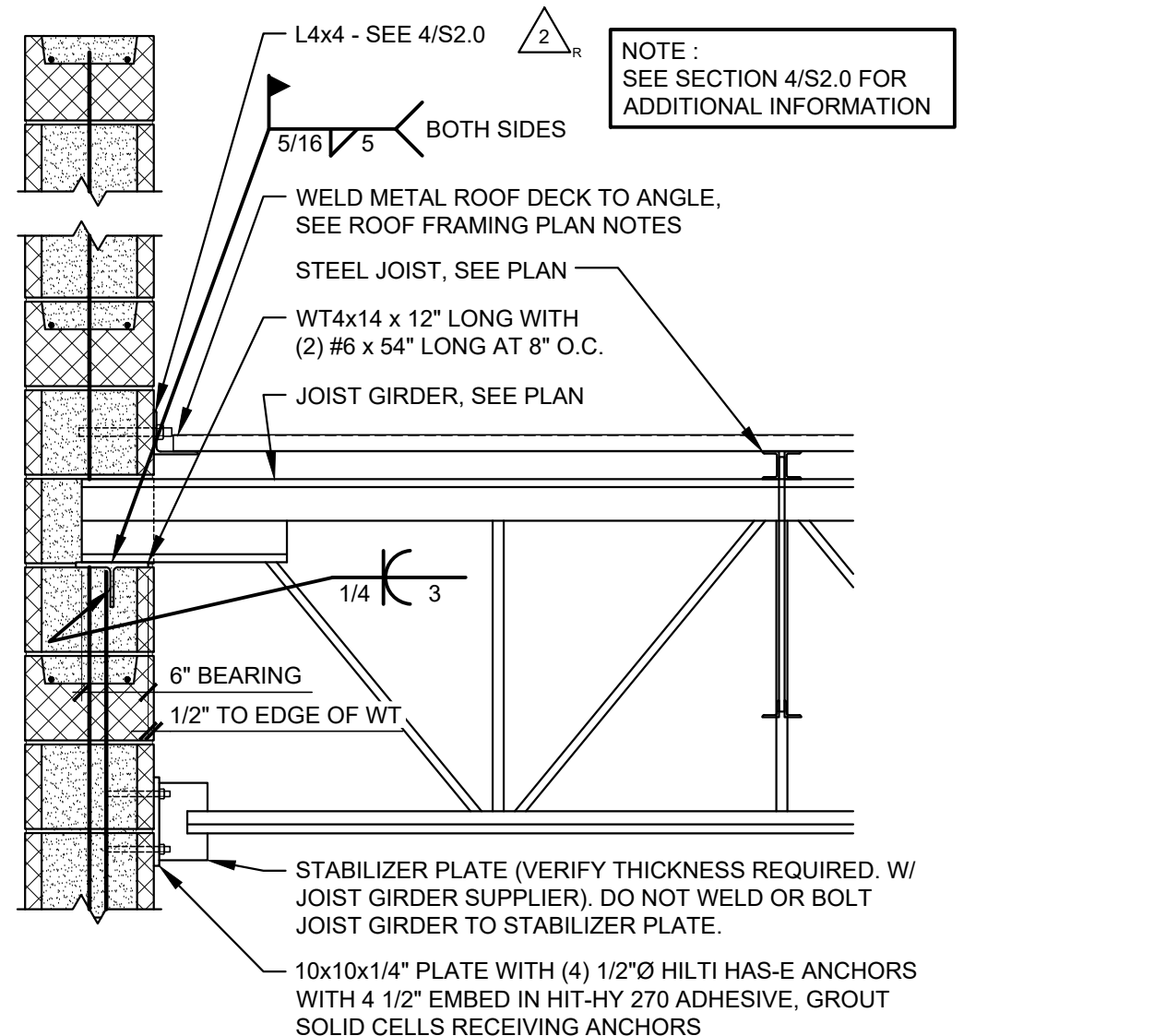
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SCALE: 3/4" = 1'-0"



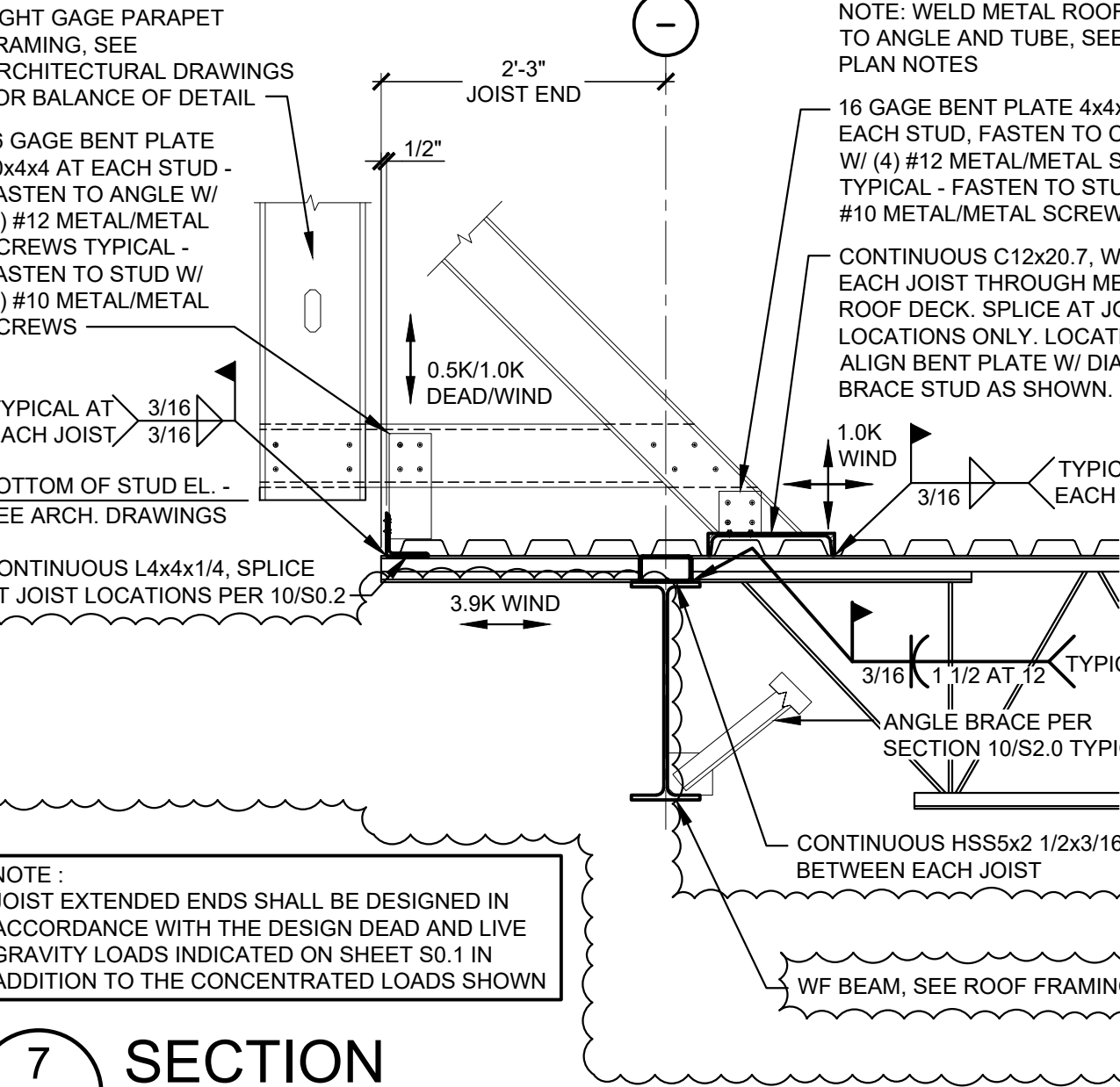
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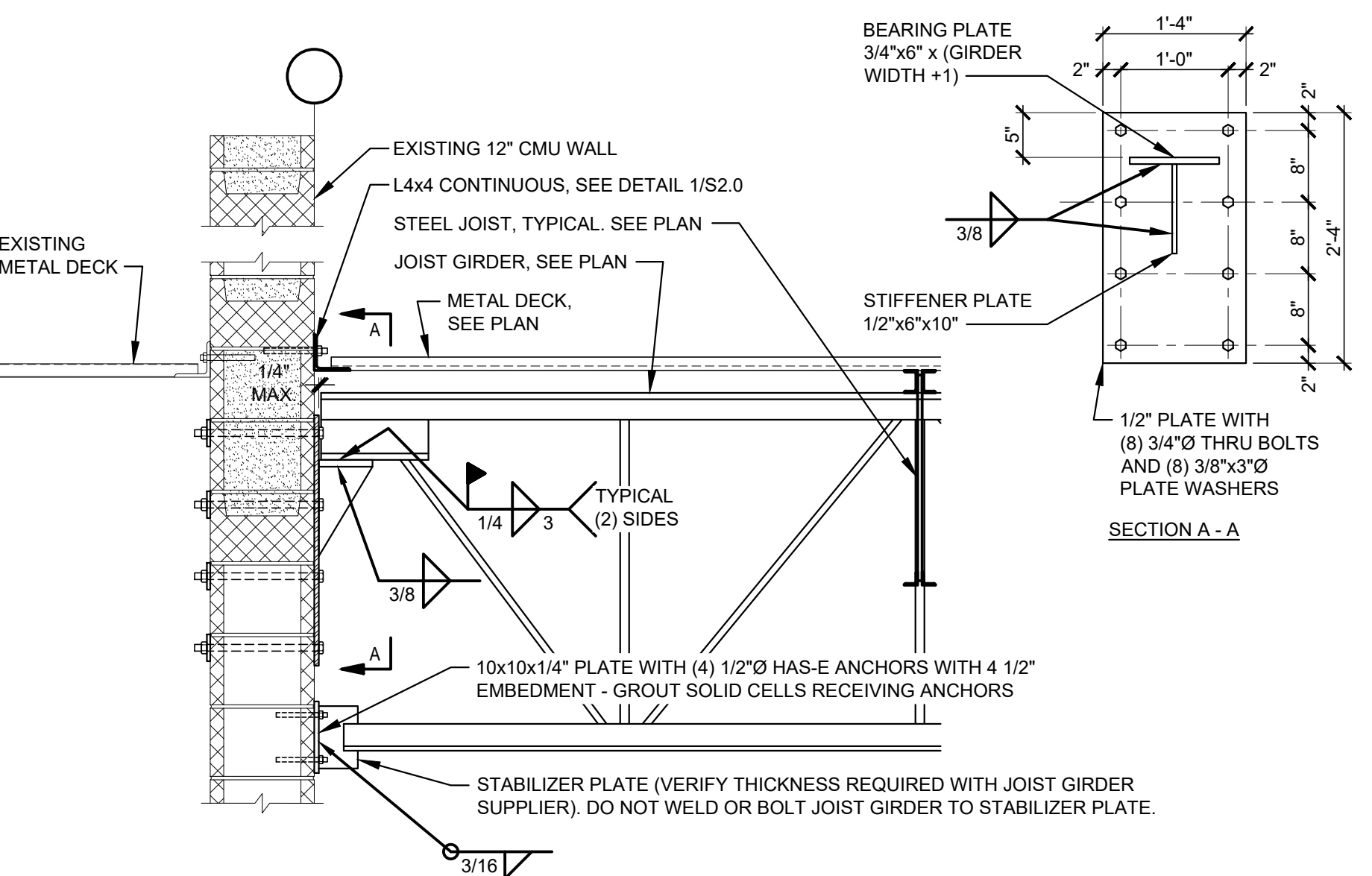
**4 SECTION**  
SCALE: 3/4" = 1'-0"



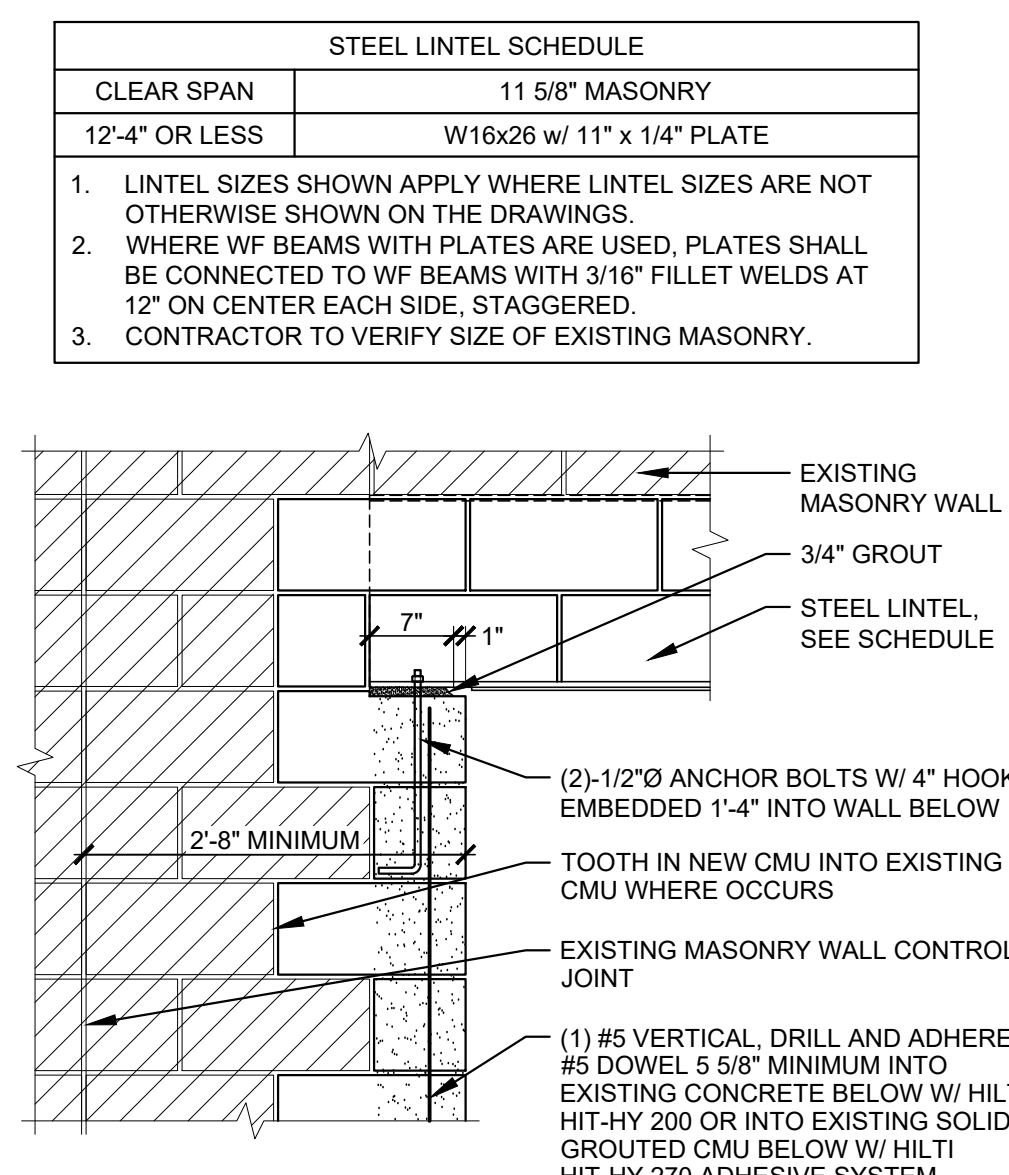
**6 SECTION**  
SCALE: 3/4" = 1'-0"



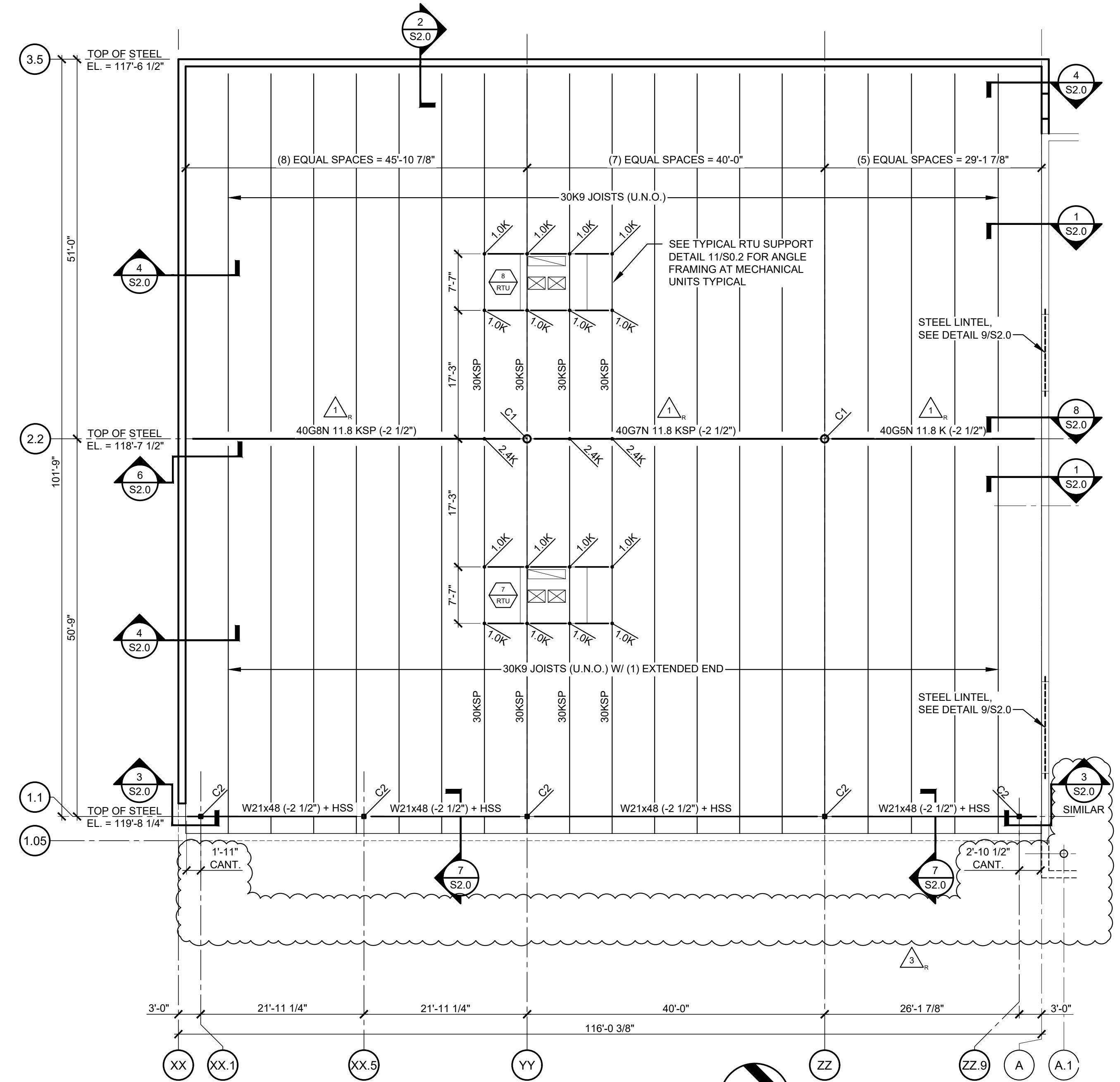
**7 SECTION**  
SCALE: 3/4" = 1'-0"



**8 SECTION**  
SCALE: 3/4" = 1'-0"



**9 DETAIL**  
SCALE: 3/4" = 1'-0"



**5 ROOF FRAMING PLAN**  
SCALE: 3/32" = 1'-0"

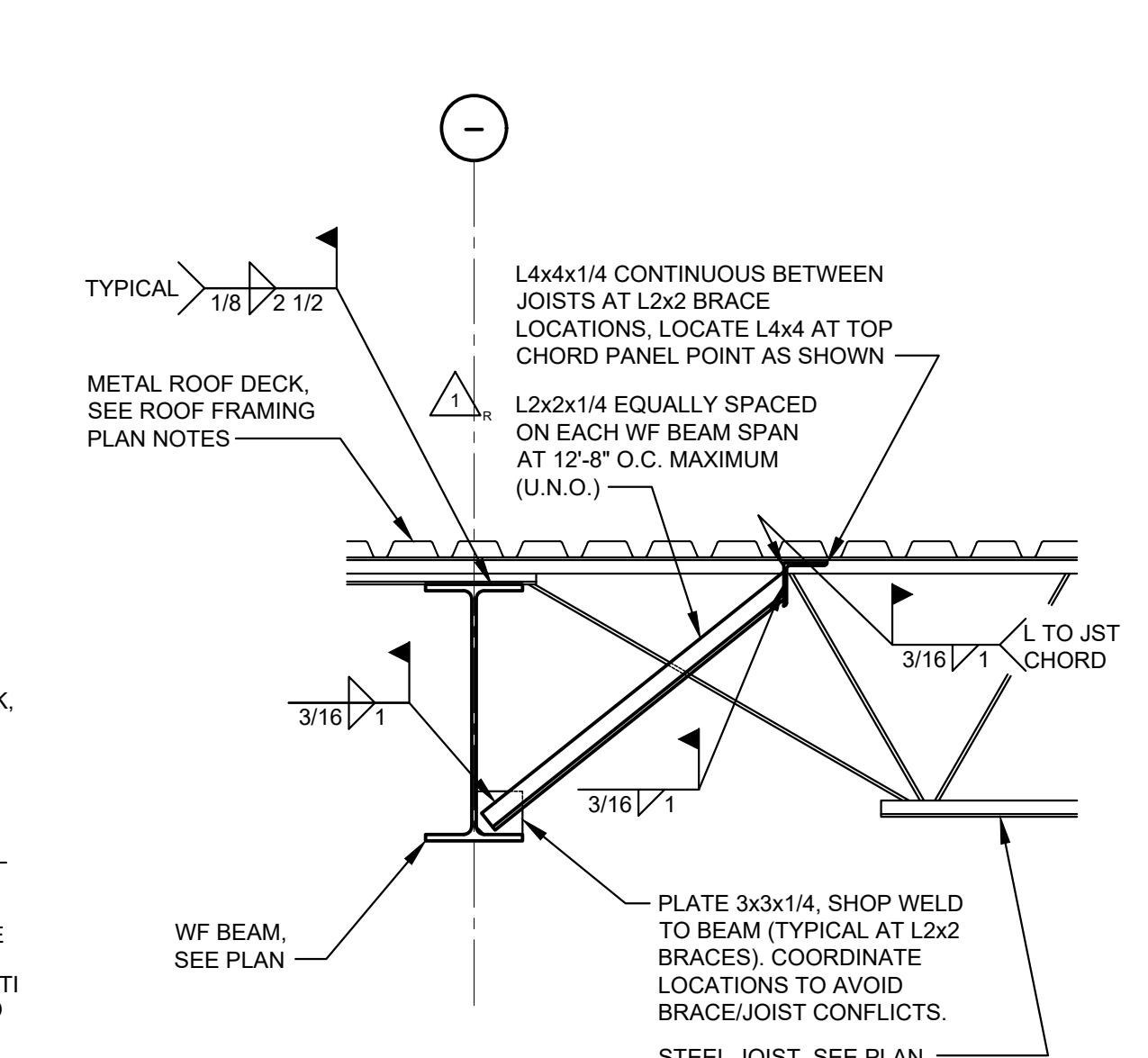
| STEEL LINTEL SCHEDULE |                 |
|-----------------------|-----------------|
| CLEAR SPAN            | 12" CMU         |
| 7'-4" OR LESS         | (2) P58-8" (L2) |

LINTEL NOTES:

- USE "POWERS" STEEL LINTEL MANUFACTURED BY "POWERS STEEL AND WIRE." INSTALL LINTEL PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- LINTELS SHALL BE SHORED DURING CONSTRUCTION UNTIL THE MASONRY HAS ATTAINED SUFFICIENT STRENGTH TO CARRY ITS OWN WEIGHT.
- LINTEL SIZES SHOWN APPLY WHERE LINTEL SIZES ARE NOT OTHERWISE SHOWN ON THE DRAWINGS.
- SEE "TYPICAL LINTEL BEARING" DETAIL ON SHEET S0.2 FOR TYPICAL END BEARING.

| COLUMN SCHEDULE |                                |                  |  |
|-----------------|--------------------------------|------------------|--|
| MARK            | COLUMN                         | BASE PLATE       | ANCHOR RODS                                  |
| C1              | HSS 8.625x0.188 (A500 GRADE B) | 15" x 15" x 1"   | (4) 1" WITH 2" EDGE DISTANCE (16" EMBEDMENT) |
| C2              | HSS 5x5x3/16                   | 11" x 11" x 3/4" | (4) 3/4" (12" EMBEDMENT)                     |

- ### ROOF FRAMING PLAN NOTES
- SEE SHEET S0.1 FOR DESIGN ROOF LOADS AND GENERAL NOTES.
  - TOP OF STEEL (T.O. STEEL) EQUALS TOP OF STEEL JOIST/UNDERSIDE OF METAL DECK. BEAMS AND JOIST GIRDERS REFERENCED ± FROM TOP OF STEEL.
  - METAL ROOF DECK SHALL BE 22 GAGE, 36" WIDE, 1 1/2" DEEP, TYPE "B" WIDE RIB ROOF DECK AND SHALL BE CONNECTED TO FRAMING MEMBERS AS FOLLOWS (SEE SPECIFICATION FOR FINISH):
    - A. TO ALL TRANSVERSE SUPPORTS, 5/8" PUDDLE WELDS, (7) PER SHEET.
    - B. TO ALL SUPPORTS PARALLEL TO FLUTES, 5/8" PUDDLE WELDS AT 6" O.C.
    - C. SIDE SEAMS, #10 BUILDDEX SCREWS, (8) PER SPAN.
  - STEEL JOISTS IDENTIFIED ON PLAN AS "SP" SHALL BE DESIGNED FOR THE TRIBUTARY UNIFORM LOAD AS SHOWN ON THE DRAWINGS IN ADDITION TO THE CONCENTRATED LOADS SHOWN ON PLAN IN ACCORDANCE WITH PARAGRAPH 5.5 OF THE RECOMMENDED CODE OF STANDARD PRACTICE FOR JOISTS AND JOIST GIRDERS. REFER TO THE SECTIONS/DETAILS CUT ON PLAN FOR ADDITIONAL JOIST DESIGN LOADS. JOIST GIRDERS IDENTIFIED ON PLAN AS "SJ" SHALL BE DESIGNED FOR THE LOAD IMPOSED BY ALL TRIBUTARY CONCENTRATED LOADS AND TOP CHORD AXIAL LOADS SHOWN ON PLAN IN ADDITION TO THE INDICATED PANEL POINT LOADS.
  - ALL ITEMS SUCH AS MECHANICAL EQUIPMENT, DUCT WORK, PIPES, CEILINGS, FIXTURES, ETC. THAT ARE TO BE SUPPORTED OR HUNG FROM THE STEEL JOISTS SHALL BE FRAMED WITH AUXILIARY FRAMING TO THE PANEL POINTS OF THE JOIST (SEE TYPICAL JOIST LOAD STRUT DETAIL SHEET S0.2). METHODS OF FRAMING THAT INDUCE BENDING TO THE JOIST CHORD OR WEB MEMBERS WILL NOT BE PERMITTED. COORDINATE BRIDGING LOCATION SO AS NOT TO INTERFERE WITH ANY MECHANICAL EQUIPMENT.
  - STEEL JOIST AND JOIST GIRDER CAMBER SHALL BE PROVIDED IN ACCORDANCE WITH THE SJ SPECIFICATIONS.
  - APPROXIMATE CORNER WEIGHTS OF ROOF TOP EQUIPMENT ARE SHOWN ON PLAN. VERIFY ALL LOADS, LOCATIONS, CURB SIZES AND OPENING SIZES WITH MECHANICAL CONTRACTOR PRIOR TO FABRICATION. SEE TYPICAL RTU SUPPORT DETAIL ON SHEET S1 FOR FRAMING.
  - SEE ARCHITECTURAL PLANS FOR INTERIOR DECORATIVE TRUSS SUPPORTS.



**10 SECTION**  
SCALE: 3/4" = 1'-0"

CONSTR. DOC. & REVISIONS

| No. | Description          | Date     |
|-----|----------------------|----------|
| 1   | CODE RESPONSE        | 08/21/23 |
| 2   | ADDENDUM #2          | 11/29/23 |
| 3   | POST BID ADDENDUM #5 | 01/29/24 |

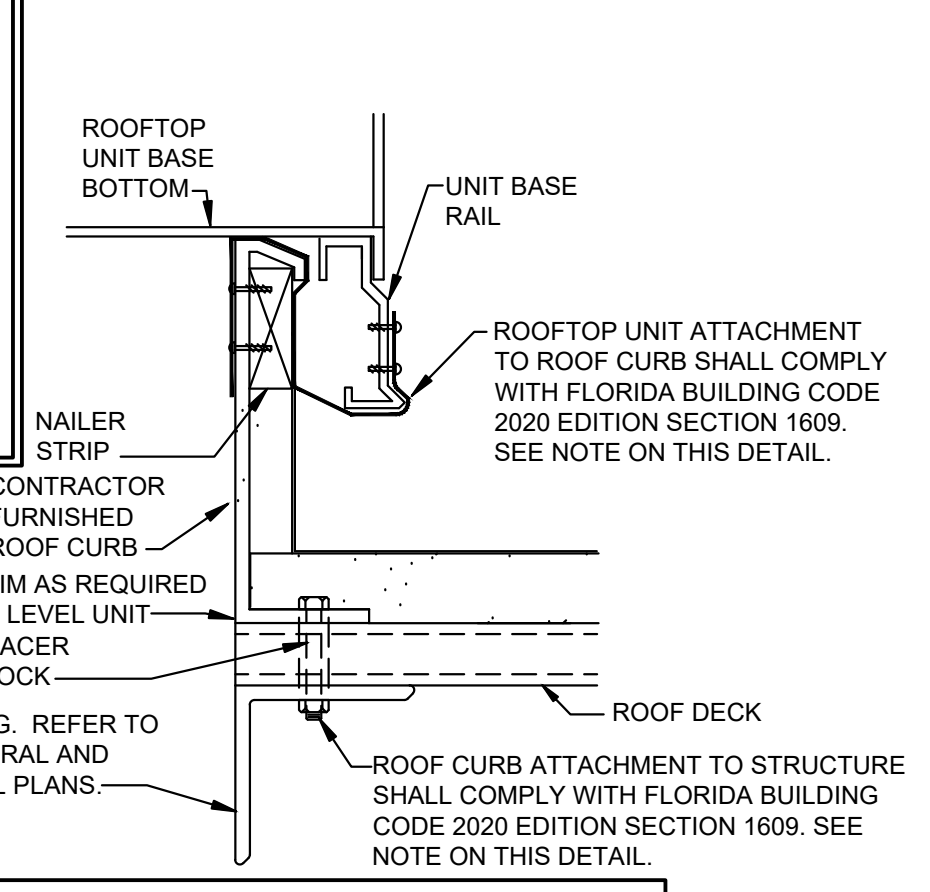
PROFESSIONAL OF RECORD  
MARK A. SPALINGER  
LICENSE NUMBER 65866  
EXPIRATION DATE 02/28/25

Drawn By/Checked By: MPD/MPD  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**ROOF FRAMING PLAN & DETAILS**

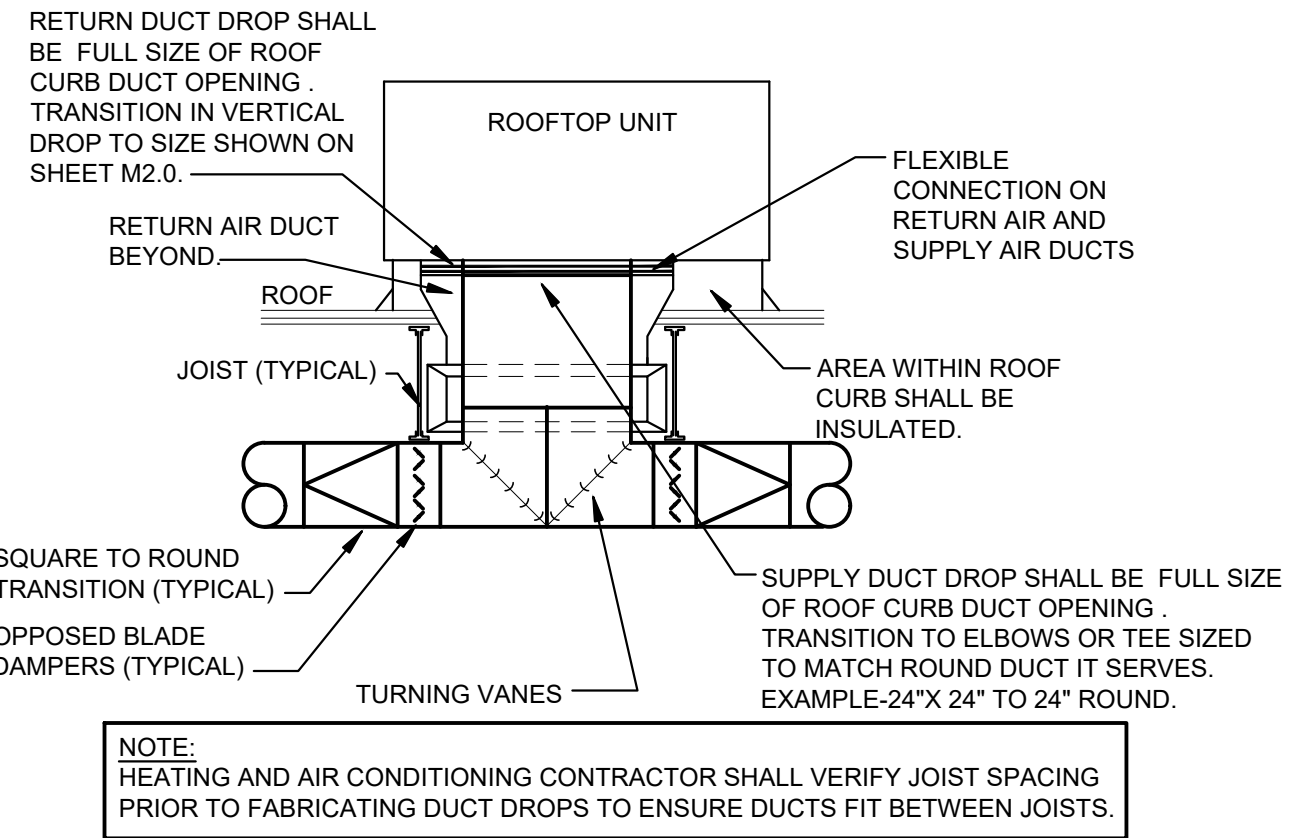


**NOTE TO CONTRACTOR:** PRIOR TO ORDERING THE ROOFTOP MECHANICAL UNITS, THE GENERAL CONTRACTOR SHALL OBTAIN ENGINEERING CALCULATIONS AND CONSTRUCTION DETAILS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA DOCUMENTING COMPLIANCE WITH A MINIMUM DESIGN WIND SPEED OF 140 MPH AS PRESCRIBED BY THE FLORIDA BUILDING CODE 2020 EDITION FOR THE UNIT TO CURB ANCHORAGE, THE UNIT CURB, AND THE UNIT CURB TO SUPPORTING STRUCTURE ANCHORAGE. THE GENERAL CONTRACTOR SHALL SUBMIT THE CALCULATIONS AND DETAILS TO THE AUTHORITY HAVING JURISDICTION AND THE ENGINEER OF RECORD IDENTIFIED ON THESE CONSTRUCTION DOCUMENTS PRIOR TO INSTALLING THE UNIT CURBS.



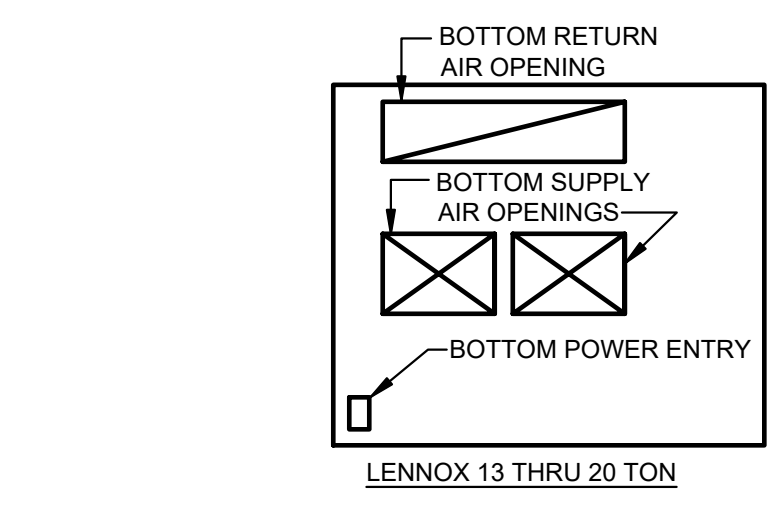
**NOTES:**  
1. REFER TO STRUCTURAL DRAWING S0.2, TYPICAL RTU SUPPORT DETAIL FOR ADDITIONAL INFORMATION.  
2. ROOFTOP UNIT STRAP MUST BE ATTACHED TO ROOF CURB PRIOR TO INSTALLATION OF ROOFTOP UNIT.

**1 RTU UNIT AND CURB ANCHORING DETAIL**  
SCALE: NOT TO SCALE



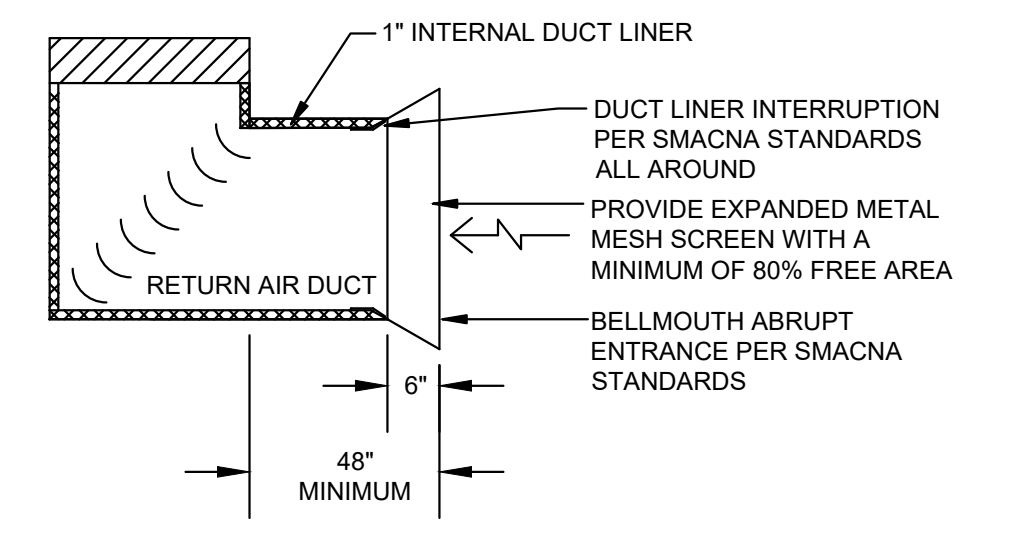
**NOTE:** HEATING AND AIR CONDITIONING CONTRACTOR SHALL VERIFY JOIST SPACING PRIOR TO FABRICATING DUCT DROPS TO ENSURE DUCTS FIT BETWEEN JOISTS

**6 RTU SECTION DETAIL**  
SCALE: NOT TO SCALE

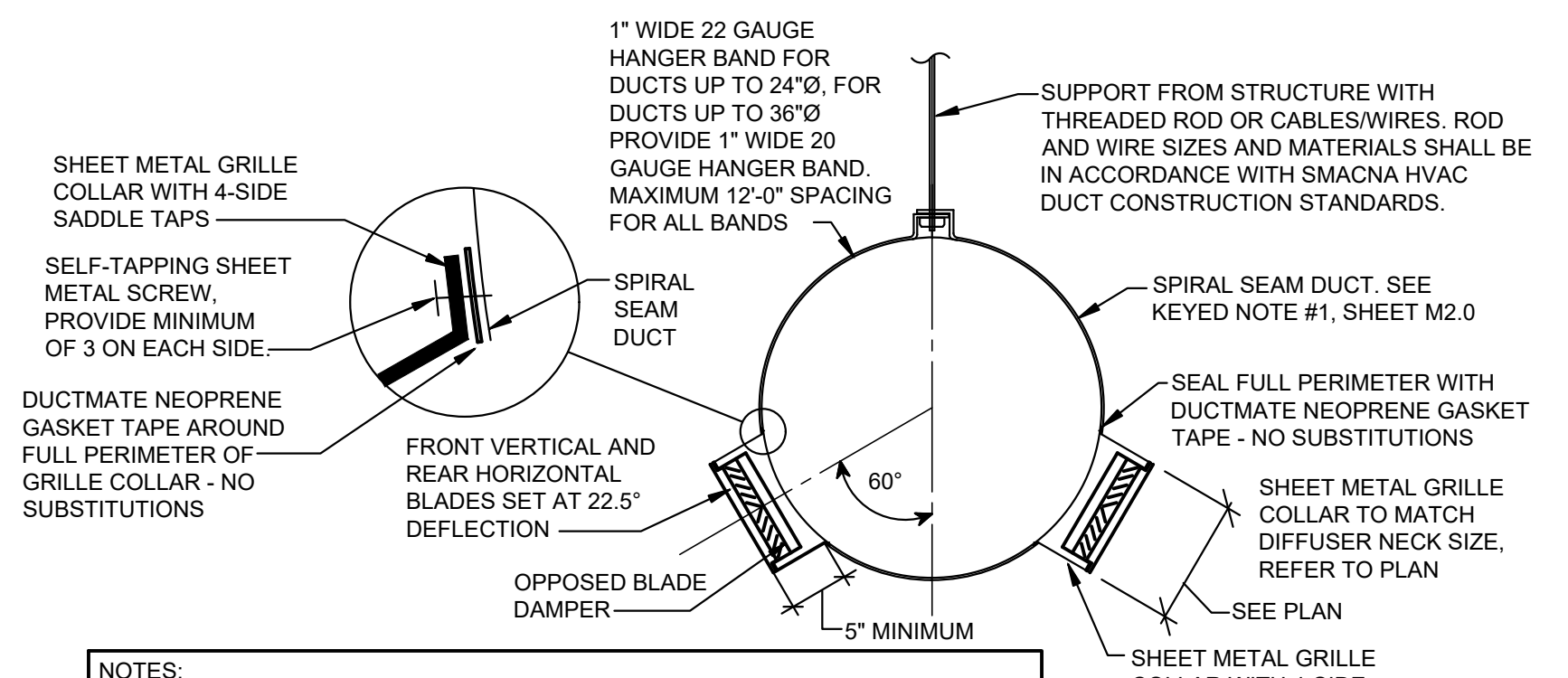


**NOTE:** CONTRACTOR SHALL USE UNIT'S BOTTOM POWER ENTRY FOR POWER CONNECTION TO UNIT. FIELD PENETRATIONS THRU THE BASE OF THE UNIT ARE NOT ALLOWED.

**2 RTU OPENINGS DETAIL**  
SCALE: NOT TO SCALE

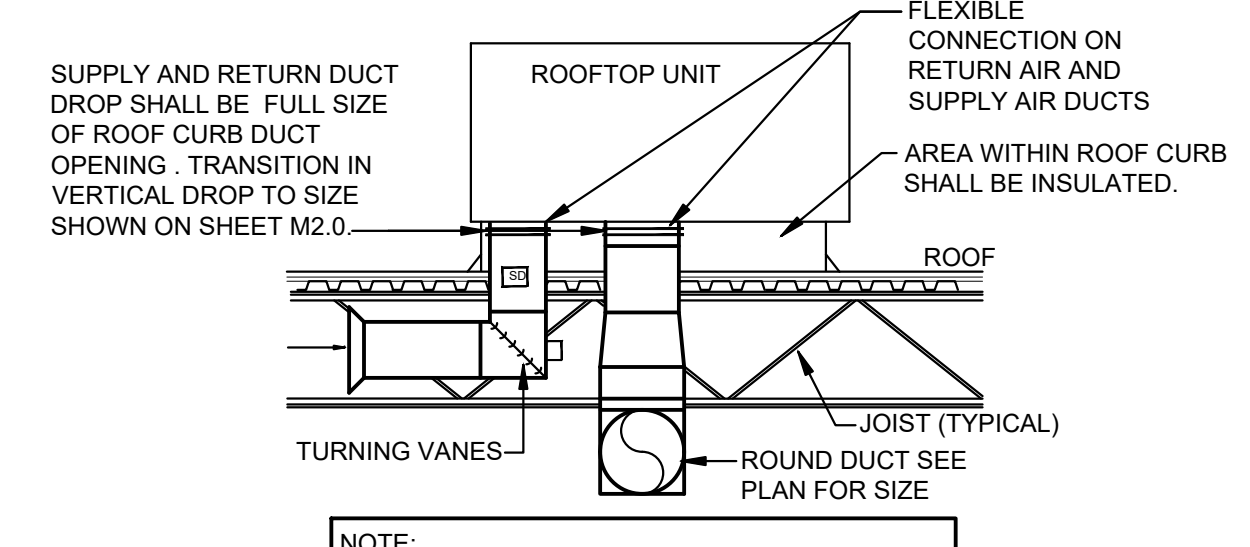


**3 SALES AREA RETURN AIR OPENING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**  
1. MATERIALS AND INSTALLATION SHALL BE PER SMACNA STANDARDS  
2. CONNECTION SHALL BE MADE AIRTIGHT PER SMACNA SEAL CLASS C  
3. DUCT TO DUCT CONNECTIONS SHALL BE MADE WITH GASKETED DUCT COUPLING USED FOR JOINING SPIRAL DUCT - VISIBLE RIB AT JOINT TO BE NO GREATER THAN 5/8\"/>

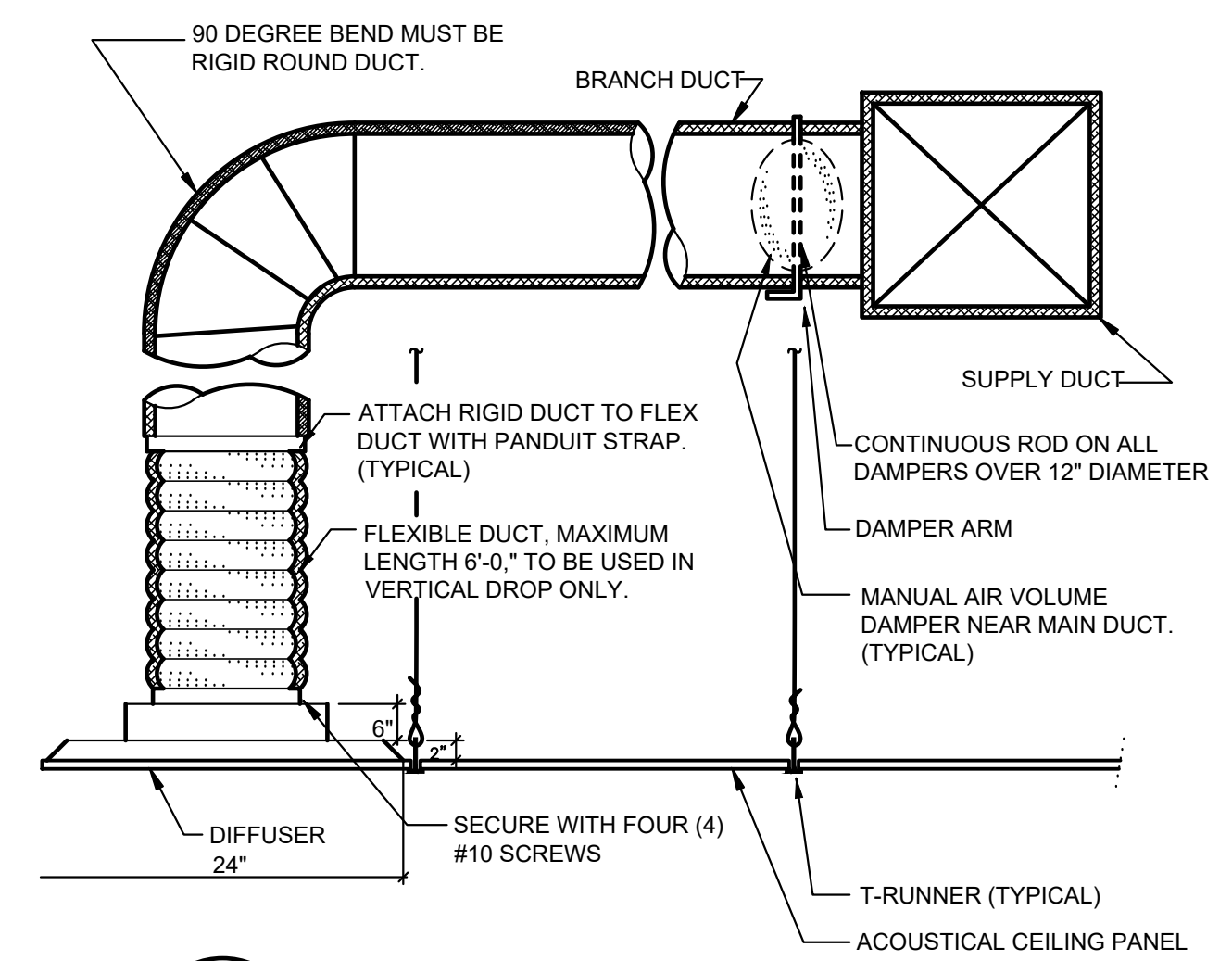
**4 TYPICAL SALES AREA SUPPLY DUCT/DIFFUSER SECTION DETAIL**  
SCALE: NOT TO SCALE



**NOTE:** LINE THE SUPPLY PLENUMS FROM THE SUPPLY AIR CURB OPENING TO THE ROUND-TO-SQUARE FITTING. LINE ALL RETURN AIR DUCTWORK

**5 RTU SECTION DETAIL**  
SCALE: NOT TO SCALE

**NOTE:** ALL WORK SHALL COMPLY WITH DRAWINGS AND SPECIFICATIONS. THIS IS A PROTOTYPICAL DESIGN. ANY FIELD CHANGES REQUIRE OWNER OR ARCHITECT APPROVAL.



**7 CEILING DIFFUSER DETAIL**  
SCALE: NOT TO SCALE

**DEMOLITION GENERAL NOTES**

- ALL DEMOLITION WORK SHALL BE EXECUTED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS AND REGULATIONS.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND FACILITY TO VERIFY ALL EXISTING CONDITIONS, AND VERIFY THE SCOPE OF WORK INDICATED BY ALL CONTRACT DOCUMENTS. FAILURE TO DETERMINE AND/OR ANTICIPATE THE IMPACT OF THE SCOPE OF WORK ON EXISTING CONDITIONS SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. ANY DISCREPANCIES DISCOVERED IN THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OFFICE OF THE ARCHITECT.
- UNLESS NOTED OTHERWISE OR INSTRUCTED BY THE PROJECT CONSTRUCTION MANAGER, ALL DEMOLISHED MATERIAL AND EQUIPMENT IS TO BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN A SAFE AND LEGAL MANNER. NO ON SITE SALE OR STORAGE OF MATERIAL IS ALLOWED.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED, RECONDITIONED, AND PLACED INTO PROPER OPERATION, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS TO REMAIN IN SERVICE, AND TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, TYPING, ETC.
- CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS AND ROOFS WHERE AND/OR PLUMBING AND/OR MECHANICAL COMPONENTS ARE REMOVED AND WHERE THE EXISTING PENETRATION IS NOT USED FOR THE NEW INSTALLATION. CONTRACTOR SHALL REPAIR SURFACES TO MATCH ADJACENT AREAS.
- CONTRACTOR SHALL INSTALL PERMANENT CAPS WHERE DUCTWORK AND PIPING IS REMOVED AND THE EXISTING TAPS ARE NOT USED FOR THE NEW INSTALLATION. CONTRACTOR SHALL INSTALL TEMPORARY CAPS WHERE DUCTWORK AND PIPING IS REMOVED AND THE EXISTING TAPS WILL BE USED FOR THE NEW INSTALLATION TO PROTECT THE INTERIOR SURFACES UNTIL NEW DUCTWORK AND PIPING IS INSTALLED.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING CONSTRUCTION DURING THE DEMOLITION AND CONSTRUCTION PROCESS TO PREVENT DAMAGE TO EXISTING FINISHES OR MATERIALS TO REMAIN FOR NEW INSTALLATION. REPAIR DAMAGE CAUSED DURING WORK AT NO EXTRA COST TO THE OWNER.
- THIS DRAWING IS FOR GENERAL REFERENCE AND ORIENTATION. ALL EXISTING EQUIPMENT, DUCTWORK, ETC. SHOWN WERE ORIENTED PER ORIGINAL CONSTRUCTION DOCUMENTS, AND FIELD OBSERVATION WHEN POSSIBLE. ACTUAL LOCATIONS, SIZES, QUANTITY, AND CONFIGURATIONS MAY VARY FROM THAT SHOWN. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS. ALL WORK PERFORMED SHALL MEET ALL REQUIREMENTS OF THE SPECIFICATIONS AND SHALL BE AS INDICATED ON ALL CONSTRUCTION DOCUMENTS.
- SEE ELECTRICAL, PLUMBING, MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON REMOVAL, REUSE, & RELOCATION OF EXISTING EQUIPMENT, PIPING, CONDUIT, DUCTWORK, ETC.
- CONTRACTOR TO MAKE NECESSARY PROVISIONS THAT THE BUILDING IS LEFT IN A SECURE MANNER AT ALL TIMES.

**GENERAL NOTES:**  
ALL WORK SHALL COMPLY WITH DRAWINGS AND SPECIFICATIONS. THIS IS A PROTOTYPICAL DESIGN. ANY FIELD CHANGES REQUIRE OWNER OR ARCHITECT APPROVAL.  
ALL CONDENSATE PIPING SHALL BE PAINTED LIGHT GRAY. EXISTING PIPING SHALL BE PAINTED ANOOR TOUCHED UP TO "LIKE NEW" CONDITION.  
ADJUST DIFFUSER VANES SO AIRSTREAM DOES NOT DIRECTLY STRIKE REMOTE SENSOR - TYPICAL ALL.  
UNIT DROPS SHALL BE LABELED WITH THEIR CORRESPONDING ROOFTOP UNIT NUMBER AT A UNIFORM SIZE AND LOCATION TO BE VISIBLE FROM THE CONDITIONED SPACE BELOW. SEE CONSTRUCTION MANAGER FOR MORE INFORMATION.  
DUCTWORK SIZES / DIMENSIONS ARE GIVEN TO INDICATE CLEAR SPACE INSIDE THE DUCT. DUCTWORK LOCATED ABOVE A CEILING SHALL HAVE A MINIMUM 1" INSULATION. SEE DETAILS ON SHEET M1.0 AND SPECIFICATIONS FOR OTHER INSULATION REQUIREMENTS.  
PROVIDE STANDARD SLOTTED UNISTRUT SUPPORT (P1000T), BUILDING DRAIN BY PLUMBING CONTRACTOR WITHIN 5'-0" OF BUILDING.  
THE PLUMBING SUBCONTRACTOR'S SCOPE OF WORK INCLUDES ALL WORK WITHIN BUILDING UNLESS OTHERWISE NOTED.

| MECHANICAL AND PLUMBING SYMBOLS AND ABBREVIATIONS LEGEND |  |  |  |
|--|--|--|--|
| AFF  | ABOVE FINISHED FLOOR   |  | GATE VALVE OR SHUT-OFF VALVE             |
| BFF  | BELOW FINISHED FLOOR   |  | CHECK VALVE                              |
| BTUH   | BRITISH THERMAL UNITS  |  | GLOBE VALVE                              |
| CD   | CONDENSATE   |  | PRESSURE REDUCING/REGULATING VALVE (PRV) |
| CFM  | CUBIC FEET PER HOUR  |  | GAS COCK                                 |
| CFM  | CUBIC FEET PER MINUTE  |  | ELECTRICAL CONTRACTOR                    |
| CO   | CLEAN OUT  |  | ELECTRIC WATER COOLER                    |
| CW   | COLD WATER   |  | FLOOR DRAIN WITH P-TRAP                  |
| DCV  | DEMAND CONTROL VENTILATION   |  | FLOOR CLEANOUT (FCO)                     |
| DB   | DRY BULB   |  | WALL CLEANOUT (WCO)                      |
| DI   | DIAMETER   |  | WALL HYDRANT/THOSE BIBB                  |
| DIAM   | DIAMETER   |  | UNION                                    |
| DIAM   | DIAMETER   |  | PIPE RISE                                |
| ELC  | ELECTRICAL CONTRACTOR  |  | PIPE DROP                                |
| EWC  | ELECTRIC WATER COOLER  |  | SPRINKLER RISER                          |
| FD   | FLOOR DRAIN  |  | WATER METER                              |
| FCO  | FLOOR CLEANOUT (FCO)   |  | POINT OF CONNECTION/ELEVATION INVERT     |
| FP   | FIRE PROTECTION  |  | COLD WATER PIPING                        |
| GFCI   | GROUND FAULT CURRENT INTERRUPTER                                     |  | HOT WATER PIPING                         |
| GPH  | GALLONS PER HOUR   |  | PRIMARY RAINWATER LEADER                 |
| GPM  | GALLONS PER MINUTE   |  | OVERFLOW RAINWATER LEADER                |
| HAC  | HEATING AND AIR CONDITIONING CONTRACTOR                              |  | SANITARY                                 |
| HACR   | HEATING, AIR CONDITIONING AND REFRIGERATION                          |  | SOIL/SEWER/WASTE PIPING                  |
| HB   | HOSE BIBB  |  | VENT PIPING                              |
| HVAC   | HEATING, VENTILATING & AIR CONDITIONING                              |  | CONDENSATE PIPING ABOVE ROOF             |
| HW   | HOT WATER  |  | CONDENSATE PIPING UNDER ROOF             |
| HWH  | HOT WATER HEATER   |  | GAS PIPING ABOVE ROOF                    |
| LAV  | LAVATORY   |  | BELOW GRADE STORM PIPING                 |
| MAX  | MAXIMUM  |  | REVISIONS                                |
| MBH  | 1000 BRITISH THERMAL UNITS PER HOUR                                  |  | VOLUME DAMPER                            |
| MCA  | MAXIMUM CIRCUIT AMPERES  |  | HVAC KEYED NOTE                          |
| MIN  | MINIMUM  |  | PLUMBING KEYED NOTE                      |
| MOCPP  | MAXIMUM OVERCURRENT CIRCUIT PROTECTION                               |  |  |
| NTS  | NOT TO SCALE   |  |  |
| OD   | OVERFLOW DRAIN   |  |  |
| PBC  | PLUMBING CONTRACTOR  |  |  |
| PPM  | PARTS PER MILLION  |  |  |
| PSI  | POUNDS PER SQUARE INCH   |  |  |
| PSIG   | POUNDS PER SQUARE INCH GAUGE   |  |  |
| RD   | ROOF DRAIN   |  |  |
| RF   | ROOF FAUCET  |  |  |
| RPM  | REVOLUTIONS PER MINUTE   |  |  |
| RTU  | ROOFTOP UNIT   |  |  |
| R/A  | RAINWATER LEADER   |  |  |
| S/P  | SUPPLY AIR   |  |  |
| SAN  | SANITARY   |  |  |
| SF   | SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION   |  |  |
| SMACNA   | SMACNA   |  |  |
| TP   | TRAP PRIMER  |  |  |
| TYR  | TYPICAL  |  |  |
| UR   | URNAL  |  |  |
| VTR  | VENT THRU ROOF   |  |  |
| WB   | WET BULB   |  |  |
| WC   | WATER CLOSET   |  |  |
| WCO  | WALL CLEANOUT  |  |  |
| WH   | WALL HYDRANT   |  |  |
| YCO  | YARD CLEANOUT  |  |  |
| Ø  | DEGREES FAHRENHEIT DIAMETER  |  |  |
|  | FIXTURE OR EQUIPMENT   |  |  |
|  | MARK (DESIGNATION FOR SPECIFICATION OR MARK FOR SCHEDULE ON DRAWING) |  |  |
|  | AIR DEVICE TAG (S=SUPPLY, R=RETURN, E=EXHAUST), NECK SIZE & GPM      |  |  |
|  | DUCT SMOKE DETECTOR  |  |  |
|  | CO2 DETECTOR   |  |  |

**CODE OF MIAMI-DADE COUNTY, FLORIDA CHAPTER 8 SEC. 8-10. PERMITS**

**HVAC DESIGN REQUIREMENTS**

| HVAC DESIGN REQUIRES                    | YES | NO |
|---|-----|----|
| DUCT SMOKE DETECTOR                     | X   |    |
| FIRE DAMPER (S)                         |     | X  |
| SMOKE DAMPER (S)                        |     | X  |
| FIRE RATED ENCLOSURE                    |     | X  |
| FIRE RATED ROOF/ FLOOR CEILING ASSEMBLY |     | X  |
| FIRE STOPPING                           |     | X  |
| SMOKE CONTROL                           |     | X  |

**RTG Cutler Bay, FL Adult Sales Expansion - Ventilation per 2020 FL MC Table 403.3.1.1**

| Room  | Use          | Area (sf) | Calc. PPL | Total People | Area CFM | PPL Factor | MIN. O.A.     | MAX. O.A.     |
|-------|--------------|-----------|-----------|--------------|----------|------------|---------------|---------------|
| Sales | Retail/Sales | 11765     | 176.475   | 177          | 1411.8   | 1327.5     | 1411.8        | 2739.3        |
|       |              |           |           | <b>Total</b> |          |            | <b>1411.8</b> | <b>2739.3</b> |

**DEMAND CONTROL VENTILATION (DCV) SYSTEM SEQUENCE OF OPERATION, SPECIFICATIONS AND COMMISSIONING**

OUTSIDE AIR DAMPER CONTROL:  
THE OUTSIDE AIR DAMPER SHALL BE OPENED TO ALLOW THE MINIMUM OUTSIDE AIR QUANTITY SCHEDULED BELOW. IF THE CO2 LEVEL READING INSIDE THE BUILDING RISES ABOVE THE MINIMUM SETPOINT, THEN THE OUTSIDE AIR DAMPER SHALL MODULATE OPEN AS REQUIRED TO BRING THE CO2 BACK TO BELOW MINIMUM SETPOINT. THE CO2 CONTROL ROUTINE SHALL NOT ALLOW THE OUTSIDE AIR DAMPER TO OPEN BEYOND THE MAXIMUM OUTSIDE AIR QUANTITY SPECIFIED IN THE SCHEDULE BELOW. THE LOCAL AMBIENT CO2 LEVELS SHOULD BE TAKEN ON THE ROOF OF THE BUILDING NEAR RTU OUTSIDE AIR INTAKE. THIS READING IS THE MINIMUM CO2 SETPOINT.

\*\*\*THE OUTSIDE AIR DAMPER SHALL NOT ALLOW OUTSIDE AIR QUANTITY IN EXCESS OF THE MAXIMUM OUTSIDE AIR CFM SCHEDULED BELOW.

CO2 SENSOR SHALL BE COMPATIBLE WITH RTU CONTROLS AND MEET THE FOLLOWING SPECIFICATIONS:  
RANGE: 1-2,000 PPM  
ACCURACY: +/- 50 PPM  
STABILITY: +/- 5% FULL SCALE FOR 5 YEARS  
LINEARITY: +/- 2% FULL SCALE  
MANUFACTURER RECOMMENDED MINIMUM CALIBRATION FREQUENCY: 5 YEARS

COMMISSIONING:  
-PERFORM A CALIBRATION CHECK BY RECORDING READINGS ON ALL SENSORS EARLY IN THE MORNING. ALL SENSORS SHOULD READ WITHIN 50-70 PPM OR SHOULD BE CALIBRATED.  
-FUNCTIONALLY TEST ALL DCV RELATED SEQUENCES, INCLUDING THE WORST CASE SCENARIO OF MINIMUM FLOW, AND THEN VERIFY PROPER BUILDING PRESSURIZATION IS STILL MAINTAINED.  
-ENSURE THAT THE OWNER'S MAINTENANCE STAFF IS AWARE OF HOW TO CALIBRATE THE SENSORS.

| SPACE CO2 READING                         | OUTDOOR AIRFLOW SETPOINT          | RTU-5 | RTU-6 | RTU-7 | RTU-8 |
|---|-----------------------------------|-------|-------|-------|-------|
| AMBIENT OUTDOOR CO2                       | MINIMUM OUTSIDE AIR CFM (DCV MIN) | 365   | 450   | 810   | 605   |
| EQUAL OR GREATER THAN AMBIENT OUTDOOR CO2 | MAXIMUM OUTSIDE AIR CFM (DCV MAX) | 710   | 930   | 1565  | 1175  |

**MECHANICAL SYSTEMS COMMISSIONING AND COMPLETION REQUIREMENTS**

WHERE AUTHORITY HAVING JURISDICTION REQUIRES MECHANICAL SYSTEMS & SERVICE WATER-HEATING SYSTEMS COMMISSIONING, CONTRACTOR SHALL COORDINATE THE HIRING OF A REGISTERED DESIGN PROFESSIONAL, OR APPROVED AGENCY (FURTHER REFERRED TO AS "CxA"), WITH TENANT/OWNER'S REPRESENTATIVE. ALL COMMISSIONING COORDINATION IS TO BE DONE PRIOR TO START OF CONSTRUCTION.

PRIOR TO FINAL MECHANICAL AND PLUMBING INSPECTIONS, THE CxA IS TO PROVIDE EVIDENCE OF MECHANICAL SYSTEMS COMMISSIONING AND COMPLETION IN ACCORDANCE TO THE APPLICABLE ENERGY CODE. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SCHEDULING OF ALL REQUIRED TESTING, BALANCING, ETC. WITH CxA AND TENANT/OWNER'S REPRESENTATIVE.

ALL REQUIRED COMMISSIONING DOCUMENTATION SHALL BE GIVEN TO THE OWNER, AND MADE AVAILABLE TO THE CODE OFFICIAL UPON REQUEST.

**AIR DEVICE SCHEDULE**

| MARK | APPLICATION | MANUFACTURER/ MODEL | MATERIAL | FINISH | ACCESSORIES | REMARKS |
|------|-------------|---------------------|----------|--------|-------------|---------|
| S1   | ROUND DUCT  | TITUS DL            | ALUMINUM | MILL   | A, B, C     | 1, 2, 3 |
| S2   | CEILING     | TITUS/TDCA-AA       | ALUMINUM | BWE    | A, B        | 1       |
| T1   | WALL        | TITUS/350RL         | ALUMINUM | BWE    |             | 1       |

ACCESSORIES: "BWE" - BAKED WHITE ENAMEL  
A - VOLUME CONTROL  
B - PATTERN CONTROL  
C - PAINT TO MATCH CEILING. SEE KEYED NOTES ON SHEET M2.0

REMARKS:  
1 - SEE PLAN FOR NECK SIZE  
2 - PROVIDE WITH OPPOSED BLADE DAMPERS  
3 - NO ALTERNATE MODEL ACCEPTED

**ROOFTOP UNIT SCHEDULE**

| EQUIPMENT MARK   | RTU-7     | RTU-8     | RTU-5     | RTU-6     |
|--|-----------|-----------|-----------|-----------|
| MANUFACTURER   | LENNOX    | LENNOX    | LENNOX    | LENNOX    |
| MODEL NUMBER   | LCT240H4M | LCT180H4M | LCT180H4M | LCT150H4E |
| NOMINAL TONNAGE  | 20        | 15        | 15        | 12.5      |
| ENERGY EFFICIENCY RATIO  | 12        | 12        | 12        | 11        |
| INDOOR FAN CFM   | 8,000     | 6,000     | 6,000     | 5,000     |
| INDOOR FAN HP  | 7.50      | 3.00      | 3.00      | 3.75      |
| EXTERNAL STATIC PRESSURE [INCHES WATER COLUMN]                         | 0.80      | 0.80      | 0.80      | 0.80      |
| CONDENSER AMBIENT CONDITIONS:  |           |           |           |           |
| TEMPERATURE °F   | 95        | 95        | 95        | 95        |
| MINIMUM OUTSIDE AIR CFM  | 810       | 605       | 365       | 450       |
| MAXIMUM OUTSIDE AIR CFM  | 1565      | 1175      | 710       | 930       |
| COOLING CAPACITY:  |           |           |           |           |
| ENTERING AIR TEMPERATURE DRY BULB/WET BULB °F                          | 77.0/66.0 | 77.0/66.0 | 77.0/66.0 | 77.0/66.0 |
| SENSIBLE COOLING CAPACITY IN MBH                                       | 163.9     | 122.2     | 122.2     | 100.2     |
| TOTAL COOLING CAPACITY IN MBH  | 236.2     | 175.3     | 175.3     | 145.8     |
| HEATING CAPACITY:  |           |           |           |           |
| ELECTRIC HEAT INPUT KW   | 45.0      | 30.0      | 15.0      | N/A       |
| OUTPUT IN MBH  | 115.4     | 76.9      | 38.5      | N/A       |
| ELECTRICAL (VERIFY WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING UNITS) |           |           |           |           |
| VOLTS/PHASE  | 208/3     | 208/3     | 208/3     | 208/3     |
| MCAMCCP  | 148/150   | 92/100    | 64/70     | 62/80     |

ACCESSORIES:  
PROVIDE ALL RTUS WITH THE FOLLOWING FACTORY OPTIONS:  
115V GFCI CONVENIENCE OUTLET, BOTTOM POWER ENTRY, FACTORY INSTALLED MOTORIZED OUTSIDE AIR DAMPER, OUTDOOR AIR HOOD, HINGED ACCESS PANELS, GRAVITY EXHAUST DAMPERS, FLOAT SWITCH, MSAV TECHNOLOGY BY LENNOX (OR APPROVED EQUAL WHEN EQUIVALENT RTUS ARE USED), FACTORY INSTALLED INDOOR AND OUTDOOR CORROSION PROTECTION - FIELD APPLIED COATINGS ARE NOT ACCEPTABLE.

PROVIDE RTU-7 AND RTU-8 WITH 14" ROOF CURB WITH FACTORY-PROVIDED WIND / SEISMIC RESTRAINT CLIPS (FIELD INSTALLED). TO BE SUPPLIED WITH HVAC UNITS).

PROVIDE UNIT-MOUNTED DISCONNECT - FACTORY INSTALLED ON RTU-7 AND RTU-8.

**NOTE:** THE CONTRACTOR IS TO ENSURE RTU IS PROTECTED WITH HACR BREAKER OR FUSES MEETING THE MOCPP REQUIREMENTS OF THE RTU. IF UNITS OTHER THAN SPECIFIED ARE INSTALLED (WITH HIGHER MOCPP AND AVAILABLE FAULT AT THE UNIT) FUSED DISCONNECT MAY BE REQUIRED. SEE ADDITIONAL NOTES REGARDING EQUIVALENT UNITS BELOW.

**NOTE:** SEE SHEET M2.0 FOR CONTROLS.

**NOTE:** IF UNITS OTHER THAN LENNOX ARE UTILIZED, NEW RTU-5 AND RTU-6 WILL REQUIRE ADAPTER CURBS AND STRUCTURAL ANALYSIS.

ACCEPTABLE EQUIVALENT RTU MANUFACTURERS ARE CARRIER AND TRANE. PROVIDE TRANE AND CARRIER UNITS WITH COLLAR GUARDS.

**NOTE:** WHEN AN EQUIVALENT RTU IS USED, HEATING/AIRCONDITIONING CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMING THE ELECTRICAL CONTRACTOR AND STEEL FABRICATOR OF THE REQUIREMENTS OF EQUIVALENT RTUS. THERE SHALL BE NO ADDITIONAL COST TO THE OWNER IF AN EQUIVALENT MANUFACTURER IS USED.

NOTES:  
1. REFER TO STRUCTURAL DRAWING S0.2, TYPICAL RTU SUPPORT DETAIL FOR ADDITIONAL INFORMATION.  
2. ROOFTOP UNIT STRAP MUST BE ATTACHED TO ROOF CURB PRIOR TO INSTALLATION OF ROOFTOP UNIT.

STORE EXPANSION AND REMODEL

**ROOMS TO GO**

18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

Date: 08/21/23  
01/29/24

CONSTR. DOC. & REVISIONS

No. Description  
1 CODE RESPONSE  
2 POST BID ADDENDUM #5

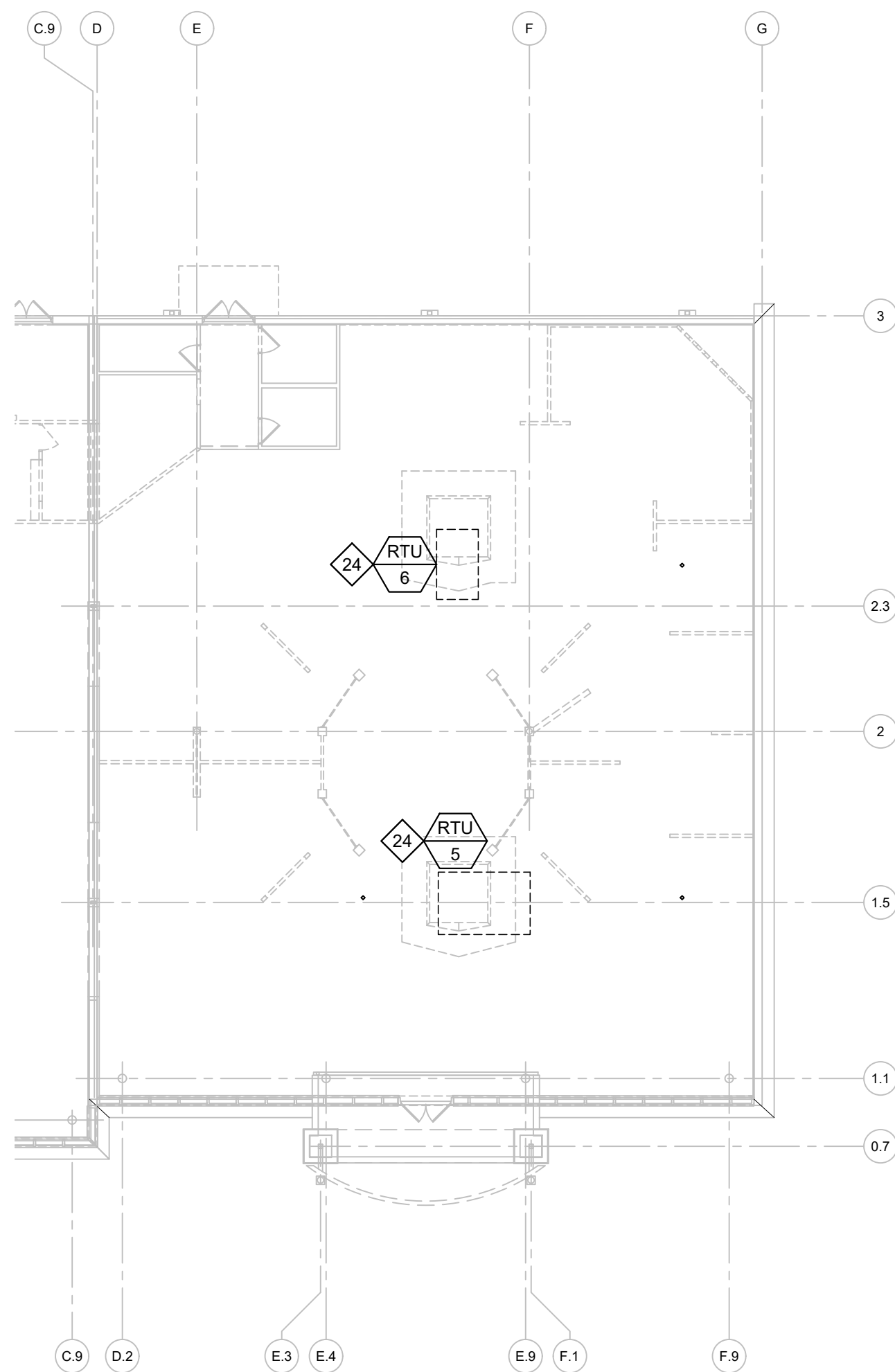
Drawn By/Checked By: JCM/MCG  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**MECHANICAL SCHEDULES AND DETAILS**

**M1.0**

**CASCO**  
12 Sumner Drive, Suite 100, St. Louis, MO 63143  
T: 314.821.1100





**SYMBOLS AND ABBREVIATIONS:**  
SEE SHEET M1.0

ALL WORK SHALL COMPLY WITH DRAWINGS AND SPECIFICATIONS. THIS IS A PROTOTYPICAL DESIGN. ANY FIELD CHANGES REQUIRE OWNER OR ARCHITECT APPROVAL.

ALL CONDENSATE PIPING SHALL BE PAINTED LIGHT GRAY. EXISTING PIPING SHALL BE PAINTED AND/OR TOUCHED UP TO "LIKE NEW" CONDITION.

ADJUST DIFFUSER VANES SO AIRSTREAM DOES NOT DIRECTLY STRIKE REMOTE SENSOR - TYPICAL ALL.

UNIT DROPS SHALL BE LABELED WITH THEIR CORRESPONDING ROOFTOP UNIT NUMBER AT A UNIFORM SIZE AND LOCATION TO BE VISIBLE FROM THE CONDITIONED SPACE BELOW. SEE CONSTRUCTION MANAGER FOR MORE INFORMATION.

DUCTWORK SIZES / DIMENSIONS ARE GIVEN TO INDICATE CLEAR SPACE INSIDE THE DUCT. DUCTWORK LOCATED ABOVE A CEILING SHALL HAVE A MINIMUM 1" INSULATION. SEE DETAILS ON SHEET M1.0 FOR OTHER INSULATION REQUIREMENTS.

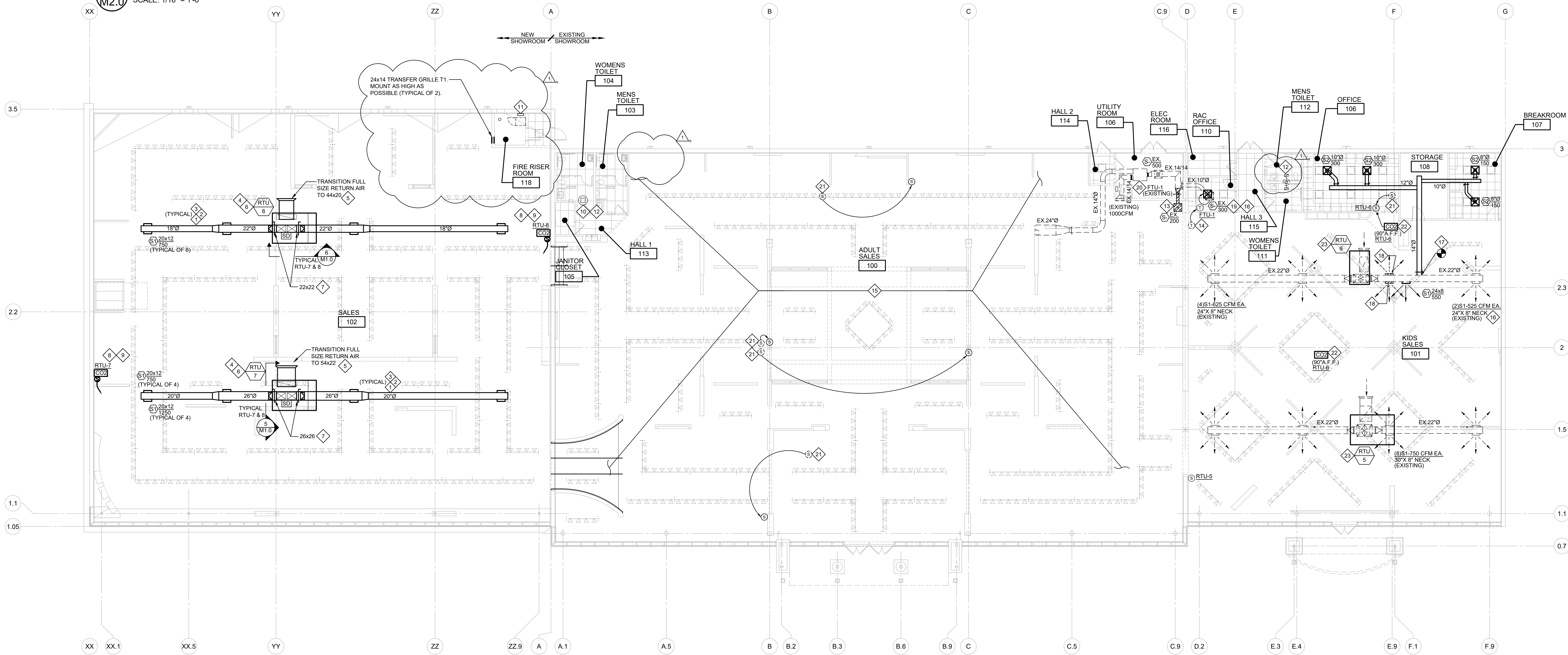
PROVIDE STANDARD SLOTTED UNISTRUT SUPPORT (P1000T).

**HVAC KEYED NOTES**

- 1 EXPOSED ROUND DUCTWORK UP TO 26" DIAMETER IN SALES AREA SHALL BE 26 GAUGE. (FOR DUCTS OVER 26" DIAMETER, USE 24 GAUGE) DUCTWORK SHALL BE SINGLE WALL GALVANIZED STEEL. SPIRAL LOCKSEAM FITTINGS SHALL BE SINGLE WALL GALVANIZED STEEL. STANDING SEAM OR SOLID WELDED CONSTRUCTION. ELBOWS SHALL BE STANDING SEAM, GORED ELBOWS. GRILLE COLLARS SHALL HAVE 4-SIDED SADDLE TAPS AND BE ATTACHED TO THE DUCTWORK WITH SELF-TAPPING SHEET METAL SCREWS. MINIMUM 3 ON EACH SIDE. AND DUCTIMATE NEOPRENE GASKET TAPE OR APPROVED EQUAL. CAULK IS NOT ALLOWED. DUCT-TO-DUCT JOINTS SHALL BE MADE WITH THE SPIRAL SEAM ROTATED SO THAT THE STANDING SEAM FORMS A CONTINUOUS HELICAL PATTERN ACROSS THE JOINT.
- 2 ALL DUCTWORK AND FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS LATEST EDITION.
- 3 ALL EXPOSED DUCTWORK AND FITTINGS IN THE SALES AREA SHALL BE PROVIDED WITH A MILL PHOSPHITIZED FINISH ("PAINT GRIP", "ZINC GRIP", OR SIMILAR ETCH TREATMENT) TO ALLOW THE DUCTWORK TO BE PAINTED. ALL EXPOSED DUCTWORK, DIFFUSERS, GRILLES AND HANGERS SHALL BE PAINTED. PAINT SHALL NOT EXCEED A FLAME SPREAD OF 25 AND SMOKE DEVELOPMENT OF 50.
- 4 PRECAUTIONS SHALL BE TAKEN TO STORE DUCTWORK IN SUCH A MANNER AS TO MINIMIZE DENTS/DAMAGE. ALL VISIBLE DENTS SHALL BE REPAIRED.
- 5 INSTALL SUPPLY AIR DUCTWORK WITH APPROXIMATELY 1/2" SPACE BETWEEN TOP OF LARGEST DIAMETER DUCTWORK AND UNDERSIDE OF JOIST/GIRDER. MAINTAIN CONSISTENT CENTERLINE THROUGHOUT DUCT MAIN. ALL DUCT TRANSITIONS SHALL BE MADE WITH CONCENTRIC FITTINGS. CONTRACTOR SHALL FIELD VERIFY PRIOR TO INSTALLATION THAT DUCT MOUNTING HEIGHT DOES NOT POSE A CONFLICT WITH ANY STRUCTURAL ELEMENTS OR LIGHTING. TYPICAL OF ALL ROUND DUCTWORK IN SALES AREA.
- 6 CUT ROOF DECK THE SIZE OF THE SUPPLY AND RETURN DUCT OPENING. SUPPLY AND RETURN DUCTWORK UP TO RTU SHALL BE FULL SIZE OF RTU CURB DUCT OPENING. TRANSITION DUCT BELOW ROOF. THE REMAINING ROOF DECK AND INSULATION SHALL REMAIN BENEATH RTU WITHIN THE CONFINES OF THE RTU CURB.
- 7 ROUTE RETURN AIR DUCT FROM UNIT PER SECTION DIAGRAMS ON SHEET M1.0. TRANSITION AS REQUIRED FOR RTU-7 & 8. PROVIDE EXPANDED METAL MESH SCREEN WITH A MINIMUM OF 80% FREE AREA IN RETURN AIR DUCT OPENING.
- 8 CONTRACTOR TO FURNISH AND INSTALL SUPPLY AIR SMOKE DETECTORS (PROVIDE IN RETURN WHERE REQUIRED BY CODE - FIELD VERIFY). SMOKE DETECTORS SHALL DE-ACTIVATE RTU FAN UPON SENSING SMOKE AND SHALL BE TIED INTO BUILDING'S FIRE ALARM CONTROL PANEL WITH SUPERVISORY SIGNAL. WIRING BY CONTRACTOR. LOCATE SMOKE DETECTOR RESET IN ELECTRICAL ROOM WHEN ALLOWED. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 9 PROVIDE TEE WITH TURNING VANES AND VOLUME DAMPER IN EACH DIRECTION. AT BOTTOM OF DROP FROM UNIT. TRANSITION TO ROUND DUCT WITH A CONCENTRIC FITTING.
- 10 MOUNT LIGHTSTAT REMOTE ROOM TEMPERATURE SENSOR ON PARTITION (NON-MIRRORRED SIDE WHERE APPLICABLE) AT 7'-0" ABOVE FINISH FLOOR AND 1'-0" FROM EDGE OF PARTITION. DO NOT MOUNT SENSORS ON MIRRORRED OR BRICK/STONE PARTITIONS.
- 11 MOUNT CO2 SENSOR DIRECTLY ABOVE ROOM TEMPERATURE SENSOR. SEE KEYNOTE #8 FOR ADDITIONAL INFORMATION. SENSOR SHALL BE WIRED TO UNITS INDICATED.
- 12 EXISTING EXHAUST FAN, DUCTWORK, GRILLES AND CONTROLS TO REMAIN. VERIFY OPERATION AND LOCATIONS. SHOULD ANY REPAIRS BE REQUIRED, CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND SUBMIT A WRITTEN COST PROPOSAL INCLUDING COMPLETE COST TO PLACE UNIT IN "LIKE NEW" CONDITION AND TIME ESTIMATE TO COMPLETE REPAIRS.
- 13 PROVIDE AND INSTALL NEW LIGHTSTAT EPC CABINET TO CONTROL NEW RTU-7 & 8 WITH PRE-MOUNTED e-STAT THERMOSTATS IN THE EXISTING ELECTRICAL ROOM. COORDINATE LOCATION OF CABINET WITH OTHER EQUIPMENT PANELS. PROVIDE AND INSTALL LIGHTSTAT REMOTE ROOM TEMPERATURE SENSORS ON SALES FLOOR AS SHOWN. PROVIDE AND INSTALL AT EACH ROOFTOP UNIT LIGHTSTAT SUPPLY AIR SENSORS MOUNTED ON DISCHARGE AIR DUCT WITH PROBE IN DISCHARGE AIR STREAM. CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT FOR THERMOSTAT/SENSOR WIRES. REFER TO ELECTRICAL DRAWINGS FOR SENSOR/THERMOSTAT WIRE ROUTING. PERMANENTLY IDENTIFY EACH THERMOSTAT AND SENSOR WITH A PHENOLIC NAMEPLATE STATING RTU SERVED.
- 14 LIGHTSTAT CONTACT INFO:  
ROBERT GALLAGHER  
LIGHTSTAT INC.  
22 W. WEST HILL RD.  
PLEASANT VALLEY, CT 06063  
TEL: 1-800-292-2444 EXT. 274; FAX 860-738-4123.
- 15 EXISTING EXHAUST AIR DEVICES TO REMAIN. ALL DIFFUSERS TO BE CLEANED AND PAINTED TO BE IN "LIKE NEW" CONDITION.
- 16 REMOVE EXISTING AIR DEVICE AND BRANCH DUCT TO LOCATION INDICATED BY HATCH MARKING ON PLAN, WITH ALL ASSOCIATED HANGERS AND SUPPORTS. CAP BRANCH DUCT TAKE-OFF AIR-TIGHT.
- 17 RELOCATE EXISTING FTU-1 THERMOSTAT TO LOCATION INDICATED. MOUNT AT 5'-0" ABOVE FINISH FLOOR. FIELD VERIFY EXISTING FTU-1 THERMOSTAT LOCATION.
- 18 REBALANCE DIFFUSER/GRILLE TO CFM SHOWN.
- 19 CONNECT NEW DUCT TO EXISTING DUCT AT THIS POINT. FIELD VERIFY EXISTING DUCT SIZE AND PROVIDE TRANSITION AS REQUIRED.
- 20 REMOVE SUPPLY GRILLE. PATCH DUCTWORK AIR TIGHT.
- 21 EXISTING SUPPLY AIR DIFFUSER TO BE RELOCATED AS SHOWN. CLEAN AND PAINT DIFFUSER TO BE IN "LIKE NEW" CONDITION. ADJUST SUPPLY AIR DUCTWORK BRANCH LENGTH AS REQUIRED TO COORDINATE WITH NEW LOCATION OF SUPPLY DIFFUSER.
- 22 REBALANCE EXISTING FTU-1 TO MAX 800 CFM.
- 23 RELOCATE EXISTING LIGHTSTAT REMOTE ROOM TEMPERATURE SENSOR TO LOCATION INDICATED. MOUNT AT 7'-0" ABOVE FINISH FLOOR AND 1'-0" FROM EDGE OF PARTITION. FIELD VERIFY EXISTING REMOTE ROOM TEMPERATURE SENSOR LOCATION.
- 24 MOUNT NEW CO2 SENSOR 90" AFF. DO NOT MOUNT SENSORS ON MIRROR OR BRICK/STONE PARTITIONS. COORDINATE LOCATION WITH OWNER.
- 25 NEW ROOFTOP UNIT ON EXISTING CURB. MODIFY / EXTEND EXISTING UTILITY CONNECTIONS AS REQUIRED FOR RECONNECTION TO REPLACEMENT UNIT. IF UNITS OTHER THAN LENNOX ARE UTILIZED, NEW UNITS WILL REQUIRE ADAPTER CURBS AND STRUCTURAL ANALYSIS. SEE RTU SCHEDULE ON SHEET M1.0 FOR MORE INFORMATION.
- 26 REMOVE AND PROPERLY DISPOSE OF EXISTING RTU. PREPARE CURBS FOR MOUNTING OF NEW ROOFTOP UNIT. MODIFY/EXTEND EXISTING UTILITY CONNECTIONS AS REQUIRED FOR RECONNECTION TO REPLACEMENT UNIT.

**2 ENLARGED HVAC ROOF DEMOLITION PLAN**

SCALE: 1/16" = 1'-0"



**1 HVAC PLAN**  
SCALE: 3/32" = 1'-0"

STORE EXPANSION AND REMODEL

**ROOMS TO GO**

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

CONSTR. DOC. & REVISIONS

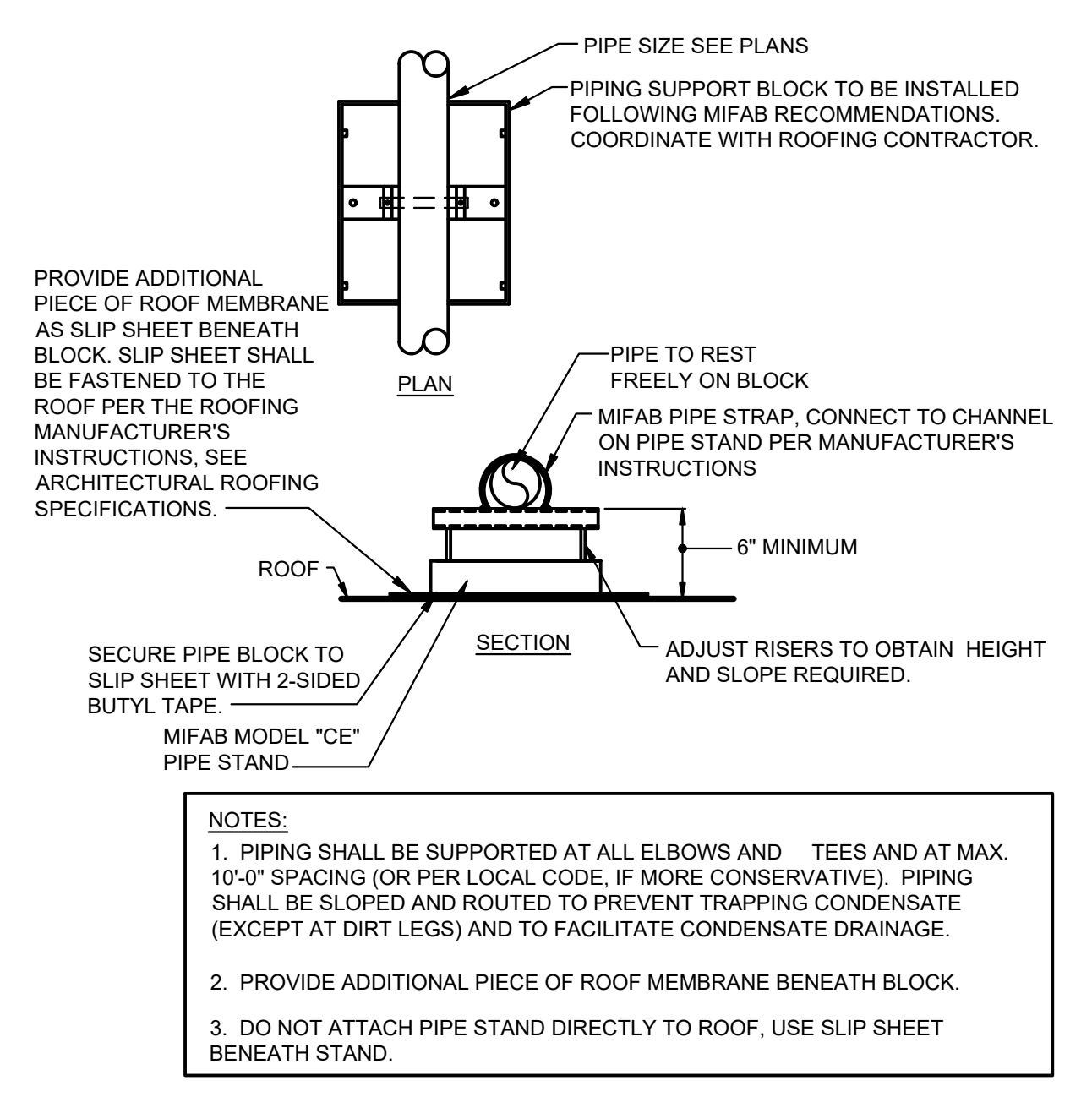
| No. | Description          | Date     |
|-----|----------------------|----------|
| 1   | POST BID ADDENDUM #5 | 01/29/24 |

MECHANICAL PLAN

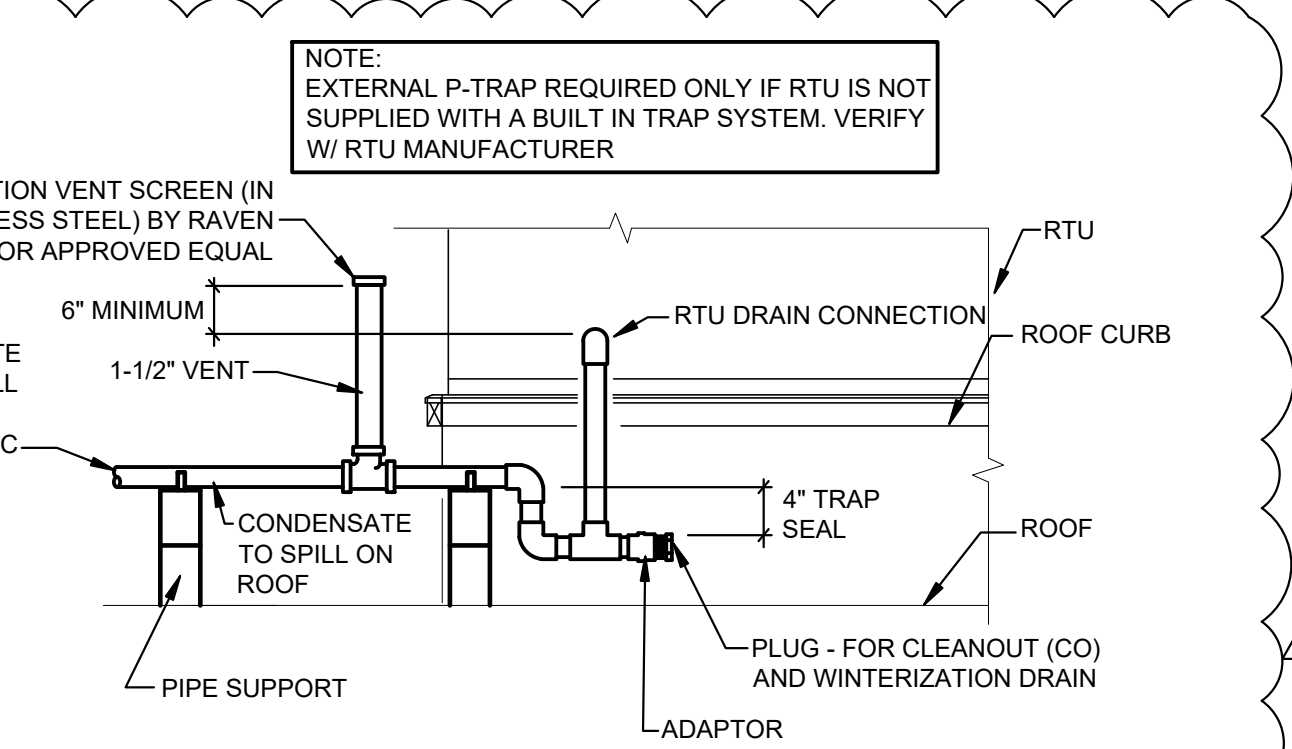
**M2.0**

Drawn By/Checked By: JCM/MCG  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

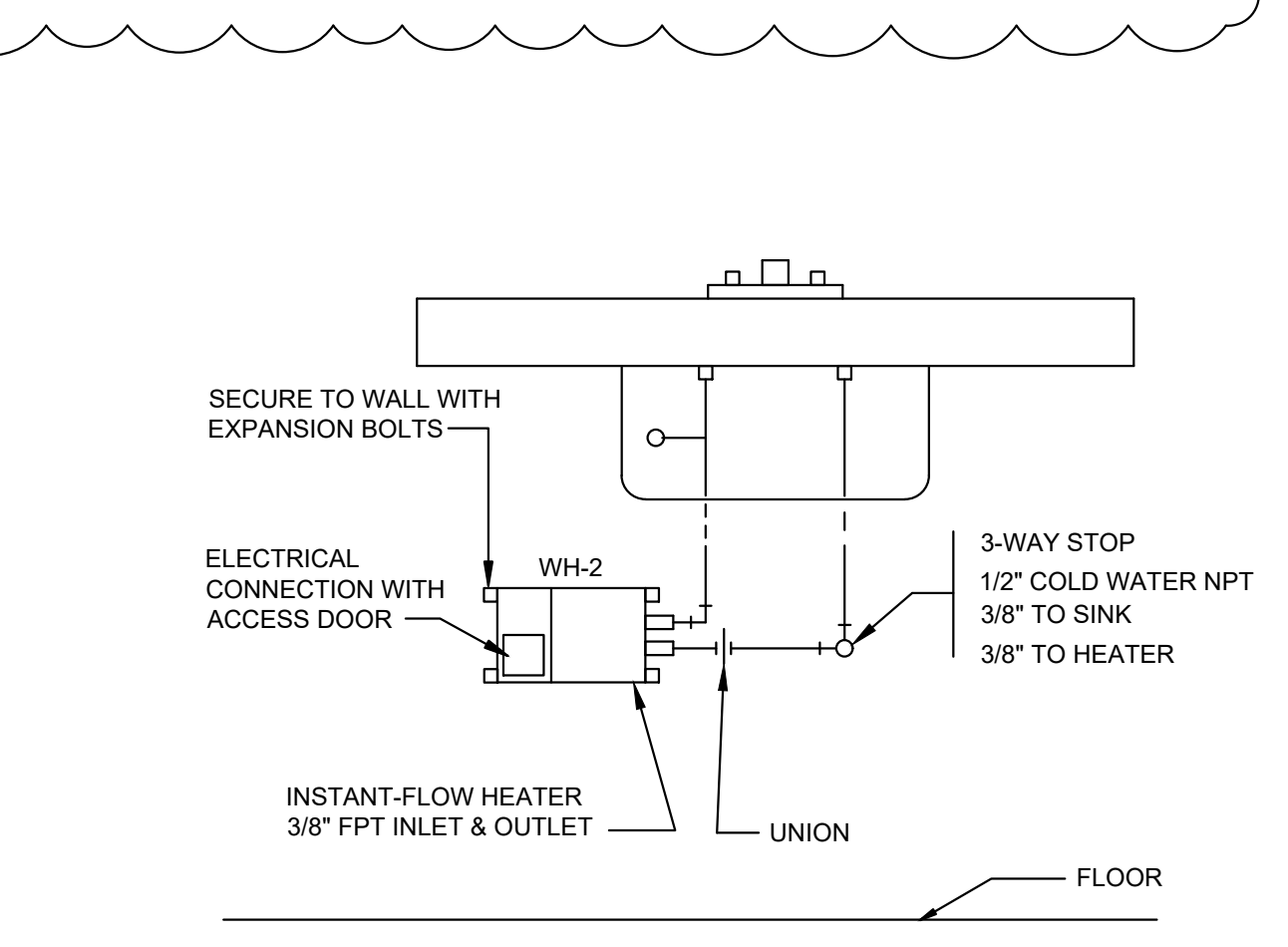
**CASCO**  
12 Sumner Drive, Suite 100, St. Louis, MO 63143  
T: 314.821.1100



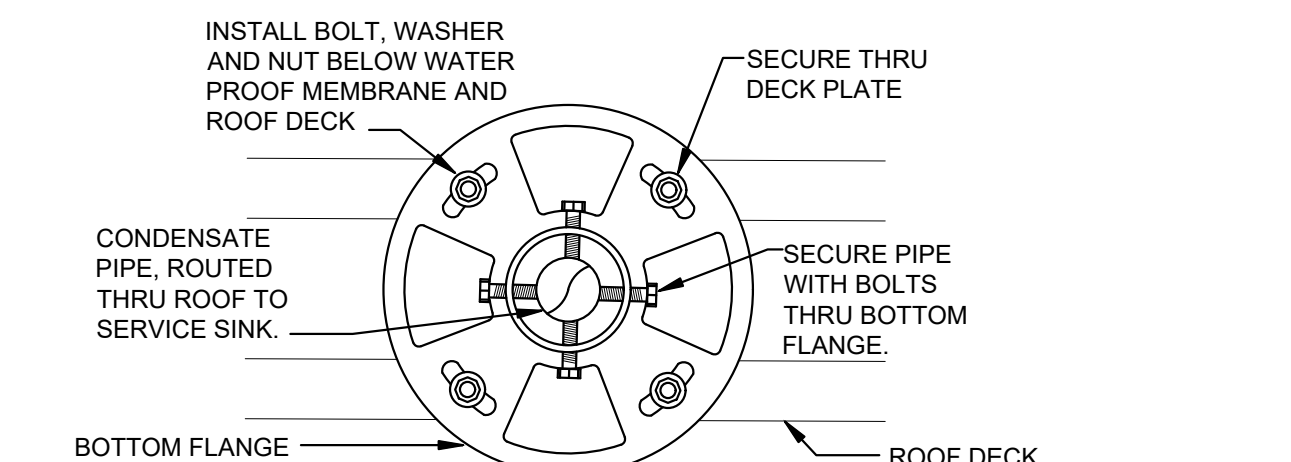
**5 ROOF PIPING SUPPORT DETAIL**  
P1.0 SCALE: NOT TO SCALE



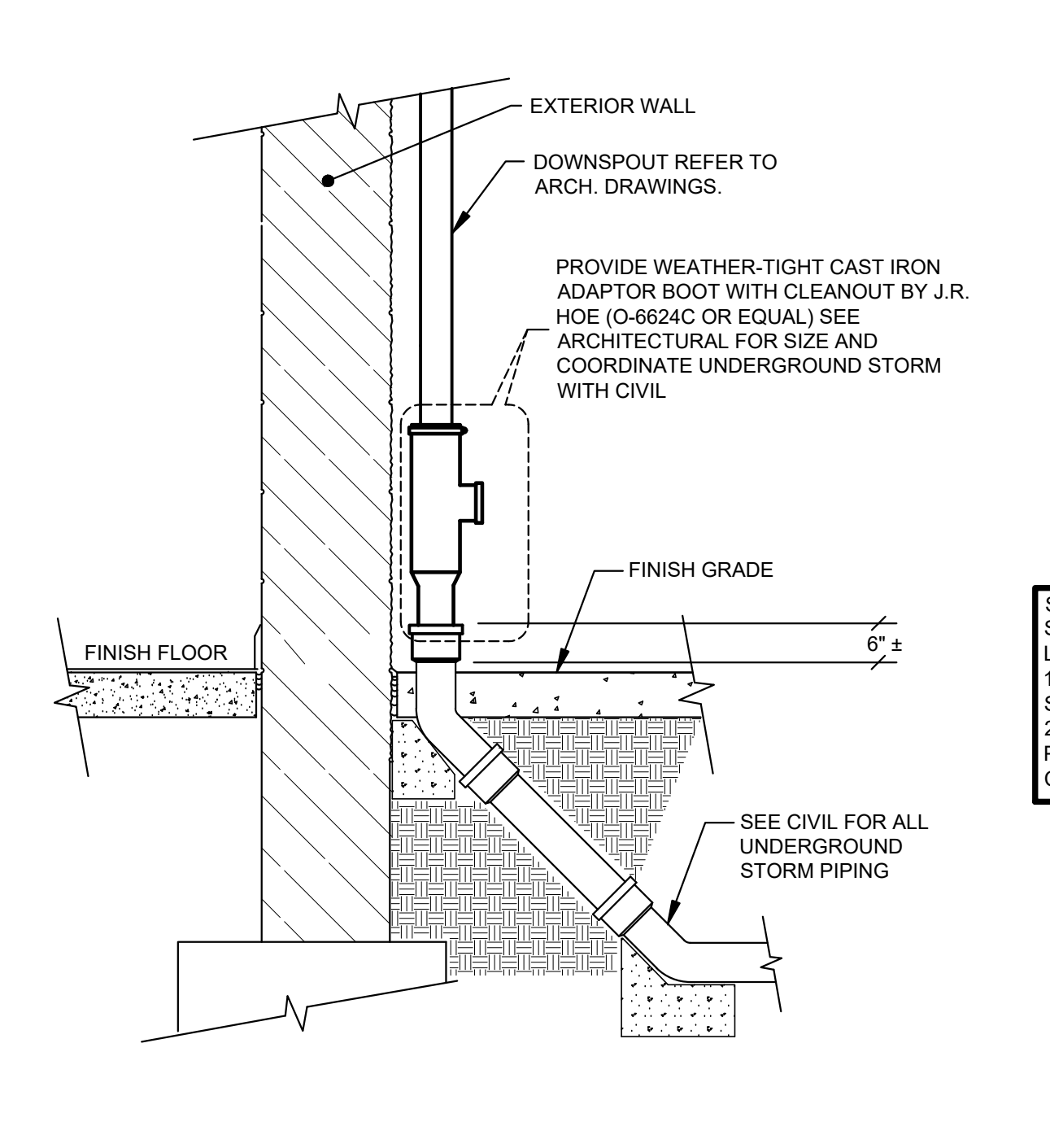
**6 CONDENSATE DRAIN PIPING DETAIL**  
P1.0 SCALE: NOT TO SCALE



**7 INSTANT FLOW WH-2 BELOW SINK DETAIL**  
P1.0 SCALE: NOT TO SCALE NOT APPLICABLE TO LAV-1



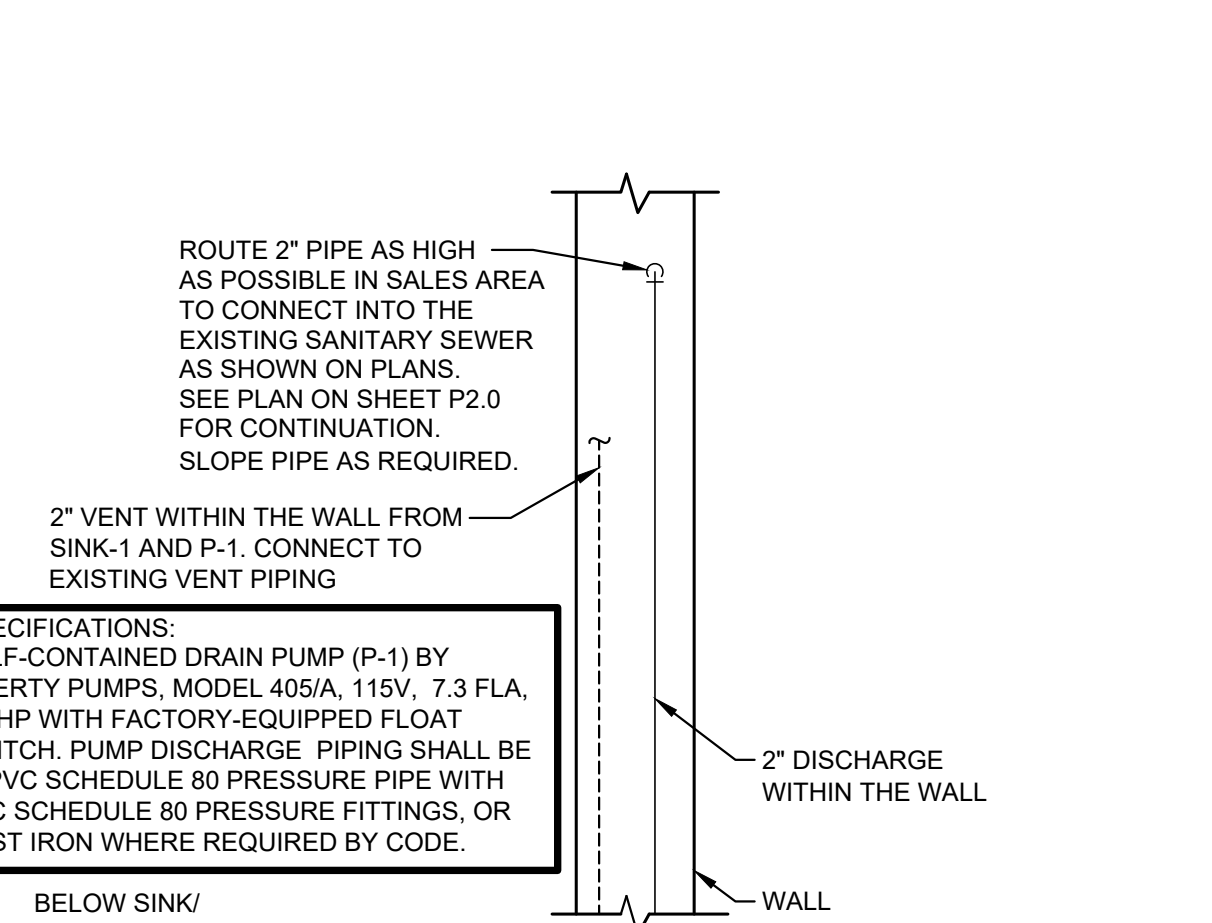
**8 VERTICAL PIPE THRU ROOF SUPPORT DETAIL**  
P1.0 SCALE: NOT TO SCALE



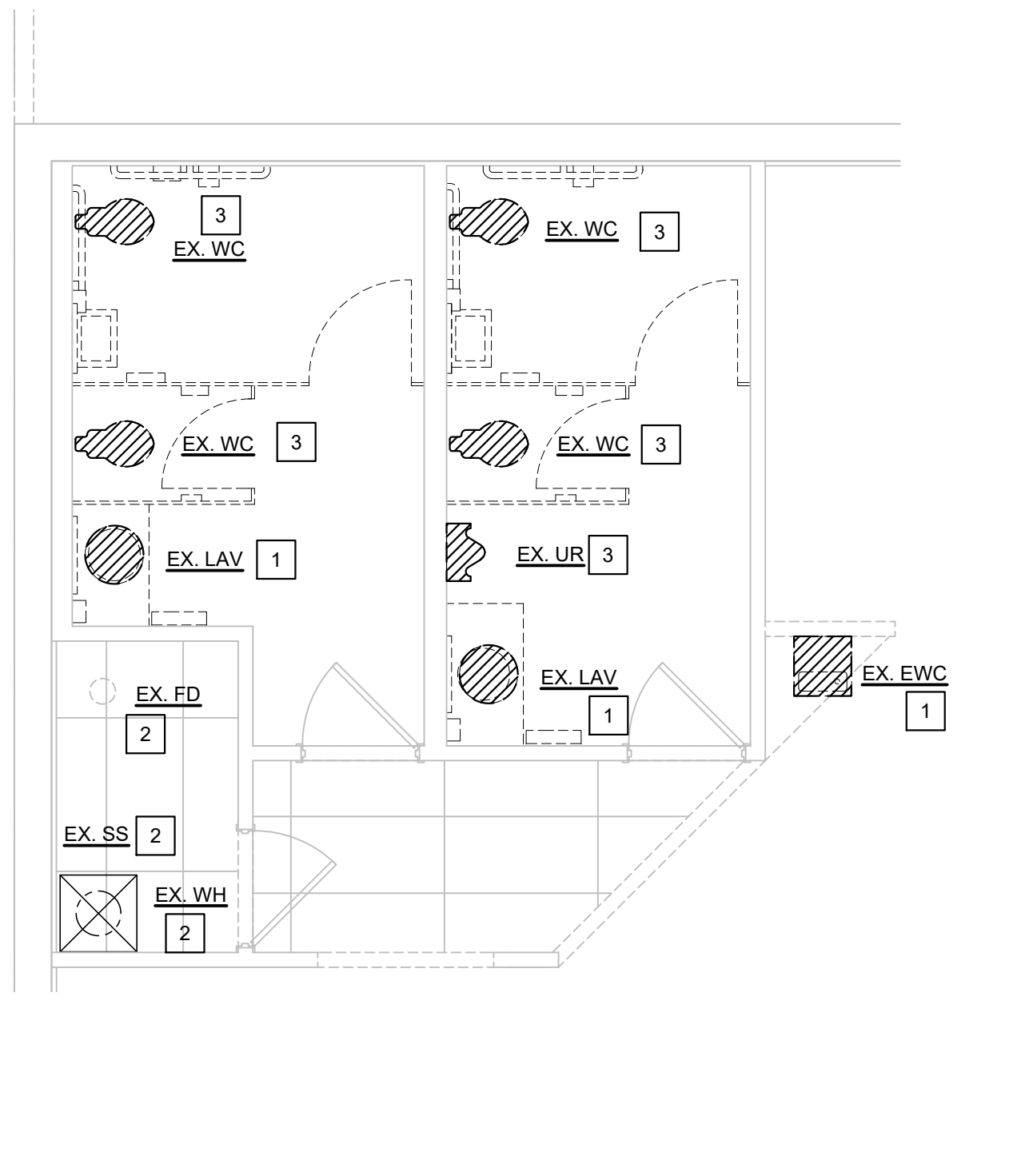
**9 DOWNSPOUT DETAIL**  
P1.0 SCALE: NOT TO SCALE

**PLUMBING DEMOLITION KEYED NOTES**

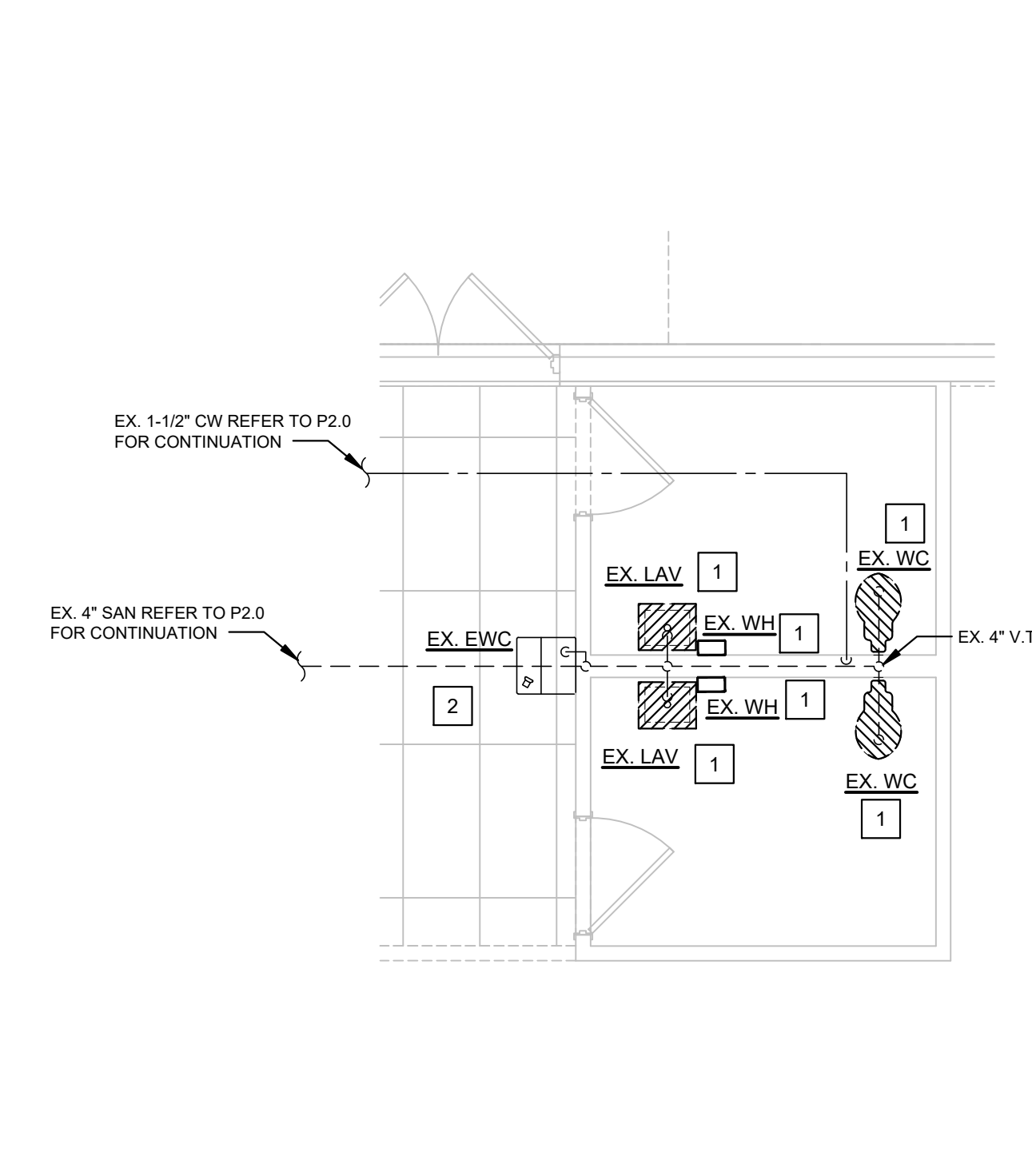
- DISCONNECT AND REMOVE EXISTING PLUMBING FIXTURES INDICATED BY HATCHING. FIELD VERIFY EXISTING LOCATIONS AND ELEVATIONS. PREPARE FOR RECONNECTION TO NEW PLUMBING LOCATIONS. SEE ENLARGED PLANS ON THIS SHEET AND ARCHITECTURAL SHEET D1.0 FOR MORE INFORMATION.
- EXISTING PLUMBING FIXTURE TO REMAIN.
- TEMPORARILY REMOVE EXISTING WATER CLOSETS AND URINALS AS REQUIRED TO INSTALL NEW FLOOR AND WALL FINISHES. FIELD VERIFY EXISTING LOCATIONS AND ELEVATIONS. PREPARE FOR RECONNECTION TO EXISTING PLUMBING FIXTURES. SEE ENLARGED PLANS ON THIS SHEET AND ARCHITECTURAL SHEET D1.0 FOR MORE INFORMATION.



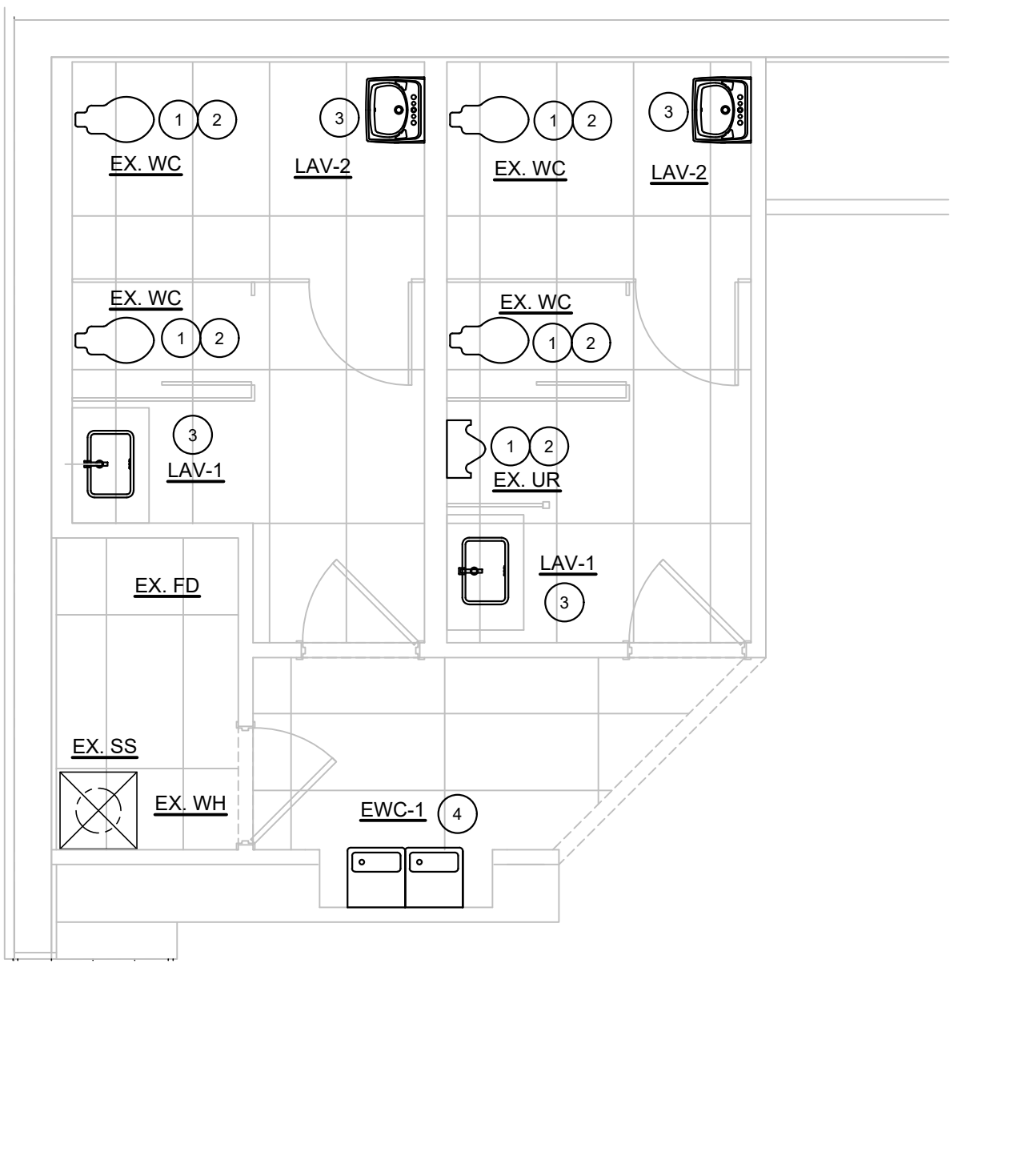
**10 DRAIN PUMP (P-1) DETAIL**  
P1.0 SCALE: NOT TO SCALE



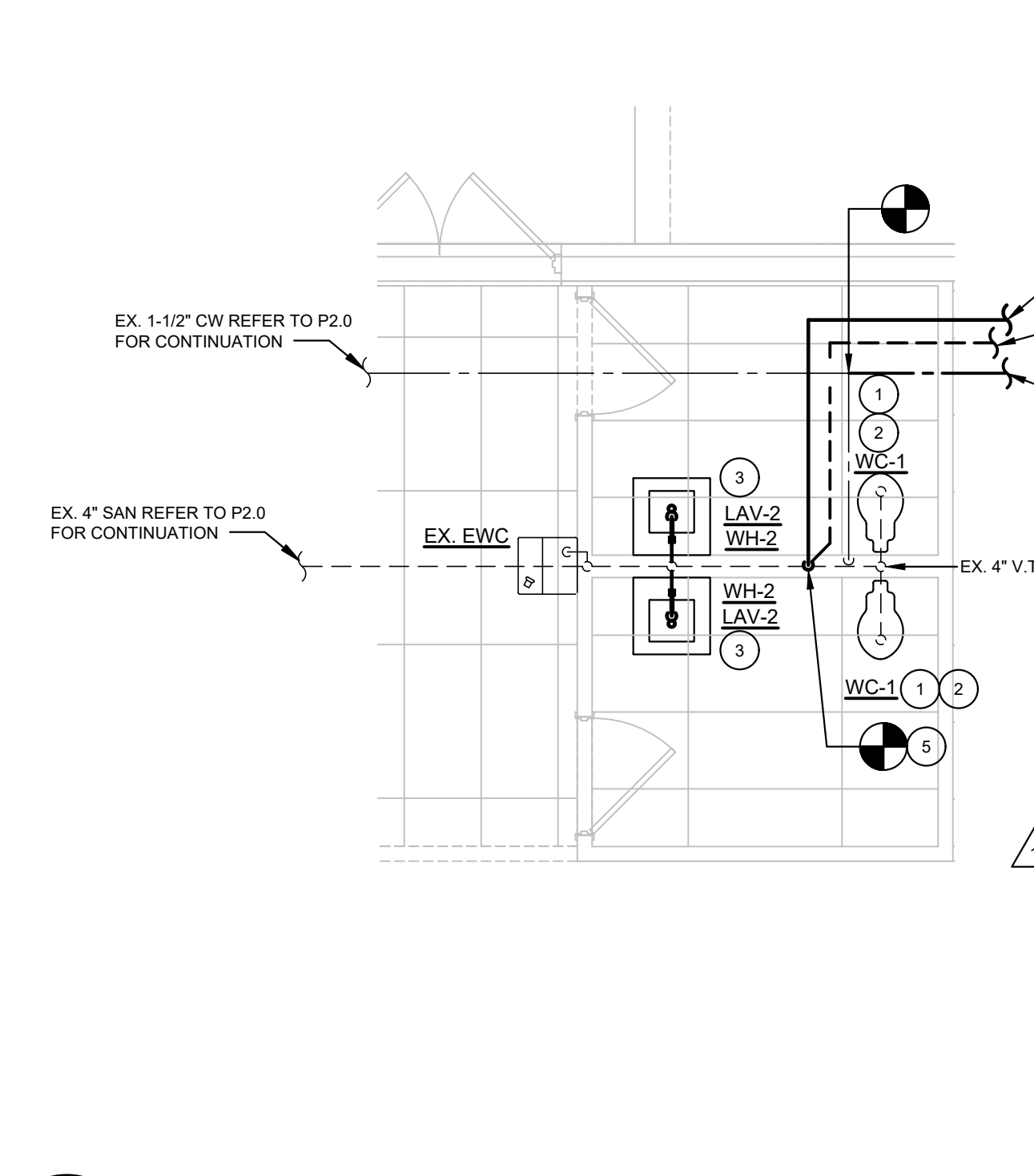
**1 PARTIAL ENLARGED PLUMBING DEMO PLAN**  
P1.0 SCALE: 1/4" = 1'-0"



**2 PARTIAL ENLARGED PLUMBING DEMO PLAN**  
P1.0 SCALE: 1/4" = 1'-0"



**3 PARTIAL ENLARGED PLUMBING PLAN**  
P1.0 SCALE: 1/4" = 1'-0"



**4 PARTIAL ENLARGED PLUMBING PLAN**  
P1.0 SCALE: 1/4" = 1'-0"

| MARK   | SPECIFICATIONS   |
|--------|--|
| LAV-1  | LAVATORY: (ADA) KOHLER #K-2214 (LADENA) 21"x14" VITREOUS CHINA, UNDER-COUNTER MOUNTED, FAUCET: AMERICAN STANDARD 'TIMES SQUARE' #7184.101.002, 1.2GPM PRESSURE. CONTRACTOR TO PROVIDE CHROME PLATED BRASS P-TRAP, ANGLE STOPS, AND FLEX SUPPLIES. INSULATE ALL EXPOSED PIPING BELOW LAVATORY WITH TRUEBRO #102 INSULATION KIT. SINK IS SUPPLIED WITH UNDER COUNTER MOUNTING KIT (I198493). USE OF EPOXY IS NOT ALLOWED. INST. ALL SINK PER MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION MANUAL. |
| LAV-2  | LAVATORY: (ADA) AMERICAN STANDARD #9134001EC 21"x20" WALL HUNG, FAUCET: AMERICAN STANDARD 'TIMES SQUARE' #7184.101.002, 1.2GPM PRESSURE. AND J.R. SMITH #9801 FLOOR MOUNT WALL CARRIER WITH CONCEALED ARMS. PROVIDE CHROME PLATED ANGLE STOP, ESCUTCHEON, 1/2" FLEX SUPPLIES & P-TRAP. INSULATE ALL EXPOSED PIPING BELOW LAVATORY WITH TRUEBRO #102 INSULATION KIT.  |
| WC-1   | WATERCLOSET (ADA): AMERICAN STANDARD #3351.101, WALL HUNG, VITREOUS CHINA, ELONGATED SIPHON JET. FLUSH VALVE: SLOAN #111-1.28 (LOW CONSUMPTION 1.28 GALLON PER FLUSH - 'WATERSENSE' LISTED) SEAT. CHURCH & DWIGHT #255850 WITH OPEN FRONT. CARRIER: J.R. SMITH #9542F (FLOOR MOUNTED) CARRIER MUST BE COMPACT TYPE.  |
| EWC-1  | ELECTRIC WATER COOLER: (ADA) OASIS # PBACSL 11506/1 STANDARD FINISH, SPLIT LEVEL WITH SINGLE WATER AND ELECTRICAL CONNECTION. PROVIDE APRON ACCESSORY FOR UPPER UNIT J.R. SMITH #9800 FLOOR MOUNT WALL CARRIER WITH CONCEALED ARMS.  |
| WH-2   | ELECTRIC INSTANT WATER HEATER - EEMAX SPEX3208. POINT OF USE WATER HEATER MOUNTS IN ANY ORIENTATION, 208V, 3 KW, 41" TEMPERATURE RISE AT 0.5GPM. SET HEATER TO 110°F MAXIMUM TEMPERATURE. INSTALL PER MANUFACTURER'S INSTRUCTIONS WITH 0.5GPM AERATOR.   |
| SINK-1 | SINGLE COMPARTMENT SINK: ELKAY LRA1918, 19" x 18" x 12" DEEP, 18 GAUGE TYPE 302 SELF RIMMING SINK WITH LKD2445BH FAUCET AND LK99 DRAIN, 18 GAUGE P-TRAP, STOPS AND SUPPLIES. IN-SINK-ERATOR BADGER 5 MODEL 1/2 H.P., 120 VOLTS AND 1725 RPM. PROVIDE FOOD WASTE DISPOSER WITH DISHWASHER DRAIN CONNECTION.   |
| P-1    | LIBERTY PUMPS MODEL # 405A DRAIN PUMP WITH ALARM. UNIT SHALL PRODUCE 27 GPM AT 21 FEET OF TOTAL DYNAMIC HEAD. 1/2 HP, 115V, 7.3 FLA. PUMP SHALL BE CONTROLLED WITH ON/OFF FACTORY INSTALLED FLOAT SWITCH. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE RUBBER MAT UNDER THE UNIT TO REDUCE NOISE.  |

PLUMBING FIXTURES DESIGNATED AS 'ADA' ARE TO BE FULLY ACCESSIBLE IN ACCORDANCE WITH THE 'AMERICAN DISABILITIES ACT OF 1990'. FIXTURES AND THEIR INSTALLATION SHALL ALSO COMPLY WITH 'AMERICAN NATIONAL STANDARDS INSTITUTE' (ANSI) PUBLICATION A117.1-PROVIDING ACCESSIBILITY AND USABILITY FOR PHYSICALLY HANDICAPPED PEOPLE' AND/OR GOVERNING CODES.

ALL PLUMBING FIXTURES, EQUIPMENT, TRIM AND FITTINGS SHALL COMPLY WITH LOCAL, STATE AND FEDERAL REGULATIONS AND/OR CODES, INCLUDING BUT NOT LIMITED TO, WATER AND ENERGY CONSERVATION CODES. THE SCHEDULED AND/OR SPECIFIED PLUMBING FIXTURES AND EQUIPMENT REPRESENT THE MINIMUM CRITERIA AND SHALL BE THE BASIS FOR THE CONTRACTOR'S BASE BID. IF THE SCHEDULED OR SPECIFIED FIXTURES AND/OR EQUIPMENT DO NOT COMPLY WITH GOVERNING CODES, THE CONTRACTOR SHALL PROVIDE AN ALTERNATE BID FOR COMPLYING EQUIPMENT, TRIM AND/OR FITTINGS. THE ABSENCE OF AN ALTERNATE BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR'S BID INCLUDES ALL COSTS NECESSARY TO MEET ALL REGULATIONS AND/OR CODES.

**PLUMBING GENERAL NOTES**

- THE PLUMBING SUBCONTRACTOR'S SCOPE OF WORK INCLUDES ALL WORK WITHIN BUILDING UNLESS OTHERWISE NOTED.
- SANITARY PIPING TO BE PVC. SLOPE 4" SANITARY PIPING AT 1% SLOPE. USE CAST IRON ONLY WHERE REQUIRED BY CODE OR AUTHORITY HAVING JURISDICTION.
- THE PLUMBING SUBCONTRACTOR SHALL COORDINATE LOCATIONS OF ALL PLUMBING PIPING TO CLEAR INTAKE LOUVERS. PROVIDE 10'-0" CLEARANCE IN ALL DIRECTIONS FROM VENTS THROUGH ROOF TO OUTSIDE AIR INTAKES.
- THE PLUMBING SUBCONTRACTOR SHALL REFER TO THE FIXTURING PLAN FOR COORDINATION OF ALL PIPING, EQUIPMENT, DUCTS, VALVING, AND SERVICE RISERS WITH THE FIXTURING. ALL SYSTEMS SHALL BE ROUTED AND/OR LOCATED AS REQUIRED TO AVOID INTERFERENCE WITH THE FIXTURES. INSTALLATIONS MADE WITHOUT REGARD TO FIXTURING SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.
- THE PLUMBING SUBCONTRACTOR SHALL VERIFY AND MAKE CONNECTION TO UTILITIES.
- THE PLUMBING SUBCONTRACTOR SHALL FILL FLOOR DRAINS WITH WATER UPON COMPLETION OF WORK AND TESTING.
- SLOPE HORIZONTAL VENT PIPING TOWARDS DRAIN PIPING.
- ALL HOT AND COLD WATER PIPING SHALL BE INSULATED PER SPECIFICATIONS.
- PIPING IN EXPOSED CEILING AREAS SHALL BE ROUTED AS HIGH AS POSSIBLE IN JOIST WITH ALLOWANCE FOR SLOPE AS REQUIRED.
- ALL ABOVE GRADE PIPING SHALL BE RUN CONCEALED IN ALL ROOMS AND AREAS WHERE CEILING FINISHES ARE APPLIED.
- CONDENSATE PIPING SHALL BE 1-1/2" MINIMUM PVC. EXTERIOR PVC CONDENSATE PIPING SHALL BE PAINTED LIGHT GRAY.
- NOT USED.
- DOMESTIC WATER PIPE SIZES ARE BASED ON FLOW CONDITIONS OF 55 GPM AND 55 PSI AT THE MAIN. VERIFY FLOW CONDITIONS. IF ACTUAL FLOW CONDITIONS ARE DIFFERENT, CONTACT MECHANICAL ENGINEER.
- PROVIDE FIXTURES AS SPECIFIED OR AS OTHERWISE APPROVED BY ARCHITECT. SUBSTITUTES NOT ALLOWED WITHOUT ARCHITECT'S SPECIFIC APPROVAL.
- ALL SANITARY AND WASTE PIPING SHALL BE RODDED OUT AFTER INSTALLATION IS COMPLETE, PRIOR TO JOB TURNOVER.
- REFER TO SHEET P2.0 FOR MECHANICAL AND PLUMBING SYMBOLS AND ABBREVIATIONS LEGEND.
- ALL PENETRATIONS THRU FIRE-RESISTANCE RATED ASSEMBLIES SHALL BE SEALED IN ACCORDANCE WITH THE LOCAL CODE TO MATCH FIRE RATING.
- PROVIDE STANDARD SLOTTED UNISTRUT SUPPORT (P1000T).

**DEMOLITION GENERAL NOTES**

- ALL DEMOLITION WORK SHALL BE EXECUTED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS AND REGULATIONS.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND FACILITY TO VERIFY ALL EXISTING CONDITIONS, AND VERIFY THE SCOPE OF WORK INDICATED BY ALL CONTRACT DOCUMENTS. FAILURE TO DETERMINE AND/OR ANTICIPATE THE IMPACT OF THE SCOPE OF WORK ON EXISTING CONDITIONS SHALL NOT BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. ANY DISCREPANCIES DISCOVERED IN THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OFFICE OF THE ARCHITECT.
- UNLESS NOTED OTHERWISE OR INSTRUCTED BY THE PROJECT CONSTRUCTION MANAGER, ALL DEMOLISHED MATERIAL AND EQUIPMENT IS TO BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN A SAFE AND LEGAL MANNER. NO ON SITE SALE OR STORAGE OF MATERIAL IS ALLOWED.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED, RECONDITIONED, AND PLACED INTO PROPER OPERATION, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS TO REMAIN IN SERVICE, AND TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FLOORS, WALLS, CEILING AND ROOFS WHERE AND/OR PLUMBING AND/OR MECHANICAL COMPONENTS ARE REMOVED AND THE EXISTING PENETRATION IS NOT USED FOR THE NEW INSTALLATION. CONTRACTOR SHALL REPAIR SURFACES TO MATCH ADJACENT AREAS.
- CONTRACTOR SHALL INSTALL PERMANENT CAPS WHERE DUCTWORK AND PIPING IS REMOVED AND THE EXISTING TAPS ARE NOT USED FOR THE NEW INSTALLATION. CONTRACTOR SHALL INSTALL TEMPORARY CAPS WHERE DUCTWORK AND PIPING IS REMOVED AND THE EXISTING TAPS WILL BE USED FOR THE NEW INSTALLATION TO PROTECT THE INTERIOR SURFACES UNTIL NEW DUCTWORK AND PIPING IS INSTALLED.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING CONSTRUCTION DURING THE DEMOLITION AND CONSTRUCTION PROCESS TO PREVENT DAMAGE TO EXISTING FINISHES OR MATERIALS TO REMAIN FOR NEW INSTALLATION. REPAIR DAMAGE CAUSED DURING WORK AT NO EXTRA COST TO THE OWNER.
- THIS DRAWING IS FOR GENERAL REFERENCE AND ORIENTATION. ALL EXISTING EQUIPMENT, DUCTWORK, ETC. SHOWN WERE ORIENTED PER ORIGINAL CONSTRUCTION DOCUMENTS, AND FIELD OBSERVATION WHEN POSSIBLE. ACTUAL LOCATIONS, SIZES, QUANTITY, AND CONFIGURATIONS MAY VARY FROM THAT SHOWN. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS. ALL WORK PERFORMED SHALL MEET ALL REQUIREMENTS OF THE SPECIFICATIONS AND SHALL BE AS INDICATED ON ALL CONSTRUCTION DOCUMENTS.
- SEE ELECTRICAL, PLUMBING, MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON REMOVAL, REUSE, & RELOCATION OF EXISTING EQUIPMENT, PIPING, CONDUIT, DUCTWORK, ETC.

**PLUMBING KEYED NOTES**

- RECONNECT EXISTING FIXTURE TO EXISTING SANITARY AND VENT PIPING. VERIFY IN FIELD EXISTING SANITARY AND VENT PIPING SIZES, LOCATIONS, AND ELEVATIONS
- RECONNECT EXISTING FIXTURE TO EXISTING COLD WATER PIPING. VERIFY IN FIELD EXISTING COLD WATER PIPING SIZES, LOCATIONS, AND ELEVATIONS
- CONNECT NEW LAVATORY TO EXISTING COLD WATER, HOT WATER, SANITARY AND VENT PIPING. VERIFY IN FIELD EXISTING PIPING SIZES, LOCATIONS, AND ELEVATIONS
- CONNECT NEW ELECTRIC WATER COOLER TO EXISTING COLD WATER, SANITARY, AND VENT PIPING. VERIFY IN FIELD EXISTING PIPING SIZES, LOCATIONS, AND ELEVATIONS
- CONNECT TO EXISTING SANITARY AND VENT PIPING. (VENT PIPING SHOWN OFFSET FOR CLARITY.) VERIFY IN FIELD EXISTING SANITARY AND VENT PIPING SIZES, LOCATIONS, AND ELEVATIONS

**NOTE:**  
ALL WORK SHALL COMPLY WITH DRAWINGS AND SPECIFICATIONS. THIS IS A PROTOTYPICAL DESIGN. ANY FIELD CHANGES REQUIRE OWNER OR ARCHITECT APPROVAL.

| No. | Description          | CONSTR. DOC. & REVISIONS |
|-----|----------------------|--------------------------|
| 1   | ADDENDUM #2          |                          |
| 2   | POST BID ADDENDUM #5 |                          |

Date: 11/29/23  
01/29/24

Drawn By/Checked By: JCM/JMG  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22



**PLUMBING KEYED NOTES**

- 1 NEW ROOFTOP UNIT CONDENSATE TO SPILL ON ROOF. SEE DETAIL #6/P1.0. (TYPICAL ALL ROOFTOP UNITS)
- 2 CONDENSATE PIPING SHALL BE SUPPORTED ON MIFAB PIPESTANDS. SEE ROOF PIPING SUPPORT DETAIL ON SHEET P1.0 FOR SPECIFICATION. PROVIDE WITH MIFAB PIPE STRAP. CONNECT TO GUIDE HOLES AT THE TOP OF THE PIPE STAND WITH #8 STAINLESS STEEL SCREWS. LAY BLOCKING FLAT AND CENTER BELOW PIPING. DO NOT ATTACH PIPESTAND TO ROOF. TYPICAL AT ALL RTUs.
- 3 CONNECT NEW SINK TO EXISTING COLD WATER, SANITARY, AND VENT PIPING. VERIFY IN FIELD EXISTING PIPING SIZES, LOCATIONS, AND ELEVATIONS. SEE SHEET P1.0 FOR POINT OF CONNECTION TO EXISTING PIPING, AND INSTANT FLOW WATER HEATER (WH-2) DETAIL.
- 4 ALL DOWNSPOUTS SHALL BE PIPED TO STORM - SEE DETAIL #9 ON SHEET P1.0, AS WELL AS CIVIL AND ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 5 REPLACE EXISTING 6" SANITARY SEWER LINE BELOW NEW ADDITION. SEE ENLARGED DEMO PLAN FOR MORE INFORMATION.
- 6 REPLACE EXISTING UNDERGROUND 2" DOMESTIC WATER LINE BELOW NEW ADDITION. SEE ENLARGED DEMO PLAN FOR MORE INFORMATION.
- 7 CONNECT TO EXISTING SANITARY SEWER. VERIFY IN FIELD EXISTING PIPING SIZES, LOCATIONS, AND ELEVATIONS.
- 8 CONNECT TO EXISTING 2" DOMESTIC WATER SERVICE UPSTREAM OF EXISTING RISER AND HOUSE VALVE. VERIFY IN FIELD EXISTING PIPING SIZES, LOCATIONS, AND ELEVATIONS.
- 9 NOT USED.
- 10 6" FIRE PROTECTION LINE INCOMING SERVICE BELOW GRADE. SEE CIVIL DRAWINGS FOR BACKFLOW DEVICE LOCATION AND CONTINUATION. FIRE PROTECTION CONTRACTOR'S WORK SHALL BEGIN AT 6" BLIND FLANGE 5'-0" OUTSIDE OF THE BUILDING PROVIDED BY CIVIL.
- 11 PROVIDE SHUT-OFF VALVE WITH SUPERVISORY SWITCH IN VERTICAL RISE.
- 12 LABEL NEW FIRE PROTECTION PIPING PRIOR TO CONNECTION WITH EXISTING RISER: "6" EXPRESS MAIN - NO FITTINGS ALLOWED"
- 13 CONNECT TO EXISTING FIRE RISER ABOVE FINISHED FLOOR, UPSTREAM OF ALL ACCESSORIES. FIELD VERIFY EXISTING ELEVATIONS AND RAISE RISER IF REQUIRED FOR RECONNECTION.
- 14 DEMO EXISTING UNDERGROUND 6" FIRE LINE UPSTREAM OF EXISTING FIRE RISER. SEE CIVIL FOR CONTINUATION.
- 15 DEMO EXISTING SANITARY PIPING AS INDICATED BY DASHED LINE. FIELD VERIFY EXISTING LOCATIONS AND ELEVATIONS.
- 16 DEMO EXISTING DOMESTIC COLD WATER PIPING AS INDICATED BY DASHED LINE. FIELD VERIFY EXISTING LOCATIONS AND ELEVATIONS. SEE CIVIL DRAWINGS FOR CONTINUATION.
- 17 ROUTE NEW 2" VENT PIPING AS HIGH AS POSSIBLE, AND DROP IN CONCEALED LOCATION TO NEW SINK-1 AND P-1. SEE ENLARGED PLANS ON SHEET P1.0 FOR CONTINUATION OF SANITARY AND VENT PIPING.
- 18 PUMP DISCHARGE PIPING SHALL BE 2" PVC SCHEDULE 80 PRESSURE PIPE WITH PVC SCHEDULE 80 PRESSURE FITTINGS, OR CAST IRON WHERE REQUIRED BY CODE. ROUTE NEW 2" SANITARY PIPING FROM P-1 AS HIGH AS POSSIBLE, AND DROP IN CONCEALED LOCATION TO CONNECT TO EXISTING SANITARY LINE. SEE ENLARGED PLANS ON SHEET P1.0 FOR CONTINUATION OF SANITARY AND VENT PIPING.
- 19 ROUTE 2" SANITARY FROM SINK-1 AT A SLOPE OF 1/4" TO P-1 INLET. SEE DRAIN PUMP (P-1) DETAIL ON SHEET P1.0 FOR MORE INFORMATION.

ALL WORK SHALL COMPLY WITH DRAWINGS AND SPECIFICATIONS. THIS IS A PROTOTYPICAL DESIGN. ANY FIELD CHANGES REQUIRE OWNER OR ARCHITECT APPROVAL.

ALL CONDENSATE PIPING SHALL BE PAINTED LIGHT GRAY. EXISTING PIPING SHALL BE PAINTED AND/OR TOUCHED UP TO LIKE NEW CONDITION.

PROVIDE STANDARD SLOTTED UNISTRUT SUPPORT (P1000T).

SYMBOLS AND ABBREVIATIONS:  
SEE SHEET M1.0

**2 ENLARGED PLUMBING DEMOLITION PLAN**  
SCALE: 3/32" = 1'-0"

**CIVIL ENGINEERING DESIGN COORDINATION NOTICE**

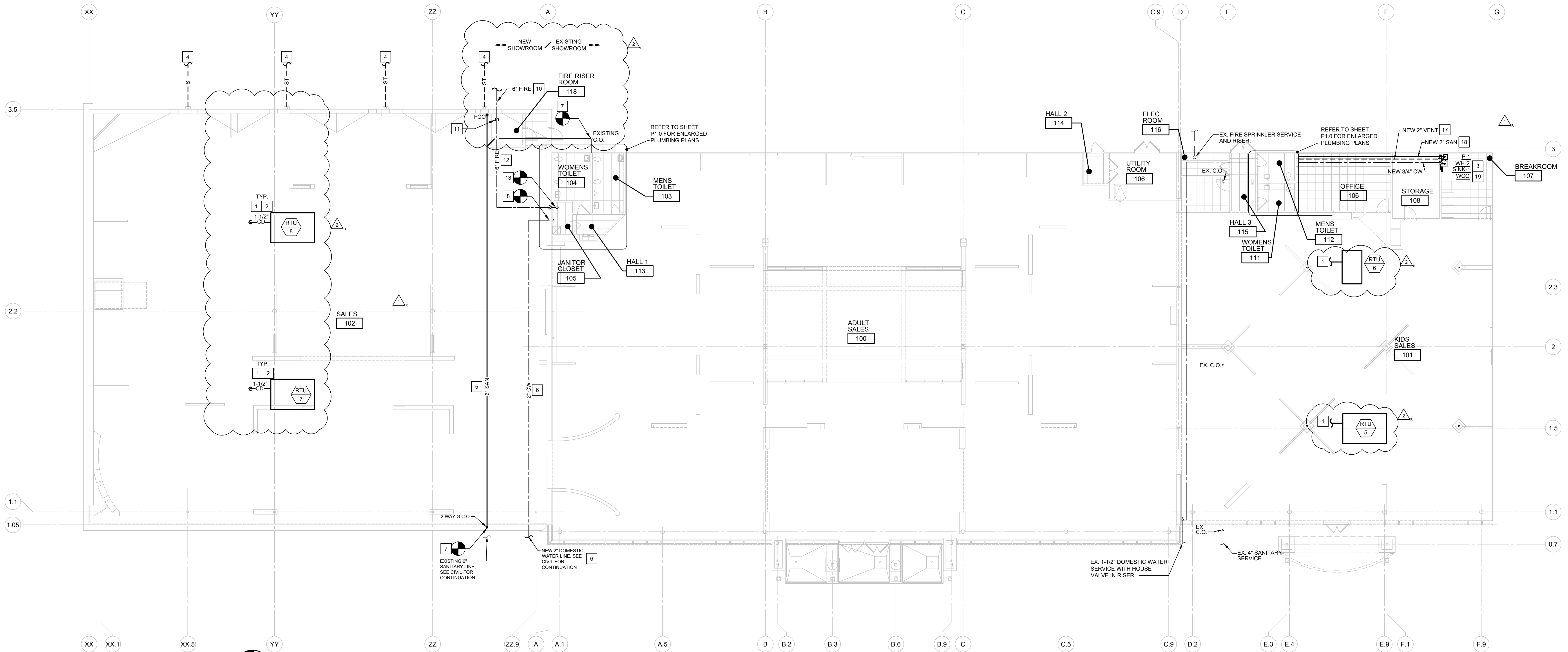
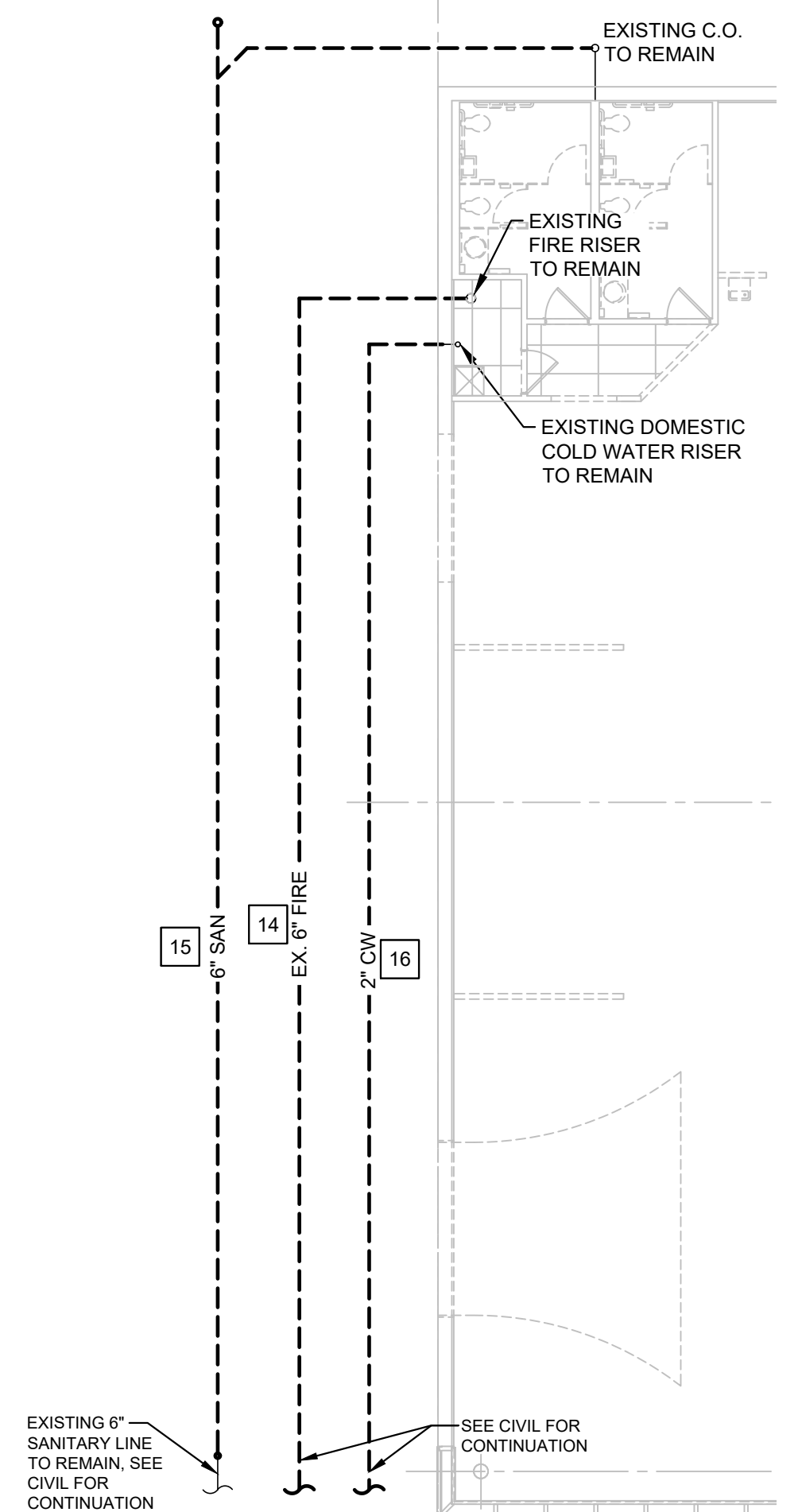
NOTICE TO ALL PARTIES HAVING AN INTEREST IN THIS CONSTRUCTION PROJECT:

- 1.) CIVIL ENGINEERING FOR THIS PROJECT IS BEING PERFORMED BY OTHERS.
- 2.) CONTRACTORS RELYING ON DOCUMENTS NOT COORDINATED WITH THE CIVIL ENGINEERING WORK SHALL DO SO AT THEIR OWN RISK.
- 3.) COORDINATION WITH THE CIVIL ENGINEERING DOCUMENTS HAS BEEN COMPLETED ONLY AS SHOWN BELOW.

CIVIL ENGINEERING CONSULTANT IS: CKE\_GROUP\_INCORPORATED  
WESTON\_FL

| CIVIL SHT. DWG. NO. | CIVIL SHEET DWG. TITLE | REV. NO. | REV. DATE | REV. NO. | REV. DATE |
|---------------------|------------------------|----------|-----------|----------|-----------|
| C-3                 | UTILITY_PLAN           | 1        | 02/06/23  | BID      | 11/6/23   |

| COORDINATION CHECKED BY |  | INITIAL | DATE     | INITIAL | DATE     |
|-------------------------|--|---------|----------|---------|----------|
| DISCIPLINE: PLUMBING    |  | JCM     | 02/10/23 | JCM     | 11/28/23 |



**1 PLUMBING PLAN**  
SCALE: 3/32" = 1'-0"

**ROOMS TO GO**

STORE EXPANSION AND REMODEL

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

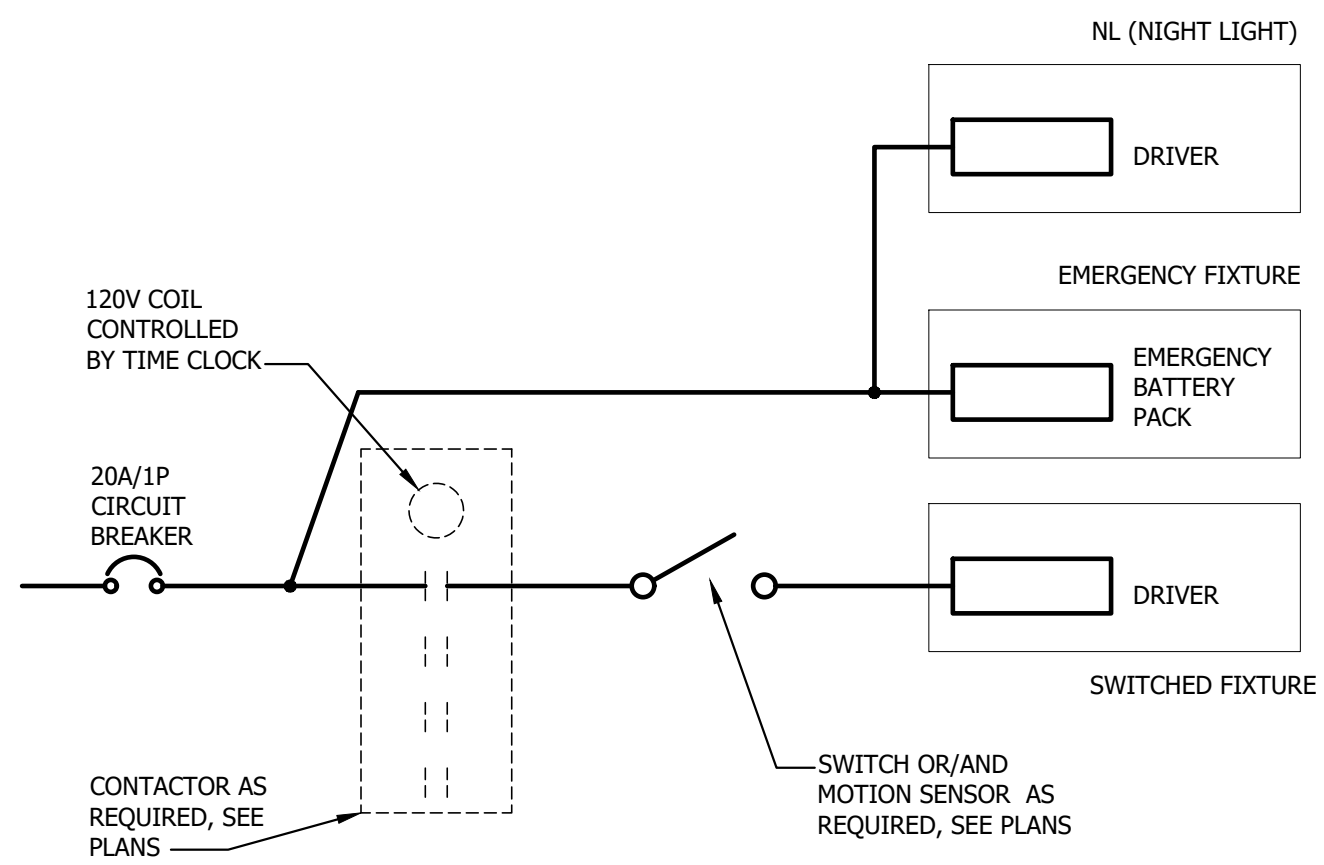
CONSTR. DOC. & REVISIONS

| No. | Description          | Date     |
|-----|----------------------|----------|
| 1   | ADDENDUM #2          | 11/29/23 |
| 2   | POST BID ADDENDUM #5 | 01/29/24 |

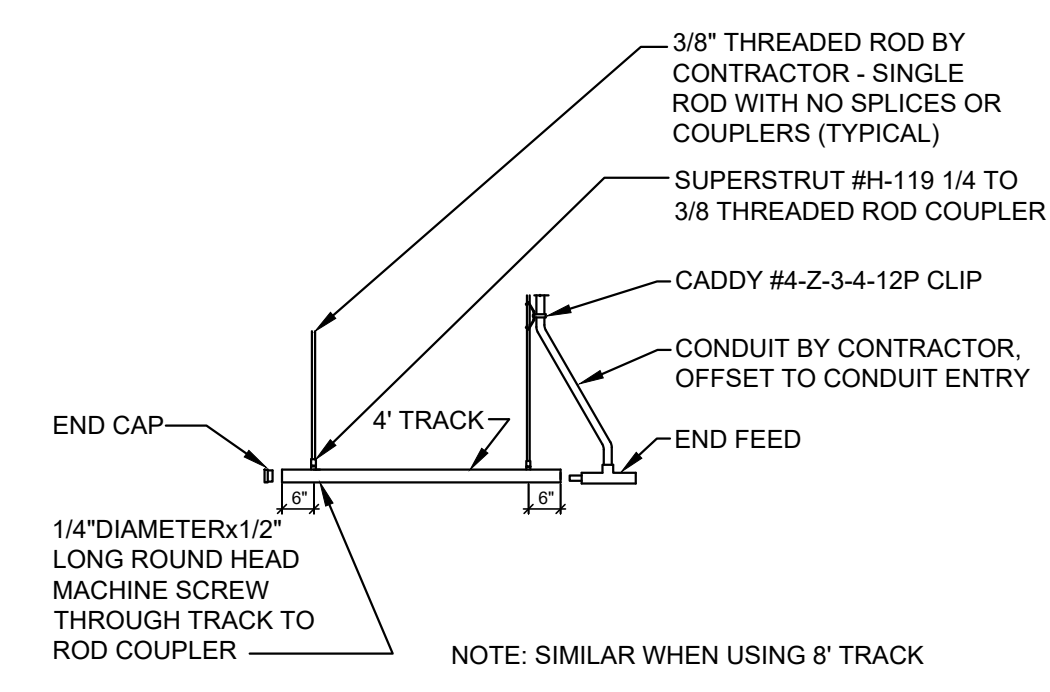
Drawn By/Checked By: JCM/MCG  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**PLUMBING PLAN**  
**P2.0**

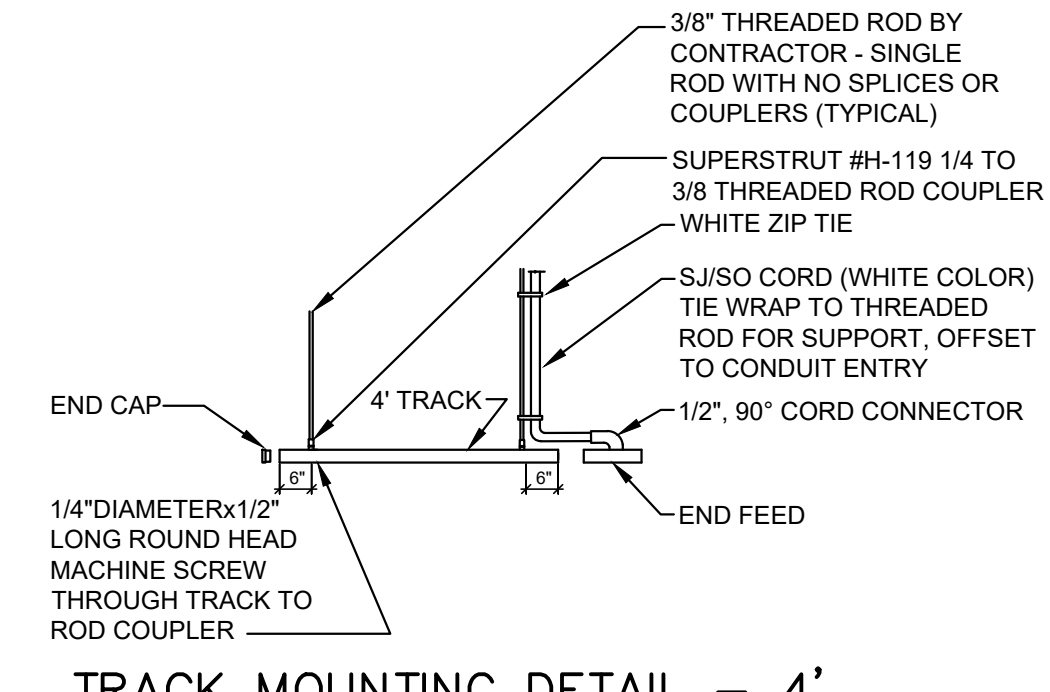
**NOTE:**  
WIRING DIAGRAM IS FOR INFORMATION ONLY. EMERGENCY BATTERY CONNECTION MAY BE DIFFERENT THAN SHOWN ON THIS DETAIL. REFER TO MANUFACTURER'S SPECIFICATIONS/INSTALLATION INSTRUCTIONS. THE EMERGENCY BATTERY MUST BE FED FROM THE SAME CIRCUIT AS THE AC DRIVER.



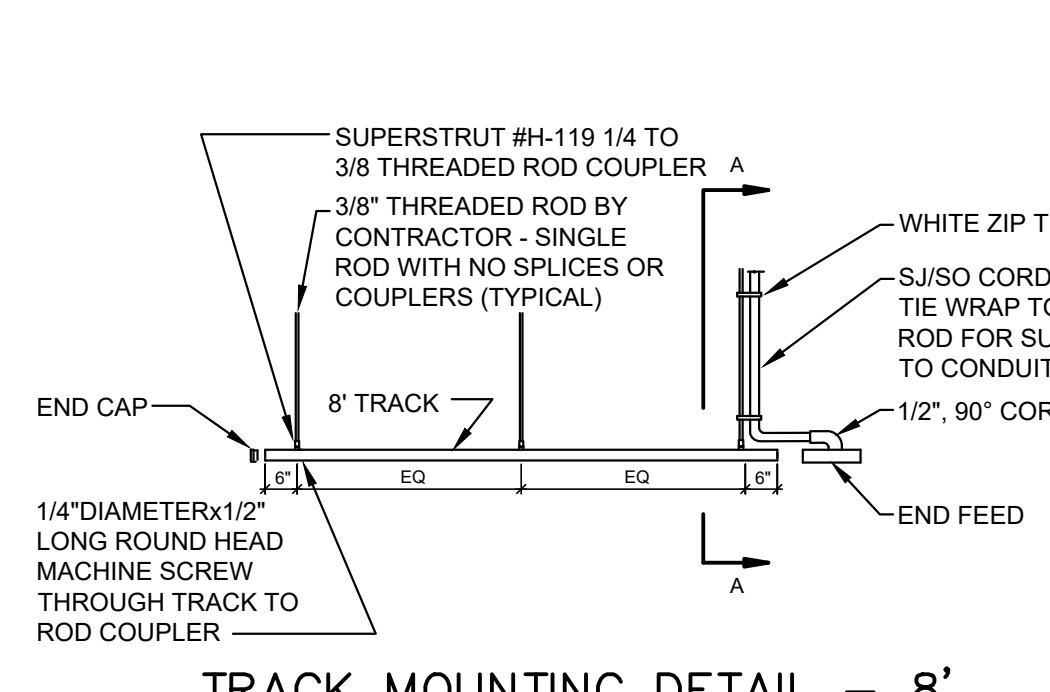
**1** TYPICAL EMERGENCY BATTERY WIRING  
SCALE: NOT TO SCALE



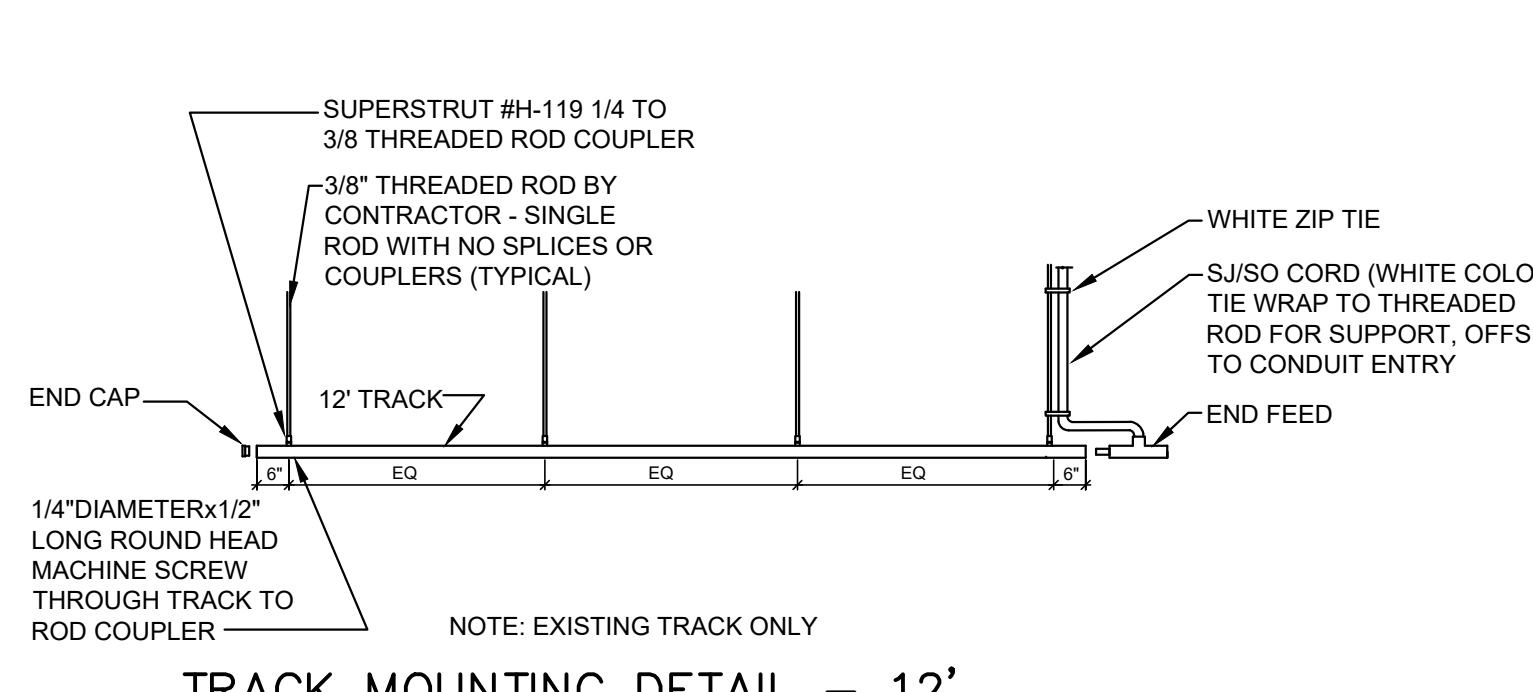
ALTERNATE TRACK MOUNTING DETAIL



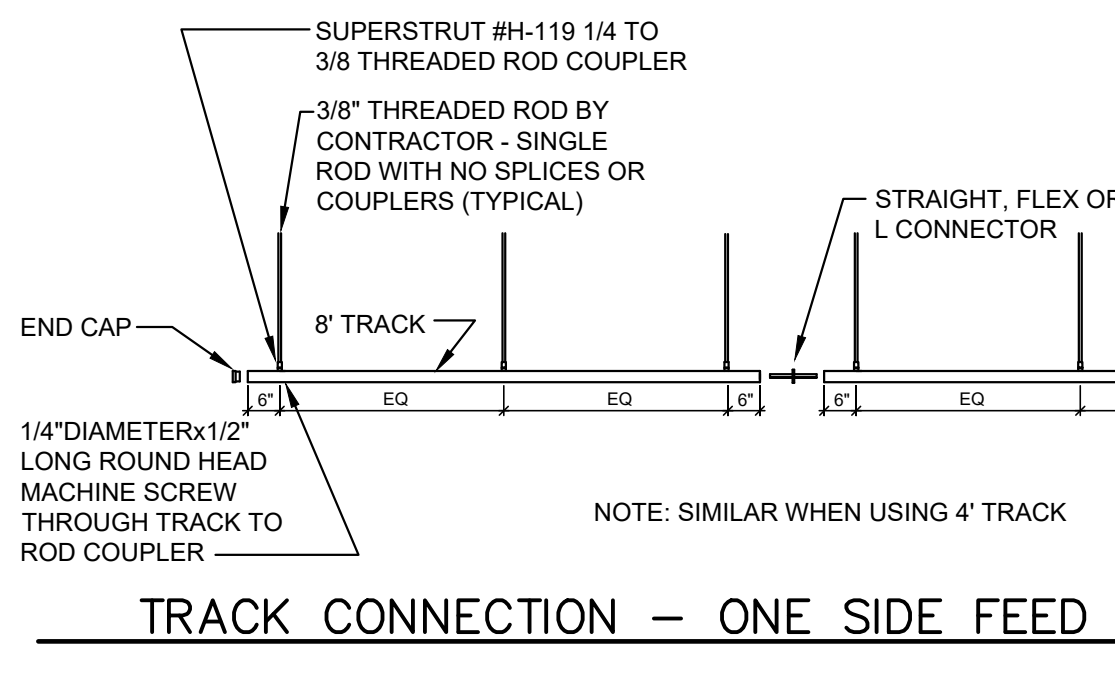
TRACK MOUNTING DETAIL - 4"



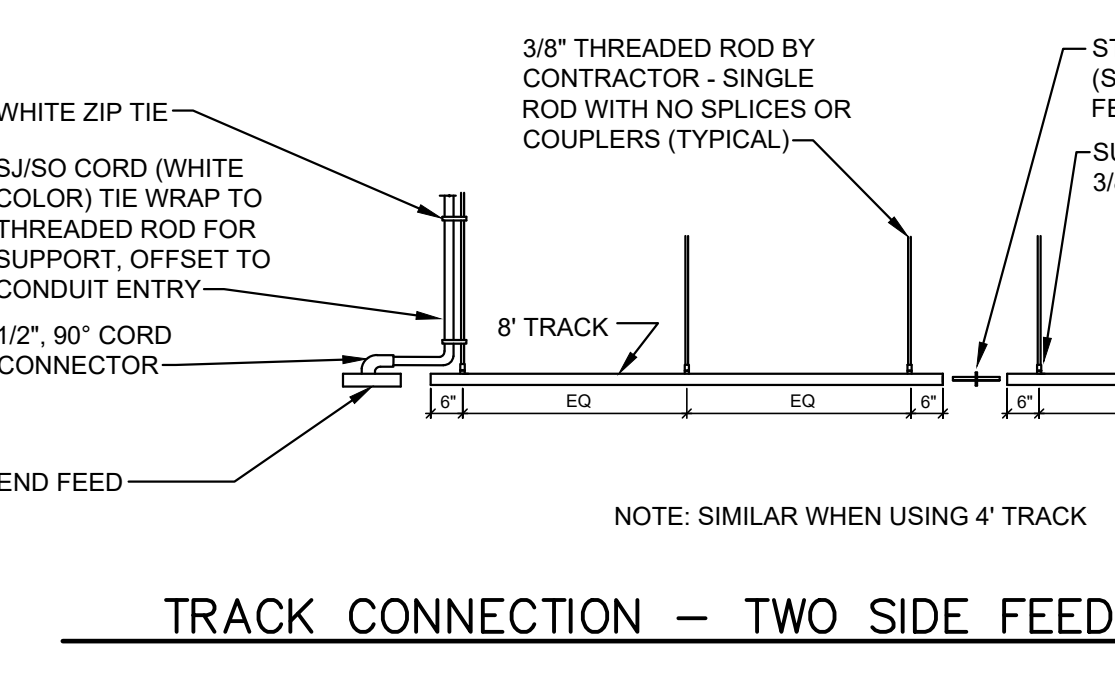
TRACK MOUNTING DETAIL - 8"



TRACK MOUNTING DETAIL - 12"



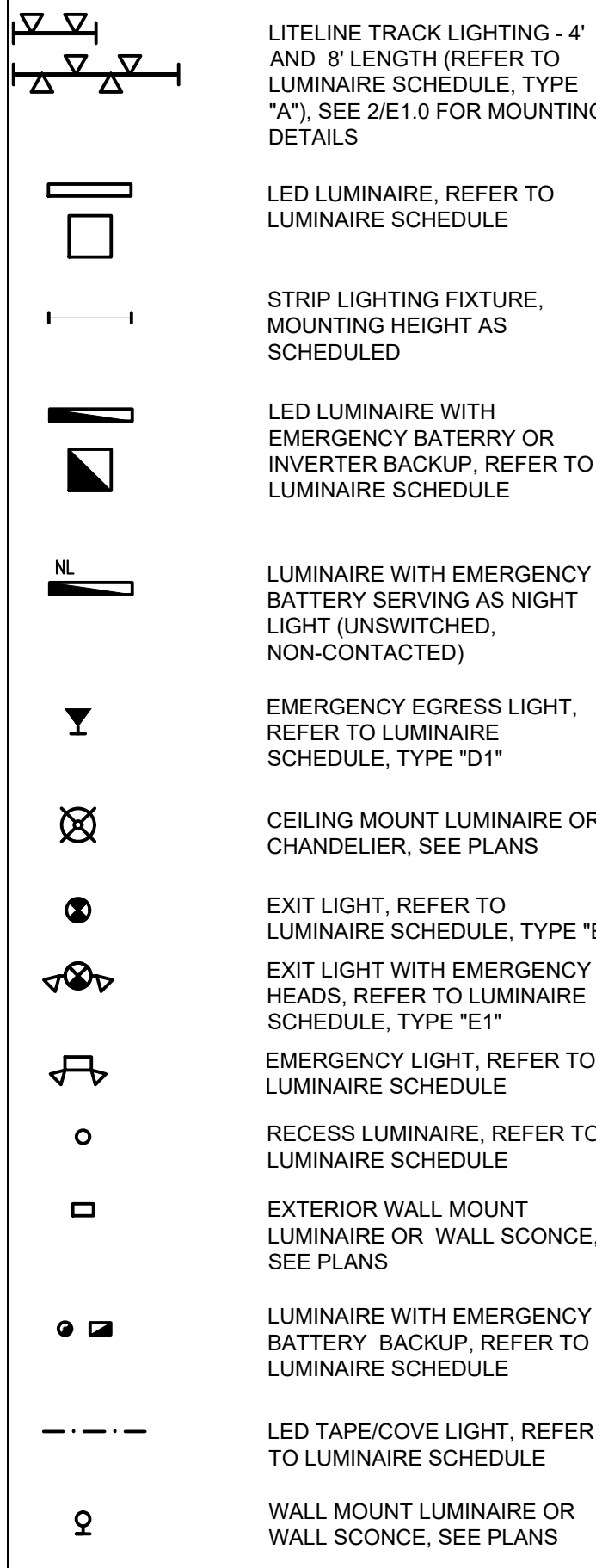
TRACK CONNECTION - ONE SIDE FEED



TRACK CONNECTION - TWO SIDE FEED

**2** TRACK MOUNTING DETAILS  
SCALE: NOT TO SCALE

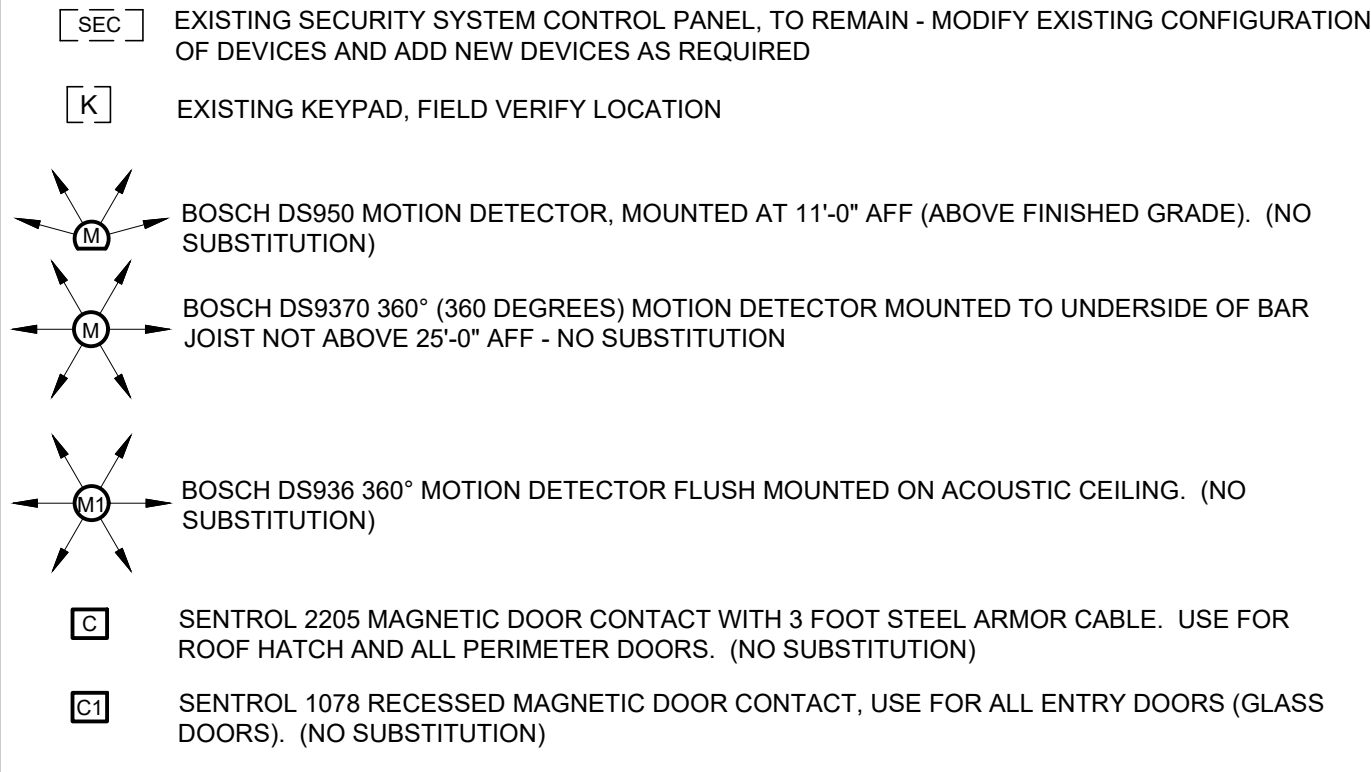
**LIGHTING PLAN LEGEND**



**SECURITY SYSTEM**

\*REFER TO SPECIFICATION SECTION 16052 IN THE PROJECT MANUAL\*

**SECURITY SYSTEM LEGEND**



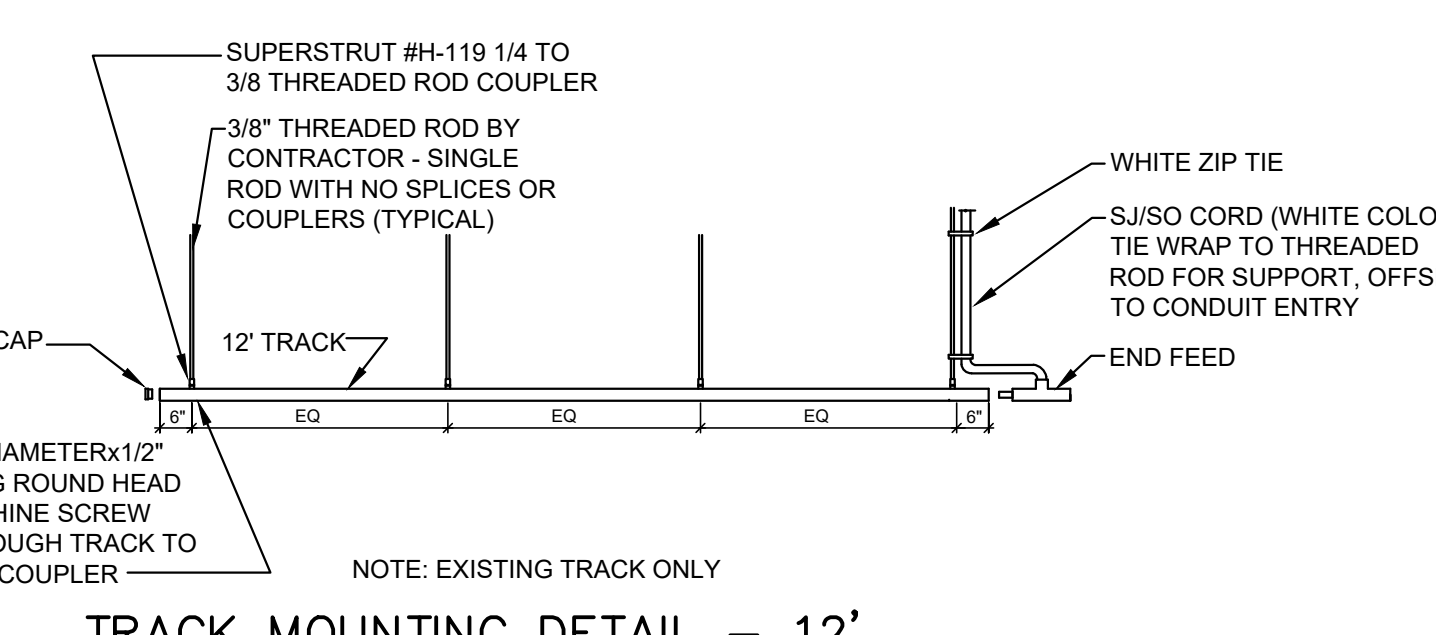
**SECURITY SYSTEM NOTES**

- ELECTRICAL CONTRACTOR SHALL FURNISH, INSTALL AND PLACE INTO OPERATION A COMPLETE ELECTRONICALLY OPERATED, CLOSE CIRCUIT ADDRESSABLE SECURITY SYSTEM AS DESCRIBED HEREIN AND SHOWN ON THE PLANS.
- ALL EXISTING SECURITY EQUIPMENT AND DEVICES TO REMAIN UNLESS NOTED OTHERWISE. REUSE/RELOCATE EXISTING DEVICES OR PROVIDE NEW SECURITY SYSTEM DEVICES AS REQUIRED.
- ALL SECURITY SYSTEM EQUIPMENT SHALL MEET APPLICABLE UL, NFPA AND NEC STANDARDS, OR AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- ALL WIRE AND CABLING SHALL BE APPROVED FOR SECURITY ALARM SYSTEM USE AND BE LABELED AS NEC TYPE CL2 OR HIGHER.
- ALL CABLE SHALL BE NEATLY CONCEALED IN JOIST SPACE OR FISHED IN CONCEALED SPACES WITH SUPPORTS AND INSTALLATION PER CODE. EXTEND CONDUIT FOR ALL SECURITY SYSTEM WIRING TO UNDERSIDE OF BAR JOIST. KEEP SECURITY AND FIRE ALARM WIRING SEPARATE AT ALL TIMES.
- PROVIDE SECURITY DOOR CONTACT(S) AT EACH DOOR, INCLUDING ROOF HATCH. PROVIDE MOTION DETECTOR AT EACH ENTRY DOOR, AT MANAGER'S ENTRY DOOR, AT OFFICE DOOR, AND RECEIVING OVERHEAD DOOR (IF APPLICABLE).
- SECURITY ALARM DOOR CONTACT SHALL BE ACTIVE AT ALL TIMES FOR EGRESS ONLY DOOR(S). WHEN THE STORE IS OPEN FOR BUSINESS AND SYSTEM IS DISARMED, THE EGRESS ONLY DOOR(S), IF OPENED, SHALL ACTIVATE A LOCAL ALARM HORN. WHEN THE STORE IS CLOSED AND SYSTEM IS ARMED THE EGRESS ONLY DOOR(S), IF OPENED, SHALL SET OFF ALL LOCAL ALARMS AND NOTIFY THE MONITORING COMPANY SIMILAR TO ANY OTHER SECURITY DEVICE.

**NOTE TO CONTRACTOR:**

SECURITY SYSTEM DETAILS AND NOTES ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL FIELD VERIFY IF EXISTING SECURITY SYSTEM CONTROL PANEL IS IN GOOD CONDITION, AND IF SO IT CAN BE REUSED, AS WELL AS ALL OTHER SECURITY SYSTEM DEVICES. PROVIDE NEW SECURITY SYSTEM DEVICES AS REQUIRED OR SHOWN ON PLANS. COORDINATE WITH OWNER.

THE CONTRACTOR SHALL RETAIN AND PAY FOR A "PROFESSIONAL OF RECORD" FOR ALL SECURITY SYSTEM WORK. THE DRAWINGS AND ALL SPECIFICATIONS FOR ALL SECURITY SYSTEM WORK ARE PERFORMANCE IN SCOPE AND INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, LAYOUT, DETAILS, DRAWINGS, DOCUMENTS, MATERIALS, EQUIPMENT, LABOR AND ALL CRITERIA TO MEET GOVERNING AUTHORITIES, CODES, REGULATIONS AND UNDERWRITER'S REQUIREMENTS FOR ALL SECURITY SYSTEM WORK. CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. A COMPLETE SET OF ALL REQUIRED DOCUMENTS SHALL BE PREPARED AND SUBMITTED FOR APPROVAL.



**DETAIL "A"**

**LITELINE A-LINE TRACK LIGHTING DIMENSIONS**

| MODEL NUMBER: | ACTUAL LENGTH: |
|---------------|----------------|
| ATK04-WH      | 44 1/8"        |
| ATK08-WH      | 92 1/8"        |

**REMARKS:**

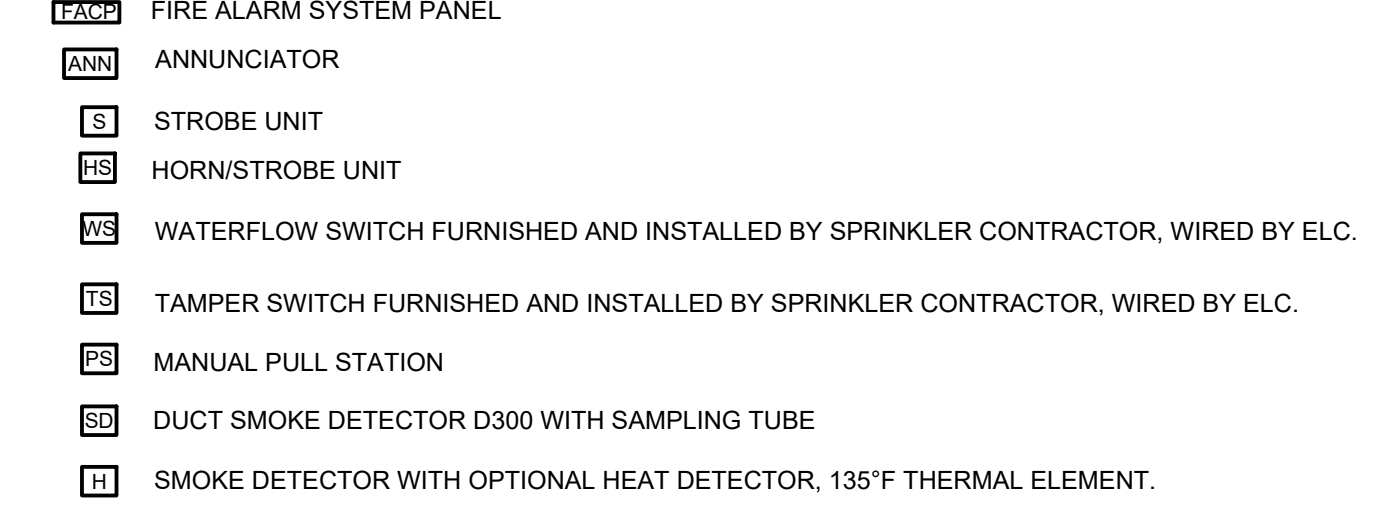
- ACTUAL TRACK LENGTH WITHOUT CONNECTORS SHOWN.
- LITELINE TRACK IS UL LISTED FOR FIELD CUTTING AND DRILLING AND DOES NOT VOID UL LISTING BY DOING SO.
- LITELINE TRACK HEADS ARE PROVIDED WITH UL LABEL FOR MAXIMUM LOAD OF 20W.
- OWNER WILL ADDRESS SUPPLY/INSTALL OF TRACK, HEADS, COMPONENTS AND LAMPS IN CONTRACT.

- TRACK MOUNTING DETAIL NOTES:**
- PROVIDE UNISTRUT SUPPORT WHERE REQUIRED, COORDINATE WITH OWNER.
  - SPIN UNISTRUT BETWEEN BAR JOIST MEMBERS ON BOTTOM CHORD OF BAR JOIST (NOT ORDER), MOUNT UNISTRUT WITH OPEN SIDE FACING UP (CEILING). TRIM OFF EXCESS OF UNISTRUT BEYOND THE BAR JOIST MEMBER - MAXIMUM CANTILEVER OF UNISTRUT SUPPORTS TO BE NO MORE THAN 18" (THIS IS THE ONLY APPLICATION WHERE UNISTRUT SUPPORT IS ALLOWED ON BOTTOM OF BOTTOM CHORD).
  - THREADED ROD SHALL BE ONE PIECE ONLY - SINGLE ROD WITH NO SPLICES OR COUPLERS, CUT OFF EXCESS OF THREADED ROD ABOVE BOTTOM OF BAR JOIST. FIELD DRILL MOUNTING HOLES AS REQUIRED.
  - ALL CONDUIT AND J-BOXES SHALL BE LOCATED ABOVE BOTTOM OF BAR JOIST. PROVIDE SUPPORT, PROTECTION FROM PHYSICAL DAMAGE AND CONNECTIONS FOR VERTICAL DROPS PER NATIONAL ELECTRICAL CODE AND SPECIFICATIONS.
  - IF ALLOWED BY AHJ, SJSO CORD (WHITE COLOR) MAY BE USED FOR VERTICAL POWER DROP FROM BAR JOIST J-BOX TO END FEED OR TRACK AS SHOWN IN TRACK MOUNTING DETAILS. INSTALL PER NEC REQUIREMENTS AND SPECIFICATIONS. IF LOCAL AUTHORITY PROHIBITS USE OF SJSO CORD, POWER DROP SHALL BE EMT CONDUIT SUPPORTED TO THREADED ROD BY CADDY CLIPS.

**FIRE ALARM SYSTEM**

\*REFER TO SPECIFICATION SECTION 16052 IN THE PROJECT MANUAL\*

**FIRE ALARM SYSTEM LEGEND**



**FIRE ALARM SYSTEM NOTES**

- ELECTRICAL CONTRACTOR SHALL REMOVE EXISTING FIRE ALARM PANEL AND FURNISH, INSTALL AND PLACE INTO OPERATION A NEW COMPLETE ELECTRONICALLY OPERATED, CLOSE CIRCUIT ADDRESSABLE FIRE ALARM SYSTEM AS DESCRIBED HEREIN AND SHOWN IN FIRE ALARM PLANS.
- THE FIRE ALARM SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND IN COMPLIANCE WITH APPLICABLE PROVISIONS OF STANDARD #72 PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION AND MEET LOCALLY ENFORCED CODE AND ADA REQUIREMENTS.
- PROVIDE NAC EXPANDER AS REQUIRED.
- THE ELECTRICAL CONTRACTOR OR FIRE ALARM SYSTEM SUPPLIER SHALL CONTACT THE ENGINEER WITH ANY COMMENTS, EXCEPTIONS AND/OR RESERVATIONS TO THE DRAWINGS AND SPECIFICATIONS PRIOR TO BID. BY NOT IDENTIFYING ANY DIFFERENCES PRIOR TO BID, THE CONTRACTOR IS NOT ENTITLED TO ANY ADDITIONAL MONEY.
- IT SHALL BE THE RESPONSIBILITY OF THE FIRE ALARM SYSTEM SUPPLIER TO PROVIDE COMPLETE SYSTEM DRAWINGS TO ACCOMPANY THE SUBMITTALS.
- ALL COMPONENTS OF THE SYSTEM SHALL BE U.L. LISTED FOR THEIR INTENDED USE. CONTROL PANELS, DETECTORS, SIGNAL DEVICES AND OTHER FIELD DEVICES SHALL ALL BEAR THE APPROPRIATE U.L. FIRE LABEL. COORDINATE WIRE REQUIREMENTS WITH EQUIPMENT MANUFACTURER.
- PROVIDE SIGNAL POWER EXPANDERS AND END OF LINE RESISTORS AS REQUIRED.
- PROVIDE SURGE PROTECTIVE DEVICE FOR EACH CIRCUIT FEEDING FIRE ALARM SYSTEM.
- SYSTEM OPERATION, TESTING, TURN OVER, WARRANTY, COMPLIANCE, AND AFTER MARKET SERVICE SHALL BE PROVIDED BY THE CONTRACTOR (OR SUPPLIER).
- ALL CABLE SHALL BE U.L. LISTED FIRE ALARM CABLE, POWER LIMITED, WHITE COLOR UNLESS REQUIRED BY CODE OTHERWISE. NEATLY CONCEALED EXPOSED IN CEILING JOIST SPACE (I.E. FOLLOW STEEL FRAMING) OR FISHED IN CONCEALED SPACES WITH SUPPORTS AND INSTALLATION PER CODE. CONDUIT NOT REQUIRED EXCEPT WHERE NOTED OR WHERE REQUIRED BY CODE.
- FOR SURFACE MOUNTED ALARM DEVICES J-BOX SHALL BE A DEEP BACKBOX, RED IN COLOR, WHEEL LOCK DBB-R #255 OR SIMILAR, UNLESS NOTED OTHERWISE ON PLANS. THE STANDARD ELECTRICAL J-BOX IS NOT ACCEPTABLE.
- ALL NOTIFICATION DEVICES SHALL BE WHITE IF ALLOWED BY AHJ. ALL NOTIFICATION DEVICES IN SALES AREA TO BE CEILING MOUNTED IF ALLOWED BY AHJ. FIRE ALARM DEVICE LOCATIONS IN SHOWROOM/SALES AREA TO BE CONFIRMED WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL AIR HANDLING UNITS DUCT DETECTORS SHALL BE CONNECTED TO THE FIRE ALARM SYSTEM AND WHEN ACTIVATED SHALL SEND A GENERAL ALARM CONDITION. THE UNITS WILL SHUT DOWN AND SHALL BE ABLE TO BE RESET AT THE FIRE ALARM PANEL.
- FIRE ALARM CONTRACTOR SHALL PROVIDE A SMOKE MACHINE FOR THE FIRE ALARM ACCEPTANCE TEST.
- THE CONTRACTOR/FIRE ALARM SYSTEM SUPPLIER SHALL GUARANTEE THE SYSTEM EQUIPMENT FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF THE SYSTEM. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WIRING AND RACEWAYS TO BE FREE FROM INHERENT MECHANICAL OR ELECTRICAL DEFECTS FOR ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF THE SYSTEM. AS-BUILTS SHALL BE SUBMITTED TO OWNER IN WARRANTY MANUAL.
- THE FIRE ALARM SYSTEM SHALL TRANSMIT TO UL LISTED CENTRAL STATION. THE INSTALLING CONTRACTOR IS RESPONSIBLE FOR THE MONITORING OF THE FIRE ALARM AND SECURITY SYSTEM FOR UP TO 60 CALENDAR DAYS AFTER ACTIVATION OF THE FIRE ALARM/SECURITY SYSTEM.

**NOTES TO CONTRACTOR**

FIRE ALARM DETAILS AND NOTES ARE FOR REFERENCE ONLY.  
FIRE ALARM SHOP DRAWINGS SHALL BE SUBMITTED FOR PERMIT TO FIRE/BUILDING DEPARTMENT - A SEPARATE SUBMITTAL IS REQUIRED FROM THE DESIGNER.

THE CONTRACTOR SHALL RETAIN AND PAY FOR A "PROFESSIONAL OF RECORD" FOR ALL FIRE ALARM SYSTEM WORK. THE DRAWINGS AND ALL SPECIFICATIONS FOR ALL FIRE ALARM WORK ARE PERFORMANCE IN SCOPE AND INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, LAYOUT, DETAILS, DRAWINGS, DOCUMENTS, MATERIALS, EQUIPMENT, LABOR AND ALL CRITERIA TO MEET GOVERNING AUTHORITIES, CODES, REGULATIONS AND UNDERWRITER'S REQUIREMENTS FOR ALL FIRE ALARM WORK. A COMPLETE SET OF ALL REQUIRED DOCUMENTS SHALL BE PREPARED AND SUBMITTED TO THE PROPER AUTHORITIES.

**GENERAL NOTES:**

- ALL WIRING SHALL BE #12 AWG UNLESS NOTED OTHERWISE.
- ALL CONDUIT BELOW FLOOR SHALL BE 3/4" MINIMUM (EXCEPT AS NOTED). CONTRACTOR MAY USE PVC (POLYVINYL CHLORIDE) WITH GROUND WIRE IF ACCEPTABLE BY AUTHORITIES. CONTRACTOR SHALL INCREASE CONDUIT SIZE IF NECESSARY TO ACCOMMODATE GROUND WIRE. ALL CONDUIT ABOVE FLOOR SHALL BE A MINIMUM 1/2". ALL CONDUIT SHALL BE CONCEALED EXCEPT IN UTILITY ROOM AND AT CT CABINET.
- ALL RECEPTACLES, SWITCHES, TELEPHONE OUTLETS AND COVER PLATES SHALL BE WHITE COLOR, EXCEPT TELEPHONE/COMPUTER (T/C) RECEPTACLES AS SCHEDULED, OR IF OTHERWISE NOTED.
- PROVIDE CODE SIZED GROUND CONDUCTOR IN ALL RACEWAYS. (NOT SHOWN WITH HASH MARKS - PROVIDE GROUND CONDUCTOR IN ADDITION TO THE CONDUCTORS SHOWN).
- ALL EQUIPMENT SHALL BE LISTED AND LABELED PER NEC AND ALL OTHER APPLICABLE CODES.
- SEAL ALL PENETRATIONS THROUGH RATED WALLS, FLOOR, CEILING, PER CODE WITH UL LISTED FIRE STOP COMPOUND.
- EXPOSED CONDUIT DROPS ARE NOT ALLOWED TO PARTITIONS. ALL WIRING TO PARTITIONS SHALL BE CONCEALED, ROUTED UNDERFLOOR. SEE DRAWINGS A1.0 AND A6.0 THROUGH A6.7 FOR DIMENSIONS TO PARTITIONS AND INTERIOR ELEVATIONS.
- ALL HORIZONTAL CONDUIT RUNS ON BUILDING WALLS AND IN CEILING AREA TO BE RUN ABOVE THE BOTTOM CHORD OF ROOF TRUSS (WITHIN BAR JOIST). NO CONDUIT RUNS BELOW THE BAR JOIST OR ON THE EXTERIOR OF BUILDING ALLOWED. PROVIDE RIGID METAL CONDUIT OR IMC AS REQUIRED. AT ENTRY VAULT(S) OR WHERE CONDUIT IS TO BE RUN ABOVE SOLID STEEL BEAMS (GIRDERS), BELOW THE ROOF DECKING.
- DEVICE LOCATIONS IN SHOWROOM/SALES AREA TO BE CONFIRMED WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION.

**ABBREVIATIONS:**

- AFF = ABOVE FINISHED FLOOR  
AFG = ABOVE FINISHED GRADE  
AHJ = AUTHORITY HAVING JURISDICTION  
C = CURRENT TRANSFORMER  
CON = CONDUIT  
EF = EXHAUST FAN  
EWC = ELECTRICAL CONTRACTOR  
EWC = ELECTRIC WIRE CARRIER  
GC = GENERAL CONTRACTOR  
GF = GROUND FAULT INTERRUPTER  
GR = GROUND  
IG = ISOLATED GROUND
- J-BOX = JUNCTION BOX  
MDP = MAIN DISTRIBUTION PANEL  
MT/HT = MOUNTING HEIGHT  
NEC = NATIONAL ELECTRICAL CODE  
NIC = NOT IN CONTRACT  
SPD = SURGE PROTECTIVE DEVICE  
RTU = ROOF TOP UNIT  
T/C = TELEPHONE/COMPUTER STATION  
UH = UNIT HEATER  
UNO = UNLESS NOTED OTHERWISE  
WP = WEATHERPROOF  
XFM = TRANSFORMER

**NOTE: ALL SYMBOLS, NOTES AND ABBREVIATIONS ARE NOT NECESSARILY USED ON THIS PROJECT.**

**LEGEND**

- DUPLEX RECEPTACLE 18" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE, HUBBELL #HBL5352W.
- ISOLATED GROUND OUTLET 18" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE, HUBBELL #HBL5352GY.
- T/C DUPLEX RECEPTACLE 18" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE, HUBBELL #HBL5352GY (GRAY), REFER TO DETAIL ON SHEET E2.2.
- PHONE OUTLET @18" ABOVE FINISHED FLOOR OR AS NOTED, PROVIDE A J-BOX AND 1" STUB-UP 6" ABOVE CEILING, OR AS NOTED ON PLANS.
- DOUBLE DUPLEX RECEPTACLE @ 18" ABOVE FINISHED FLOOR.
- SPECIAL PURPOSE RECEPTACLE 36" ABOVE FINISHED FLOOR OR AS NOTED.
- CONCEALED FLOOR DUPLEX RECEPTACLE, PROVIDE HUBBELL FLOOR BOX #CFB2G30 WITH #24GCVR/ALU ALUMINUM COVER PLATE AND HUBBELL #HBL5352W RECEPTACLE (OUTLETS MOUNTED ON CARPET FLOORS), OR #24GTCV/ALU ALUMINUM COVER PLATE AND HUBBELL #HBL5352W RECEPTACLE (OUTLETS MOUNTED ON HARD FLOORS).
- DISCONNECT SWITCH, AS NOTED ON PLANS.
- MOTOR.
- JUNCTION BOX.
- MULTI-OUTLET RACEWAY ASSEMBLY - SURFACE MOUNTED.
- TELEPHONE/COMPUTER OUTLET, REFER TO DETAIL ON SHEET E2.2 - LOW VOLTAGE CABLES PROVIDED BY OWNER.
- PHONE OUTLET @18" ABOVE FINISHED FLOOR OR AS NOTED, PROVIDE A J-BOX AND 1" STUB-UP 6" ABOVE CEILING, OR AS NOTED ON PLANS.
- DATA OUTLET @18" ABOVE FINISHED FLOOR OR AS NOTED, PROVIDE A J-BOX AND 1" STUB-UP 6" ABOVE CEILING, OR AS NOTED ON PLANS.
- CONDUIT BELOW SLAB OR GRADE.
- INDICATES HOMERUN CONNECT TO PANEL "A", CIRCUIT #2.
- HOMERUN, HASH MARKS REPRESENT NEUTRAL AND HOT WIRE - PROVIDE THREE CONDUCTORS (COLOR CODED PER SPECIFICATIONS) - NEUTRAL, HOT AND GROUND WIRE. SIZE AS INDICATED ON PLANS.
- TOGGLE SWITCH 48" ABOVE FINISHED FLOOR OR AS NOTED, LEVITON #1221-2-W (LINE VOLTAGE) OR #1081-W (LOW VOLTAGE).
- KEY OPERATED TOGGLE SWITCH 48" ABOVE FINISHED FLOOR OR AS NOTED, LEVITON #1221-2L-W - NO EXCEPTIONS. PROVIDE 4 KEYS.
- DIMMER SWITCH 48" ABOVE FINISHED FLOOR OR AS NOTED.
- WALL VACANCY SENSOR, WATTSTOPPER DW-100, MOUNTED AT 48" ABOVE FINISHED FLOOR.
- WALL VACANCY/OCCUPANCY SENSOR, WATTSTOPPER DW-200, MOUNTED AT 48" ABOVE FINISHED FLOOR.
- POLE MOUNTED LUMINAIRE AS SCHEDULED.
- J-BOX FOR TV SYSTEM, FLUSH MOUNT AT 18" ABOVE FINISHED FLOOR OR AS NOTED ON PLANS. COORDINATE REQUIREMENTS WITH ROOMS TO GO AND TV SYSTEM INSTALLER.
- 3/4" CONDUIT WITH PULL STRING BELOW FLOOR - ROUTE CONDUIT TO THE ELECTRICAL ROOM. RG-6 SOLID COPPER COAX CABLE OR CAT6 CABLE PROVIDED BY TV SYSTEM INSTALLER.
- 3/4" CONDUIT DROPS WITH PULL STRING FROM BAR JOIST SPACE TO J-BOXES FOR TV'S (PARTITIONS CONTINUED TO ROOF DECK ONLY). ROUTE CONDUIT TO THE ELECTRICAL ROOM. RG-6 SOLID COPPER COAX CABLE OR CAT6 CABLE PROVIDED BY TV SYSTEM INSTALLER.
- RTU TEMPERATURE SENSOR, PROVIDE J-BOX AT 7'-0" ABOVE FINISHED FLOOR, 1'-0" OFF END OF PARTITION WALL ON NON-MIRRORED SIDE OF PARTITION IN SALES AREA, OR 8'-0" ABOVE FINISHED FLOOR IN OFFICE - COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR.
- RTU THERMOSTAT, PROVIDE J-BOX AT 48" ABOVE FINISHED FLOOR AND 1/2" CONDUIT STUBBED-UP INTO THE CEILING SPACE. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR.
- CO2 SENSOR, PROVIDE J-BOX AT 7'-0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE, AND 3/4" CONDUIT FROM THE TEMPERATURE SENSOR J-BOX, OR STUB UP INTO THE CEILING SPACE AS REQUIRED - COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR.
- PHOTO SENSOR, REFER TO PLANS.
- CEILING MOUNT OCCUPANCY SENSOR, WATTSTOPPER ICI-355.
- CEILING MOUNT VACANCY SENSOR, LEVITON #4CC29-MCJ.
- PUSH BUTTON - EDWARDS #852 MOUNTED 48" ABOVE FINISHED FLOOR.
- BUZZER - EDWARDS #1065-G5 OR CHIME - EDWARDS #338-G5, POWERED FROM EDWARDS #592 TRANSFORMER.
- PARTITION SUPPORT MEMBER, SEE ARCHITECTURAL DRAWING A1.0 FOR LOCATIONS. ROUTE CONDUIT IN PARTITION AROUND SUPPORT MEMBERS.

STORE EXPANSION AND REMODEL

ROOMS TO GO

18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157

Date: 01/29/24  
CONSTR. DOC. & REVISIONS  
Description: ADD #5

No. 1  
CASCO PROFESSIONAL SERVICES, LLC  
ENGINEERING LICENSE NUMBER CA296655

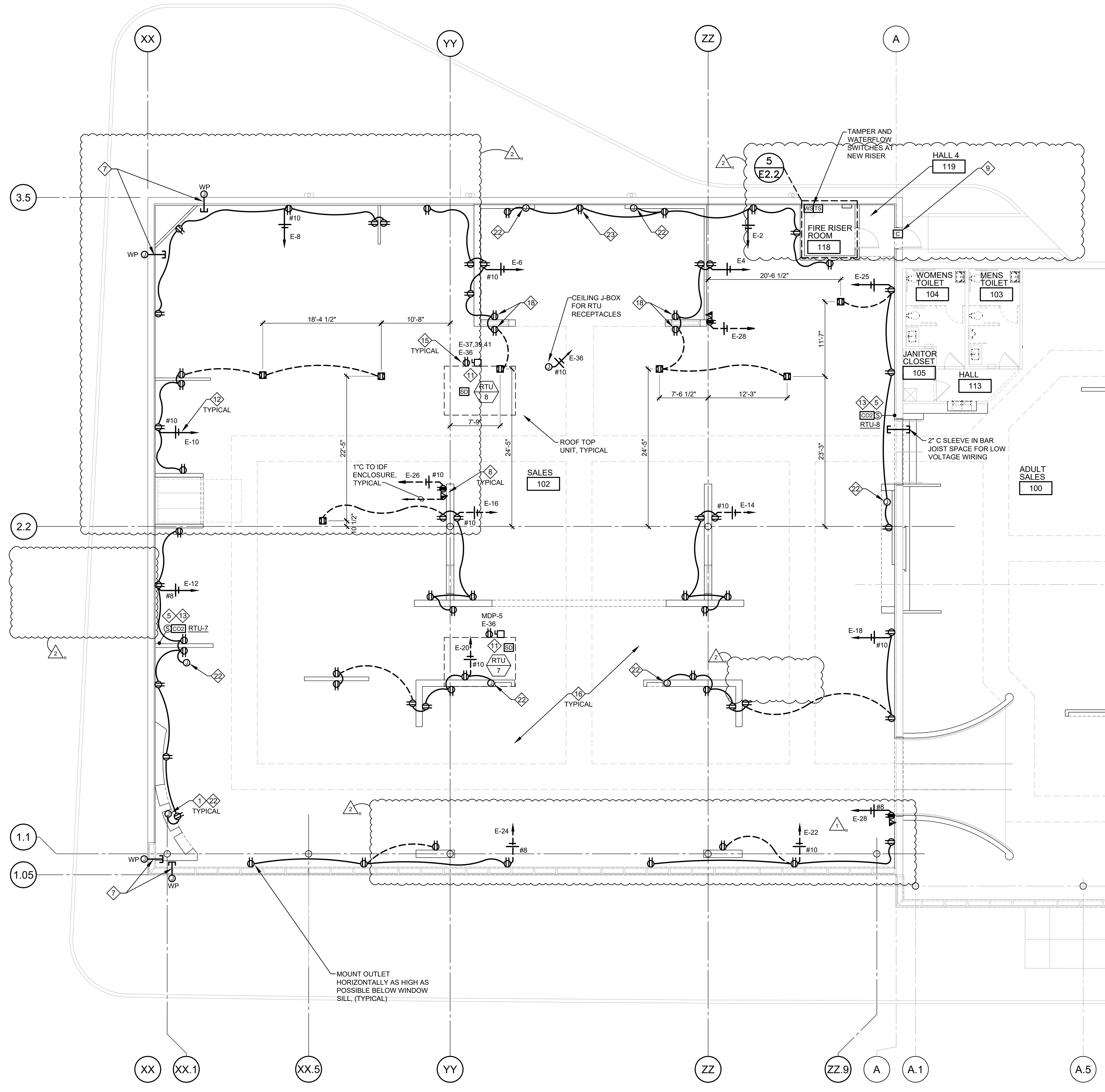
EXP. DATE 02/28/25  
LIC #68799  
WILLIAM J. KIRNEY

Drawn By/Checked By: ZT  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**NOTES, SYMBOLS AND DETAILS E1.0**

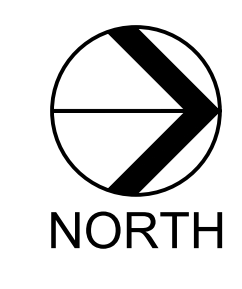
**CASCO**  
12 Sumner Drive, Suite 100, St. Louis, MO 63143  
T-314.821.1100





- GENERAL NOTES:**
- EXISTING SECURITY SYSTEM PANEL SHALL REMAIN. EXISTING FIRE ALARM PANEL TO BE REPLACED. PROVIDE MODIFICATIONS TO EXISTING SYSTEMS AS REQUIRED. FIRE ALARM DETAILS AND NOTES ARE FOR REFERENCE ONLY. FIRE ALARM SHOP DRAWINGS SHALL BE SUBMITTED FOR PERMIT TO FIRE BUILDING DEPARTMENT - A SEPARATE SUBMITTAL IS REQUIRED FROM THE DESIGNER.
  - PROVIDE ALL REQUIRED J-BOXES AND CONDUIT FOR TELEVISION DISTRIBUTION SYSTEM, AS PER PLANS AND SPECIFICATIONS. COORDINATE EXACT ROUTING WITH OWNER AND TV SYSTEM INSTALLER.
  - ALL WIRING FOR POWER AND LIGHTING CIRCUITS SHALL BE IN CONDUIT, INSTALLED ABOVE BOTTOM OF BAR JOIST. PROVIDE RIGID METAL CONDUIT UNDER ROOF DECKING AS REQUIRED PER NEC (FOR CONDUIT RUNS ABOVE SOLID STRUCTURAL BEAMS).
  - ALL 20A CONTROLLED RECEPTACLES SHALL BE PERMANENTLY MARKED AS REQUIRED BY APPLICABLE ENERGY CODE AND/OR NATIONAL ELECTRICAL CODE.
  - USE OF MC CABLE IS LIMITED. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
  - ALL NEW UNDERFLOOR RACEWAY IN EXISTING SALES AREA SHALL BE RUN UNDER THE SLAB TO THE CLOSEST FULL HEIGHT PARTITION WALL, THEN UP ALONG THE FULL HEIGHT PARTITION INTO BAR JOIST SPACE, AND THEN THROUGH BAR JOIST SPACE TO THE DESIGNATED PANEL. SAW CUT EXISTING SLAB AS REQUIRED.
  - ALL NEW UNDERFLOOR RACEWAY FOR LOW VOLTAGE WIRING IN EXISTING SALES AREA SHALL BE RUN UNDER THE SLAB TO THE CLOSEST FULL HEIGHT PARTITION WALL, THEN UP ALONG FULL HEIGHT PARTITION INTO BAR JOIST SPACE, AND THEN STUBBED INSIDE BAR JOIST SPACE. SAW CUT EXISTING SLAB AS REQUIRED.
  - CORE DRILL EXISTING CMU WALL AS REQUIRED FOR INSTALLATION OF ELECTRICAL CONDUIT. CORE DRILLED HOLES SHALL BE THE MINIMUM DIAMETER REQUIRED BY LOCAL CODE FOR THE RESPECTIVE CONDUIT SIZE. CARE SHALL BE TAKEN TO AVOID VERTICAL AND HORIZONTAL WALL REINFORCING WHEN DRILLING HOLES, WHICH SHOULD BE SPACED AT 16" ON CENTER MINIMUM.

**1 POWER PLAN**  
E2.0 SCALE: 1/8" = 1'-0"



NOT ALL NOTES ARE NECESSARILY USED ON THIS SHEET

- NOTES:**
- J-BOX FOR CONNECTION TO LIGHT FIXTURES BEHIND PARTITION. SEE LIGHTING PLANS AND ARCHITECTURAL DETAILS. FIELD COORDINATE EXACT LUMINAIRE LOCATIONS WITH OWNER.
  - MOUNT OUTLET (OR TOGGLE SWITCH AS REQUIRED) INSIDE PARTITION FOR TRANSFORMER OR POWER SUPPLY FOR NEON OR LED SIGN. REFER TO ARCHITECTURAL INTERIOR ELEVATIONS AND SIGN MANUFACTURER SHOP DRAWINGS FOR DETAILS.
  - NOT USED.
  - PROVIDE GLASS MIRROR TYPE COVER PLATE FOR OUTLETS MOUNTED ON MIRRORRED WALLS, TYPICAL.
  - MOUNT J-BOX AT 7'-0" ABOVE FINISHED FLOOR, 1'-0" OFF END OF PARTITION ON NON-MIRRORRED SIDE OF PARTITION FOR RTU SENSOR. PROVIDE 3/4" CONDUIT WITH PULL STRING, STUB UP MINIMUM 6" ABOVE BOTTOM OF SALES BAR JOIST, SEE MECHANICAL PLANS.
  - NOT USED.
  - PROVIDE WP J-BOX WITH BLANK STAINLESS STEEL COVER PLATE AND 1" CONDUIT SLEEVE WITH BUSHINGS THROUGH EXTERIOR WALL FOR SECURITY CAMERA, INSTALLED AS HIGH AS POSSIBLE INSIDE CEILING SPACE, FLUSH WITH FACE OF INTERIOR DRYWALL. COORDINATE EXACT LOCATION WITH OWNER BEFORE ROUGH IN.
  - MOUNT COMPUTER/PHONE OUTLETS WITHIN 12" FROM END OF PARTITION IN SALES AREA. SEE ELEVATION ON SHEET E2.2.
  - PROVIDE 1/2" CONDUIT WITH PULL STRING FROM ABOVE THE CEILING SPACE TO THE LATCH SIDE OF DOOR FRAME (AT THE DOORFRAME HEAD) FOR WIRING TO THE DOOR SECURITY MAGNETIC CONTACT. CONCEAL ALL CONDUIT BEHIND DRYWALL.
  - NOT USED.
  - MOUNT SECURITY DEVICES AND FIRE ALARM DEVICES (IF REQUIRED) AT FRONT ENTRY TO CURTAIN WALL MULLION. COORDINATE REQUIREMENTS WITH SIGN INSTALLER PRIOR TO ANY WORK. REFER TO EXTERIOR BUILDING ELEVATIONS ON SHEET A3.0 AND SIGN MANUFACTURER SHOP DRAWINGS FOR DETAILS.
  - SEE ONE LINE DIAGRAM ON SHEET E4.0 FOR ROOF TOP UNIT CIRCUITING, WIRE AND CONDUIT SIZE, TYPICAL. WP/GFI OUTLET FACTORY INSTALLED.
  - CONDUIT DROPS FROM BAR JOIST SPACE AND CONDUIT RUNS AT EXTERIOR WALLS SHALL BE CONCEALED BEHIND GYPSUM BOARD. EXPOSED ELECTRICAL CONDUITS IN CEILING SPACE TO BE ROUTED TO UNDERSIDE OF TOP CHORD OF BAR JOIST.
  - PROVIDE J-BOX FOR CO2 SENSOR, MOUNT J-BOX ABOVE TEMPERATURE SENSOR WHERE SHOWN ON PLAN. PROVIDE CONDUIT BETWEEN TEMPERATURE AND CO2 SENSOR J-BOX AS REQUIRED. REFER TO KEY NOTE #6.
  - NEW ROOF TOP UNIT TO REPLACE EXISTING RTU, REFER TO EQUIPMENT SCHEDULE AND MECHANICAL PLANS.
  - PROVIDE WEATHERPROOF J-BOX, MOUNTED BEHIND EACH SIGN PANEL/LETTER, ON STEEL SUPPORT CHANNEL. COORDINATE REQUIREMENTS WITH SIGN INSTALLER PRIOR TO ANY WORK. REFER TO EXTERIOR BUILDING ELEVATIONS ON SHEET A3.0 AND SIGN MANUFACTURER SHOP DRAWINGS FOR DETAILS.
  - RTU RECEPTACLES SHALL BE FED FROM A DEDICATED CIRCUIT AS SHOWN ON PLAN, TYPICAL.
  - PROVIDE NOTIFICATION DEVICES PER NFPA 72 AS REQUIRED BY LOCAL AUTHORITIES, LOCATION AND QUANTITY AS REQUIRED BY AUTHORITY HAVING JURISDICTION. REFER TO FIRE ALARM SYSTEM NOTES ON SHEET E1.0, SPECIFICATIONS AND FIRE ALARM SYSTEM PLANS.
  - MOUNT OUTLET HORIZONTALLY AS HIGH AS POSSIBLE BETWEEN PARTITION BASE AND METAL FRAMING/WALL OPENING. REFER TO ARCHITECTURAL ELEVATIONS.
  - CONDUIT DROP FOR POWER AND LOW VOLTAGE WIRING FROM BAR JOIST SPACE TO ISOLATED PARTITIONS SHALL BE INSTALLED TIGHT TO EXISTING COLUMNS. PAINT EXPOSED CONDUIT TO MATCH COLUMNS.
  - CONNECT NEW OUTLETS TO EXISTING CIRCUIT FROM THE EXISTING OR REMOVED RECEPTACLES, TYPICAL AT PERIMETER WALLS.
  - NOT USED.
  - MOUNT OUTLET FOR LED COVE LIGHT AND/OR LED DRIVERS BEHIND PARTITION WALL. PROVIDE OPENINGS FOR LOW VOLTAGE WIRING AS REQUIRED. REFER TO LIGHTING PLAN AND LUMINAIRE SCHEDULE, AND ARCHITECTURAL INTERIOR ELEVATIONS FOR DETAILS.
  - PROVIDE BROWN RECEPTACLES (HUBBELL HBL362 OR EQUAL) AND BROWN COVER PLATES (HUBBELL 61X OR EQUAL) ON STONE, BRICK AND WOOD VENEER WALLS ONLY, TYPICAL. REFER TO INTERIOR ELEVATIONS ON ARCHITECTURAL DRAWINGS.
  - OUTLETS FOR MULTI-CONNECTION KIOSK OR TV MONITOR. PROVIDE DEDICATED CIRCUIT(S) FOR POWER RECEPTACLE(S) AND 2-GANG J-BOX FOR DATA.
  - OUTLET FOR PLUG-IN CONNECTION OF DRIVER FOR UNDER CABINET LIGHT. SEE LIGHTING PLAN.

**ROOMS TO GO** STORE EXPANSION AND REMODEL  
18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

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| 2   | ADD #5      | 01/29/24 |

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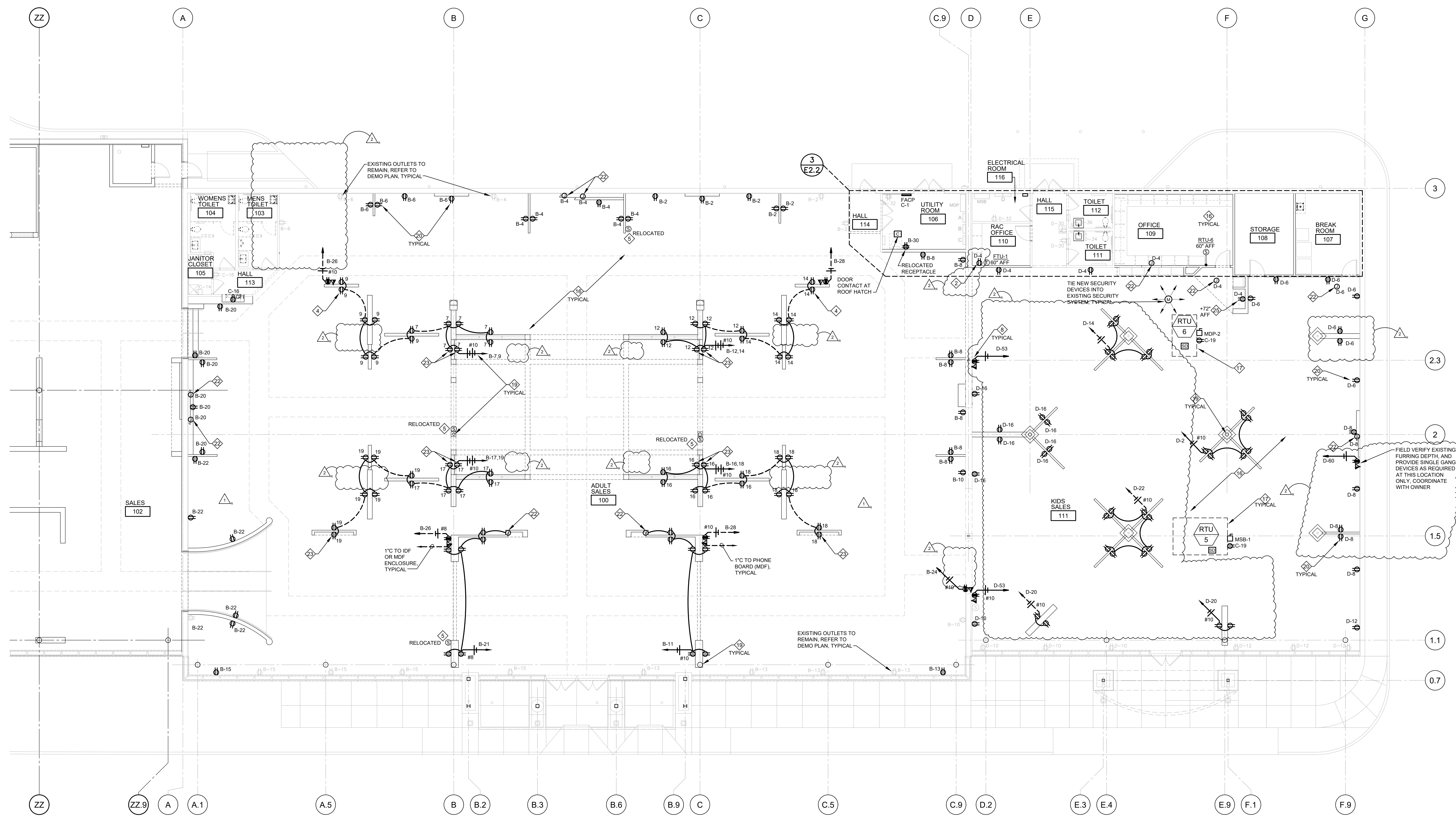
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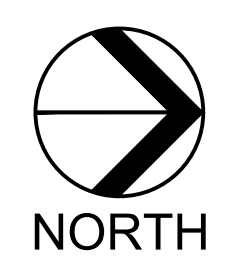
**POWER PLAN**  
**E2.0**



**ROOMS TO GO** STORE EXPANSION AND REMODEL  
18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157



**1 POWER PLAN**  
E2.1 SCALE: 1/8" = 1'-0"



NOT ALL NOTES ARE NECESSARILY USED ON THIS SHEET

- NOTES:**
- 1 J-BOX FOR CONNECTION TO LIGHT FIXTURES BEHIND PARTITION. SEE LIGHTING PLANS AND ARCHITECTURAL DETAILS. FIELD COORDINATE EXACT LUMINAIRE LOCATIONS WITH OWNER.
  - 2 MOUNT OUTLET (OR TOGGLE SWITCH AS REQUIRED) INSIDE PARTITION FOR TRANSFORMER OR POWER SUPPLY FOR NEON OR LED SIGN. REFER TO ARCHITECTURAL INTERIOR ELEVATIONS AND SIGN MANUFACTURER SHOP DRAWINGS FOR DETAILS.
  - 3 NOT USED.
  - 4 PROVIDE GLASS MIRROR TYPE COVER PLATE FOR OUTLETS MOUNTED ON MIRRORED WALLS. TYPICAL.
  - 5 MOUNT J-BOX AT 7'-0" ABOVE FINISHED FLOOR, 1'-0" OFF END OF PARTITION ON NON-MIRRORED SIDE OF PARTITION FOR RTU SENSOR. PROVIDE 3/4" CONDUIT WITH PULL STRING, STUB UP MINIMUM 6" ABOVE BOTTOM OF SALES BAR JOIST. SEE MECHANICAL PLANS.
  - 6 NOT USED.
  - 7 PROVIDE WP J-BOX WITH BLANK STAINLESS STEEL COVER PLATE AND 1" CONDUIT SLEEVE WITH BUSHINGS THROUGH EXTERIOR WALL FOR SECURITY CAMERA. INSTALLED AS HIGH AS POSSIBLE INSIDE CEILING SPACE. FLUSH WITH FACE OF INTERIOR DRYWALL. COORDINATE EXACT LOCATION WITH OWNER BEFORE ROUGH IN.
  - 8 MOUNT COMPUTER/PHONE OUTLETS WITHIN 12" FROM END OF PARTITION IN SALES AREA. SEE ELEVATION ON SHEET E2.2.
  - 9 PROVIDE 1/2" CONDUIT WITH PULL STRING FROM ABOVE THE CEILING SPACE TO THE LATCH SIDE OF DOOR FRAME (AT THE DOORFRAME HEAD) FOR WIRING TO THE DOOR SECURITY MAGNETIC CONTACT. CONCEAL ALL CONDUIT BEHIND DRYWALL.
  - 10 MOUNT SECURITY DEVICES AND FIRE ALARM DEVICES (IF REQUIRED) AT FRONT ENTRY TO CURTAIN WALL MULLION. COORDINATE REQUIREMENTS WITH SIGN INSTALLER PRIOR TO ANY WORK. REFER TO EXTERIOR BUILDING ELEVATIONS ON SHEET A3.0 AND SIGN MANUFACTURER SHOP DRAWINGS FOR DETAILS.
  - 11 SEE ONE LINE DIAGRAM ON SHEET E4.0 FOR ROOF TOP UNIT CIRCUITING, WIRE AND CONDUIT SIZE. TYPICAL.
  - 12 CONDUIT DROPS FROM BAR JOIST SPACE AND CONDUIT RUNS AT EXTERIOR WALLS SHALL BE CONCEALED BEHIND GYPSUM BOARD. EXPOSED ELECTRICAL CONDUITS IN CEILING SPACE TO BE ROUTED TO UNDERSIDE OF TOP CHORD OF BAR JOIST.
  - 13 PROVIDE J-BOX FOR CO2 SENSOR. MOUNT J-BOX ABOVE TEMPERATURE SENSOR WHERE SHOWN ON PLAN. PROVIDE CONDUIT BETWEEN TEMPERATURE AND CO2 SENSOR J-BOX AS REQUIRED. REFER TO KEY NOTE #6.
  - 14 PROVIDE WEATHERPROOF J-BOX, MOUNTED BEHIND EACH SIGN PANEL/LETTER, ON STEEL SUPPORT CHANNEL. COORDINATE REQUIREMENTS WITH SIGN INSTALLER PRIOR TO ANY WORK. REFER TO EXTERIOR BUILDING ELEVATIONS ON SHEET A3.0 AND SIGN MANUFACTURER SHOP DRAWINGS FOR DETAILS.
  - 15 RTU RECEPTACLES SHALL BE FED FROM A DEDICATED CIRCUIT AS SHOWN ON PLAN, TYPICAL.
  - 16 PROVIDE NOTIFICATION DEVICES PER NFPA 72 AS REQUIRED BY LOCAL AUTHORITIES. LOCATION AND QUANTITY AS REQUIRED BY AUTHORITY HAVING JURISDICTION. REFER TO FIRE ALARM SYSTEM NOTES ON SHEET E1.0, SPECIFICATIONS AND FIRE ALARM SYSTEM PLANS.
  - 17 NEW ROOF TOP UNIT TO REPLACE EXISTING RTU. REFER TO EQUIPMENT SCHEDULE AND MECHANICAL PLANS.
  - 18 MOUNT OUTLET HORIZONTALLY AS HIGH AS POSSIBLE BETWEEN PARTITION BASE AND METAL FRAMING/WALL OPENING. REFER TO ARCHITECTURAL ELEVATIONS.
  - 19 CONDUIT DROP FOR POWER AND LOW VOLTAGE WIRING FROM BAR JOIST SPACE TO ISOLATED PARTITIONS SHALL BE INSTALLED TIGHT TO EXISTING COLUMNS. PAINT EXPOSED CONDUIT TO MATCH COLUMNS.
  - 20 CONNECT NEW OUTLETS TO EXISTING CIRCUIT FROM THE EXISTING OR REMOVED RECEPTACLES. TYPICAL AT PERIMETER WALLS.
  - 21 NOT USED.
  - 22 MOUNT OUTLET FOR LED COVE LIGHT AND/OR LED DRIVERS BEHIND PARTITION WALL. PROVIDE OPENINGS FOR LOW VOLTAGE WIRING AS REQUIRED. REFER TO LIGHTING PLAN AND LUMINAIRE SCHEDULE, AND ARCHITECTURAL INTERIOR ELEVATIONS FOR DETAILS.
  - 23 PROVIDE BROWN RECEPTACLES (HUBBELL HBL362 OR EQUAL) AND BROWN COVER PLATES (HUBBELL FIX OR EQUAL) ON STONE, BRICK AND WOOD VENEER WALLS ONLY. TYPICAL. REFER TO INTERIOR ELEVATIONS ON ARCHITECTURAL DRAWINGS.
  - 24 OUTLETS FOR MULTI-CONNECTION KIOSK OR TV MONITOR. PROVIDE DEDICATED CIRCUIT(S) FOR POWER RECEPTACLE(S) AND 2-GANG J-BOX FOR DATA.
  - 25 OUTLET FOR PLUG-IN CONNECTION OF DRIVER FOR UNDER CABINET LIGHT. SEE LIGHTING PLAN.

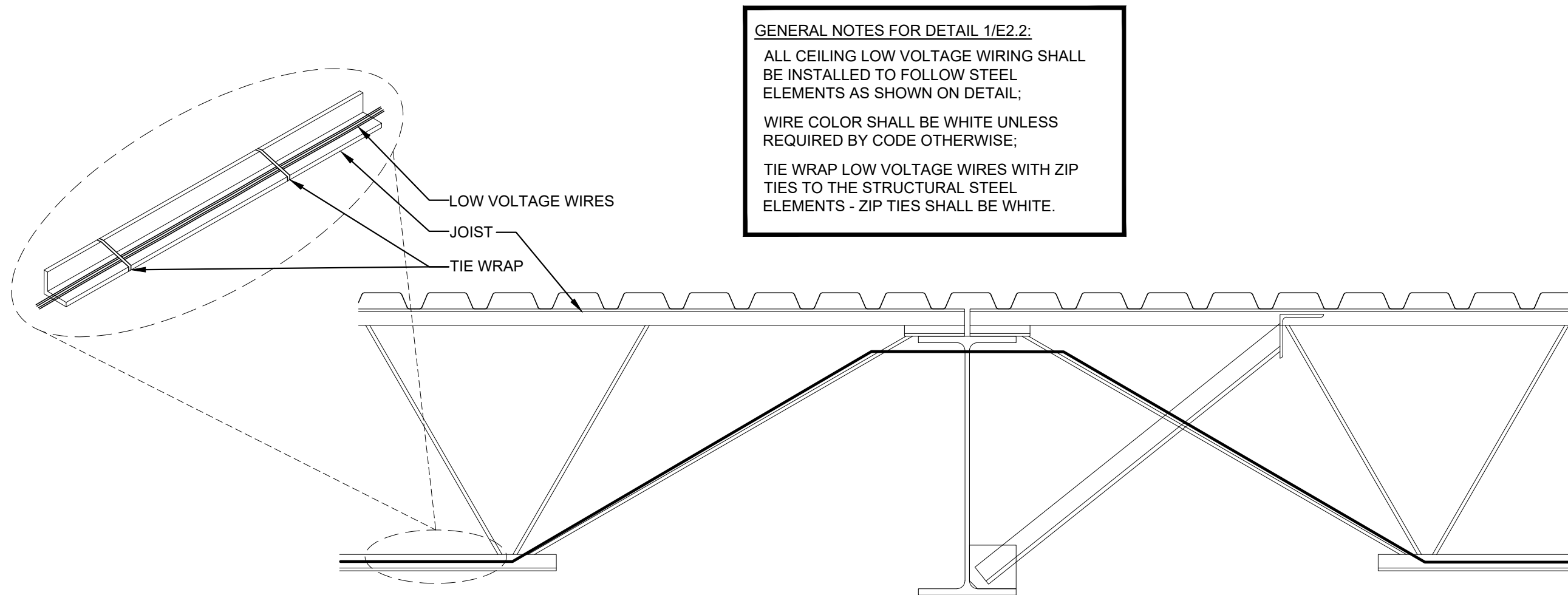
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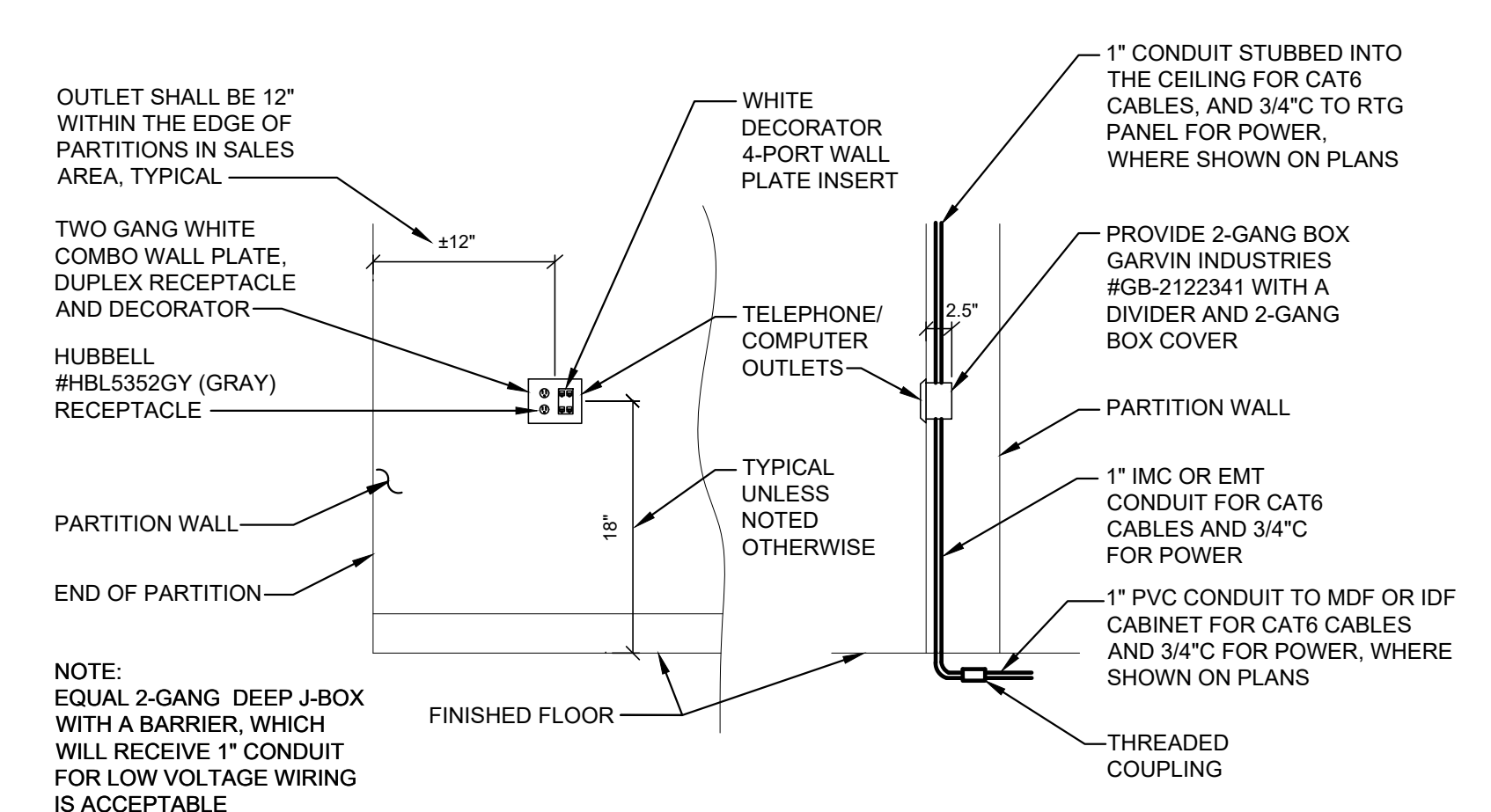
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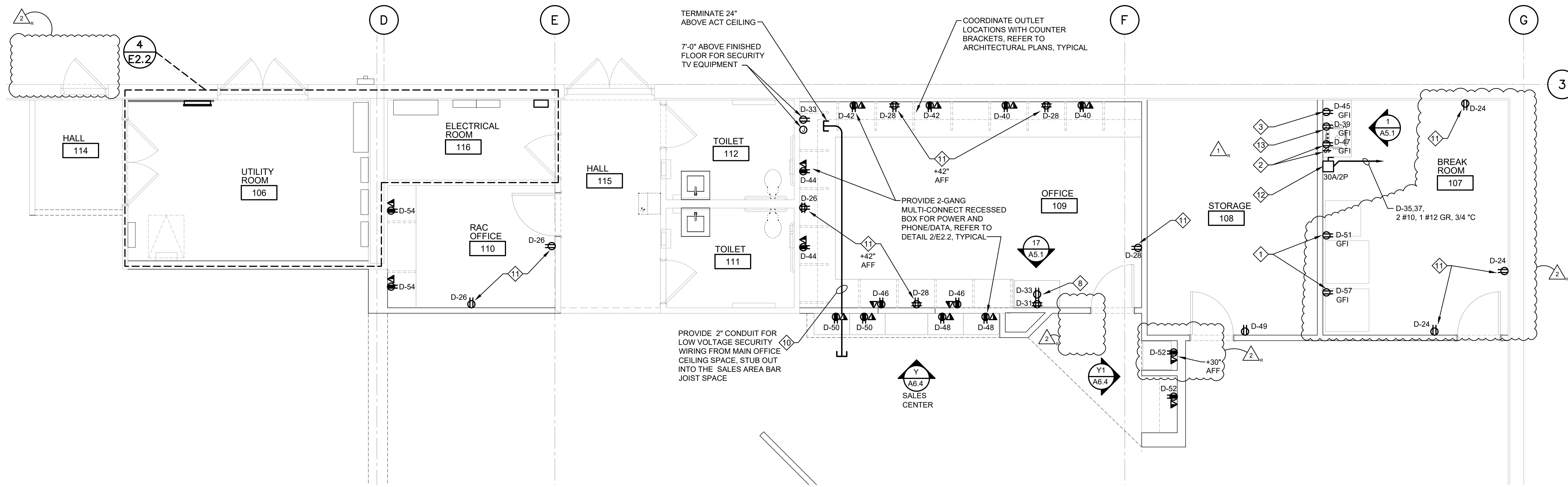
**GENERAL NOTES FOR DETAIL E2.2:**  
 ALL CEILING LOW VOLTAGE WIRING SHALL BE INSTALLED TO FOLLOW STEEL ELEMENTS AS SHOWN ON DETAIL. WIRE COLOR SHALL BE WHITE UNLESS REQUIRED BY CODE OTHERWISE. TIE WRAP LOW VOLTAGE WIRES WITH ZIP TIES TO THE STRUCTURAL STEEL ELEMENTS - ZIP TIES SHALL BE WHITE.



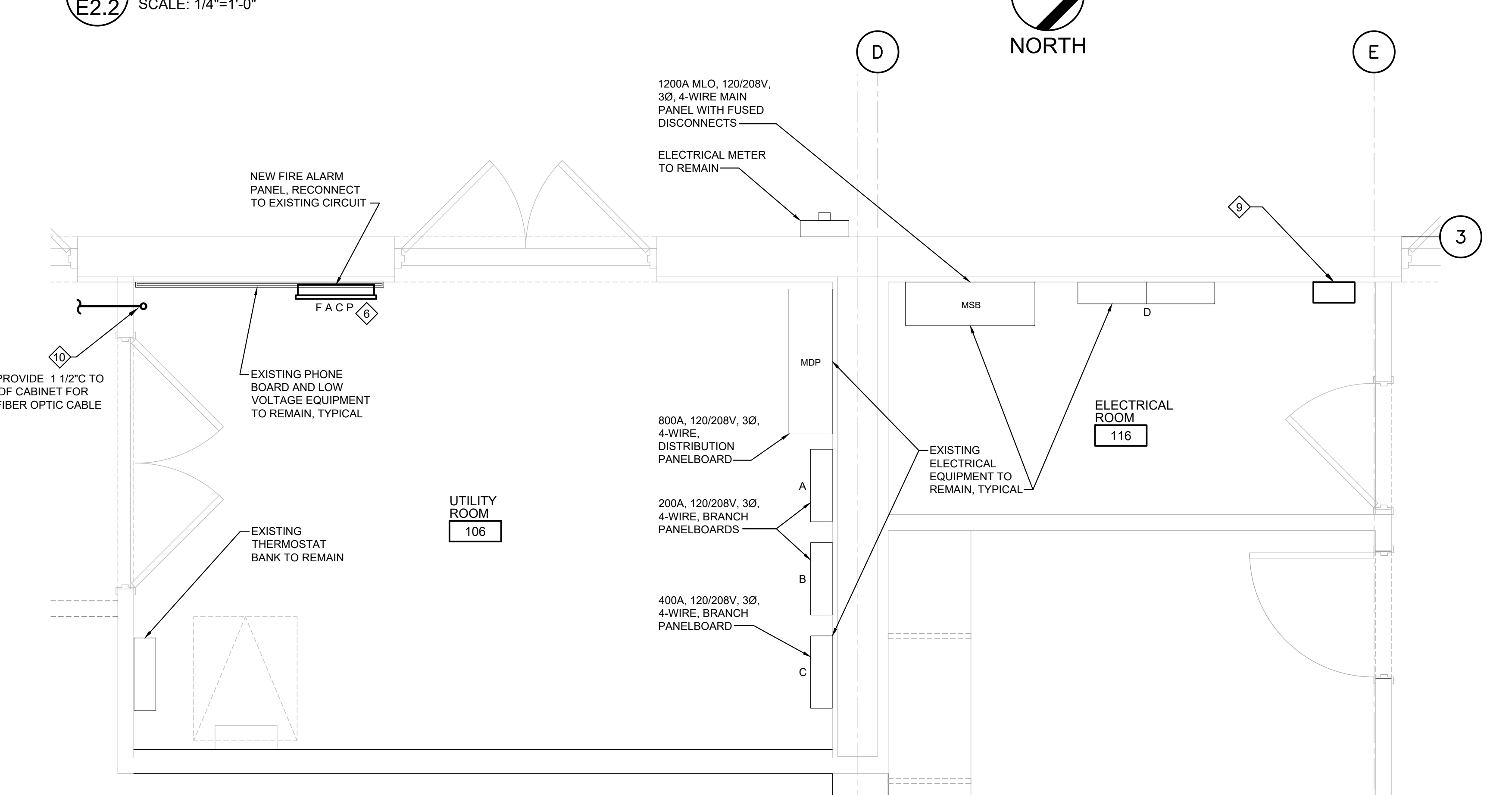
NOTE: EQUAL 2-GANG DEEP J-BOX WITH A BARRIER, WHICH WILL RECEIVE 1" CONDUIT FOR LOW VOLTAGE WIRING IS ACCEPTABLE.

**1 LOW VOTAGE WIRING INSTALLATION**  
 E2.2 SCALE: NOT TO SCALE

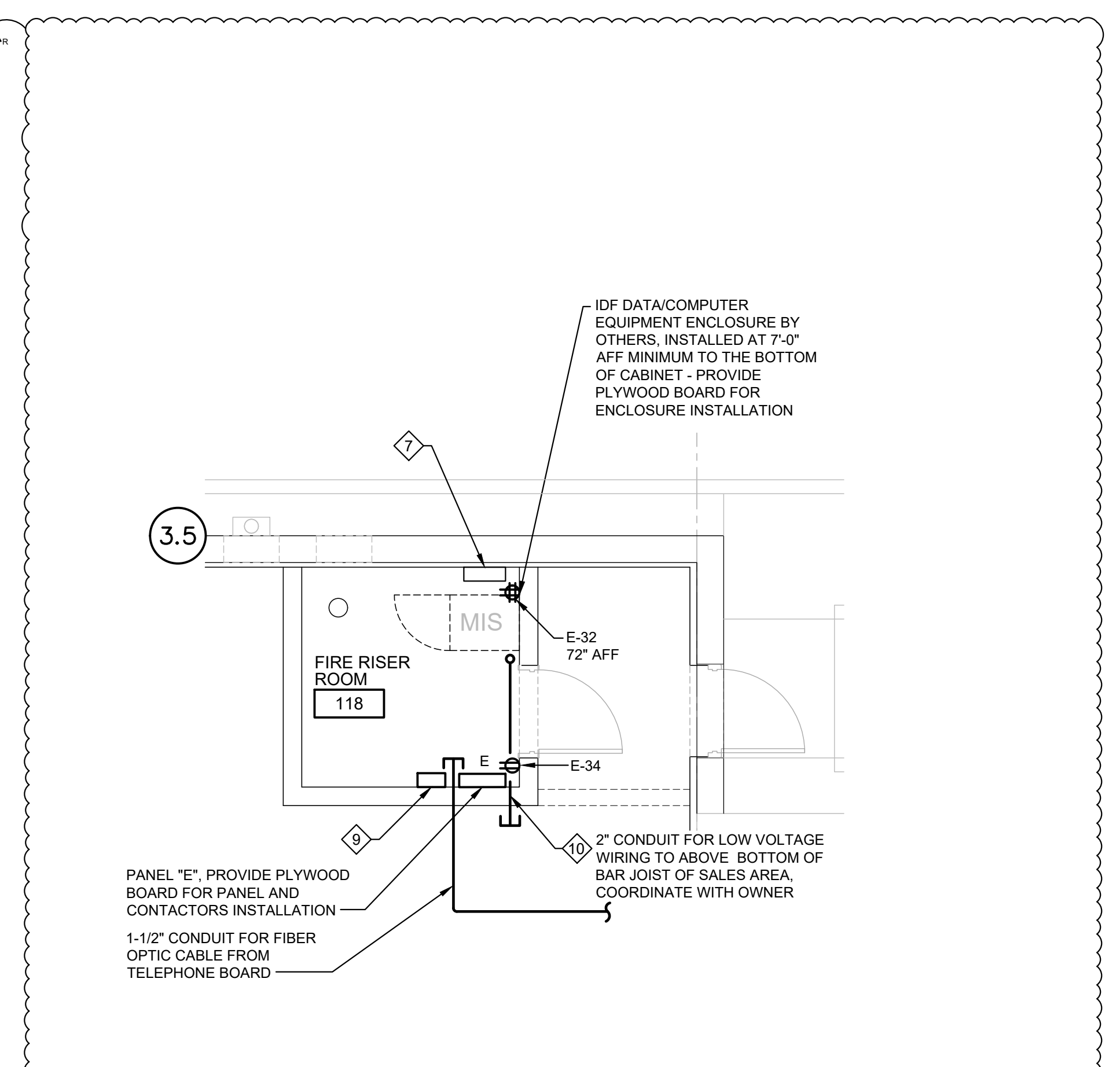
**2 TELEPHONE/COMPUTER OUTLETS - ELEVATION**  
 E2.2 SCALE: NOT TO SCALE



**3 OFFICE AREA POWER PLAN**  
 E2.2 SCALE: 1/4"=1'-0"



**4 ELECTRICAL ROOM POWER PLAN**  
 E2.2 SCALE: 1/2"=1'-0"



**5 IDF CLOSET POWER PLAN**  
 E2.2 SCALE: 1/2"=1'-0"

**GENERAL NOTES:**

- NEW ELECTRICAL EQUIPMENT LAYOUT IS FOR SQUARE D EQUIPMENT. COORDINATE LAYOUT AND CLEARANCES IF DIFFERENT MANUFACTURER IS USED. PANEL CLEARANCES SHALL BE PROVIDED ACCORDING TO NEC ARTICLE 110.26, 110.32 AND 110.33.
- ALL EXISTING ELECTRICAL EQUIPMENT SHALL REMAIN UNLESS NOTED OTHERWISE.
- PROVIDE 3/4" FIRE RATED B/C GRADE PLYWOOD TO 8'-0" ABOVE FINISHED FLOOR IN ELECTRICAL ROOM, ELECTRICAL CLOSET AND IDF CLOSET FOR NEW EQUIPMENT AS REQUIRED, REFER TO ARCHITECTURAL DRAWINGS.
- MOUNT NEW CONTACTORS BELOW OR ABOVE PANELS SERVED.
- THERMOSTAT BANK ENCLOSURE SHALL BE LOCATED WITHIN 18" OF MIS HUB (MDF OR IDF RACK/ENCLOSURE) TO ENSURE CONNECTION BETWEEN THERMOSTATS AND MIS HUB. COORDINATE WITH OWNER.
- CONDUIT IS NOT REQUIRED FOR LOW VOLTAGE WIRING (COMMUNICATIONS, SECURITY, ETC.). PROVIDE PULL STRING FROM THE J-BOX TO SPACE ABOVE CEILING OR PROVIDE MUD RING AND PULL STRING AS REQUIRED.

**KEY NOTES:**

- RECEPTACLES FOR VENDING AND REFRIGERATOR.
- MOUNT RECEPTACLE BELOW SINK FOR CONNECTION TO GARBAGE DISPOSAL. RECEPTACLE SHALL BE CONTROLLED BY A FRACTIONAL HORSE POWER RATED TOGGLE SWITCH, MOUNTED 8" ABOVE COUNTER.
- MOUNT RECEPTACLES FOR COFFEE MAKER AND MICROWAVE 8" ABOVE THE COUNTER.
- NOT USED.
- NOT USED.
- NEW FIRE ALARM CONTROL PANEL FACP; REMOVE HVAC SMOKE DETECTORS SWITCHES (IF REQUIRED) TO BE LOCATED IN ELECTRICAL ROOM ABOVE FIRE ALARM CONTROL PANEL FACP.
- THERMOSTAT BANK FOR ROOF TOP UNITS. ROUTE 1" CONDUIT AND STUB-UP INTO THE SALES AREA BAR JOIST SPACE; CONDUIT SHALL STUB OUT IN SALES SPACE IMMEDIATELY ADJACENT TO BAR JOIST OR ROOF STEEL, SO THAT WHEN WIRES ARE PULLED THEY CAN FOLLOW STEEL.
- RECEPTACLES FOR TABLET BATTERY CHARGING STATIONS. DUPLEX AT 36" AND QUAD AT 42" ABOVE FINISH FLOOR. REFER TO ELEVATIONS ON SHEET A5.1.
- PROVIDE HOFFMAN ENCLOSURE FOR SALES LIGHTING MANUAL CONTROLS. REFER TO DETAIL 3E4.2.
- CONDUIT SHALL STUB OUT IN SALES SPACE IMMEDIATELY AND/OR ADJACENT TO BAR JOIST OR ROOF STEEL, SO THAT WHEN WIRES ARE PULLED THEY CAN FOLLOW STEEL. PROVIDE PLASTIC BUSHINGS. COORDINATE EXACT LOCATION OF PROVIDED CONDUIT FOR LOW VOLTAGE WIRING WITH OWNER PRIOR TO INSTALLMENT.
- RECEPTACLE CONTROLLED BY TIME CLOCK IN COMPLIANCE WITH ASHRAE 90.1 2016, SECTION 8 - (8.4.2). REFER TO PANEL SCHEDULE C ON SHEET E4.1 AND CONTACTOR SCHEDULE ON SHEET E4.2.
- INSTANT WATER HEATER. MOUNT DISCONNECT ABOVE THE CEILING. REFER TO PLUMBING PLAN FOR EXACT LOCATION AND POWER REQUIREMENTS. PROVIDE ALL FINAL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- RECEPTACLE BELOW COUNTER FOR DRAIN PUMP. REFER TO PLUMBING PLANS FOR MORE INFORMATION.

**ROOMS TO GO** STORE EXPANSION AND REMODEL  
 18722 SOUTH DIXIE HIGHWAY,  
 CUTLER BAY, FL 33157

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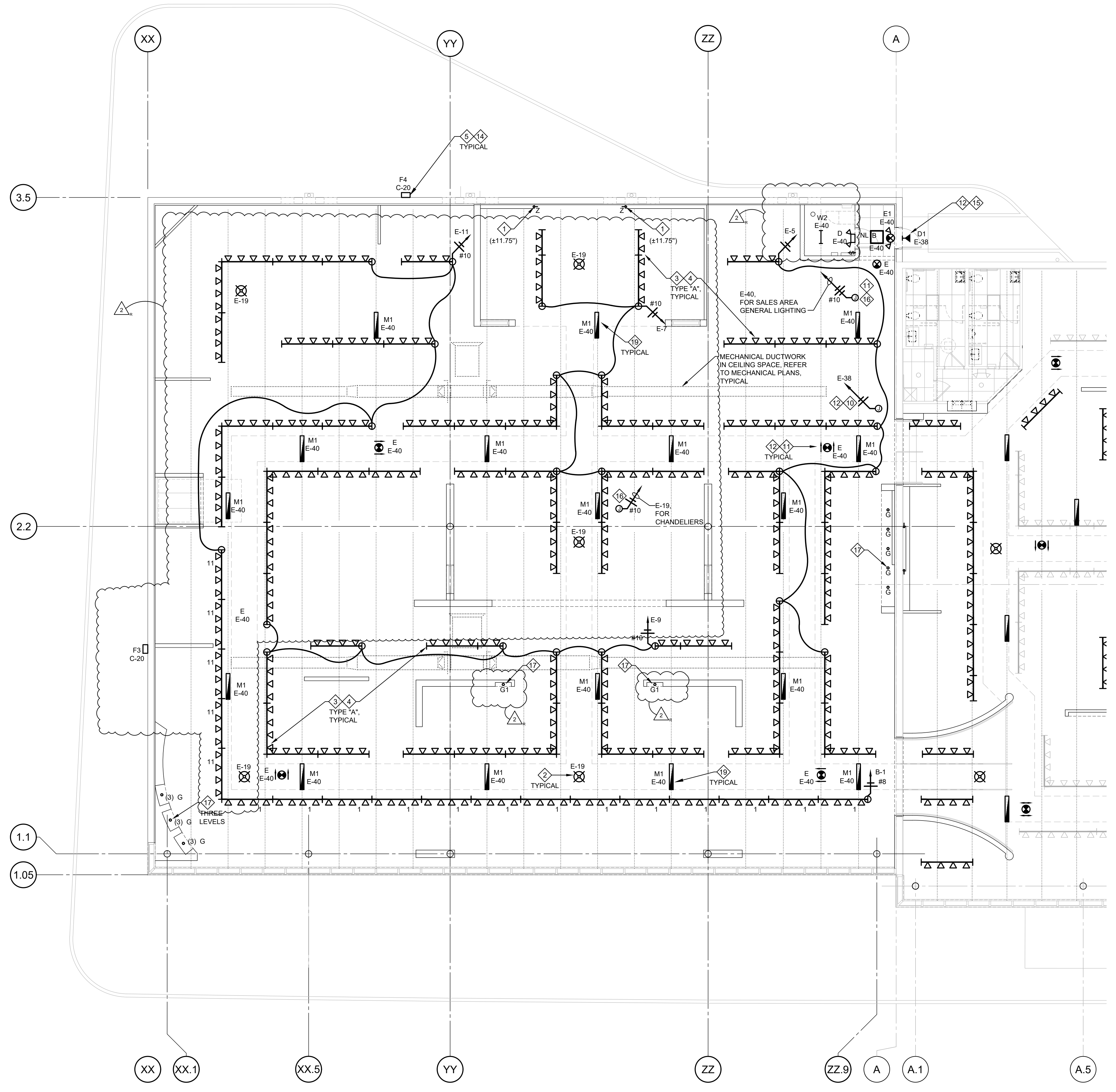
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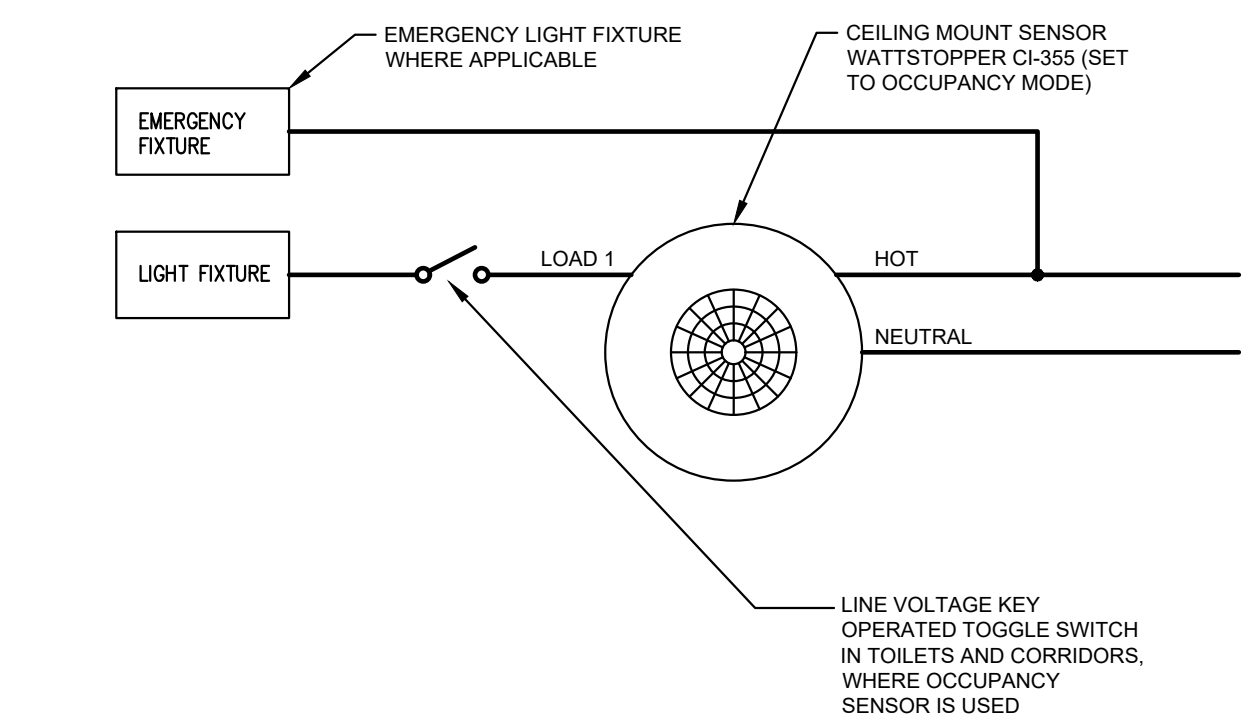
**POWER PLAN**  
**E2.2**





**GENERAL NOTES:**

- TRACK LIGHTING IS CIRCUITED TO CONNECT 1/2" OF TRACK ON A 20A CIRCUIT MAXIMUM. THE LIGHTING CIRCUITS SHALL BE WIRED AS SHOWN ON PLANS - NO EXCEPTIONS. ALL TRACK SHALL BE MOUNTED PER DETAILS ON SHEET E1.0 UNLESS NOTED OTHERWISE. PROVIDE UNISTRUT TO SUPPORT ALL LUMINAIRES. TRACK LIGHTING AND ELECTRICAL DEVICES IN EXPOSED SALES AREAS (AT BAR JOIST SPACE AND BELOW THE DUCTS WHERE REQUIRED). COORDINATE WITH OWNER.
- PROVIDE LIGHTING CONTROLS PER DETAILS ON SHEET E4.2.
- COORDINATE ALL LUMINAIRE LOCATIONS INSIDE PARTITION WALLS WITH OWNER AND GENERAL CONTRACTOR, AND ENSURE THAT ACCESS IS PROVIDED FOR MAINTENANCE AND REPLACEMENT OF BULBS/LUMINAIRES AND DRIVERS. AIM COVE LIGHTS FOR OPTIMAL ILLUMINATION AS REQUIRED.
- THE CONTRACTOR IS TO PROVIDE ADDITIONAL EXIT SIGNS, IF MORE EXIT SIGNS NEED TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS.
- EMERGENCY LIGHTING ILLUMINATION IS DESIGNED IN COMPLIANCE WITH FIRE/LIFE SAFETY CODE - 0.1 FC MINIMUM, 1.0 FC AVERAGE, MAXIMUM RATIO OF 40:1 NOT EXCEEDED, AS PER 2018 IBC 1008.3.5, ON PATH OF EGRESS IN GROUP M OCCUPANCY AS DEFINED BY IBC 1018.4.
- UNDER APPLICABLE ENERGY CODE, LIGHTING SYSTEM CONTROLS TESTING IS REQUIRED FOR ALL COMMERCIAL PROJECTS. FUNCTIONAL TESTING SHALL BE IN ACCORDANCE WITH SECTIONS C408.3.1.1 AND C408.3.1.2 FOR APPLICABLE CONTROL TYPE. A LETTER FROM THE THIRD PARTY REGISTERED DESIGN PROFESSIONAL OR COMMISSIONING AGENT THAT CONFIRMS COMPLIANCE WITH C408.3.1 WILL FULFILL THIS REQUIREMENT.



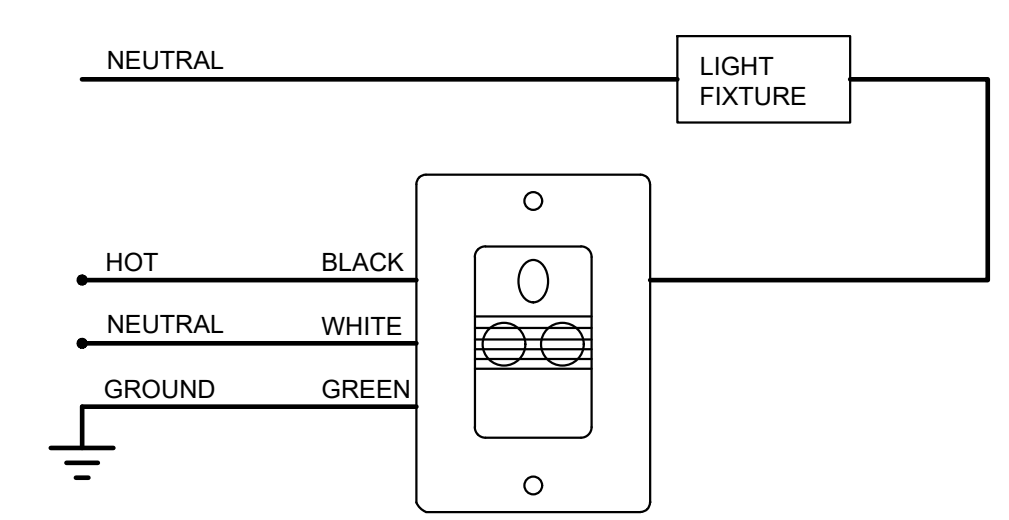
**2 OCCUPANCY SENSOR WIRING DIAGRAM**  
SCALE: NOT TO SCALE

**LIGHTING SYSTEM CONTROLS FUNCTIONAL TESTING/COMMISSIONING:**

UNDER APPLICABLE ENERGY CODE, LIGHTING SYSTEM CONTROLS TESTING IS REQUIRED FOR ALL COMMERCIAL PROJECTS. THE CONTRACTOR IS RESPONSIBLE FOR THE HIRING OF AN APPROVED COMMISSIONING AGENT TO SATISFY THIS REQUIREMENT IN ACCORDANCE WITH SECTION C408.3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ASPECTS AND REQUIREMENTS OF ELECTRICAL COMMISSIONING ARE COMPLETED IN ACCORDANCE WITH APPLICABLE ENERGY CODE. AN OFFICIAL DOCUMENT FROM THE THIRD PARTY REGISTERED DESIGN PROFESSIONAL OR APPROVED COMMISSIONING AGENT THAT FOLLOWS THE REQUIREMENT IN C408.3.1 WILL FULFILL THIS REQUIREMENT.

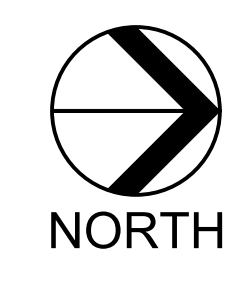
**SENSOR NOTES:**

VACANCY SENSORS SHALL BE SET TO TURN THE LIGHTS OFF AUTOMATICALLY AND TURN THE LIGHTS ON MANUALLY. OCCUPANCY SENSORS IN CORRIDORS AND REST ROOMS SHALL BE SET TO TURN THE LIGHTS OFF AND ON AUTOMATICALLY. PROVIDE SEPARATE J-BOXES OR BARRIER IN MULTI-GANG BOX WHERE LINE VOLTAGE SWITCH AND LOW VOLTAGE SWITCH ARE USED AS REQUIRED. OCCUPANCY SENSORS SHALL COMPLY WITH FFPC101-7.8.1.2.2.



**3 VACANCY SENSOR WIRING DIAGRAM**  
SCALE: NOT TO SCALE

**1 LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



- NOTES:**
- 1 LUMINAIRE(S) MOUNTED INSIDE PARTITION WALLS (INSIDE COVES, BEHIND WALL OPENING/GLASS/PLEXI, ETC.). REFER TO POWER PLAN FOR POWER CONNECTION AND ARCHITECTURAL INTERIOR ELEVATIONS FOR DETAILS.
  - 2 PROVIDE HEAVY DUTY J-BOX IN BAR JOIST SPACE AND CHAIN HANG DISPLAY CHANDELIER ON UNISTRUT SPANNING BETWEEN JOIST AT 8'-0" AFF. CLEAR TO BOTTOM OF CHANDELIER. OWNER WILL ADDRESS SUPPLY/INSTALL IN CONTRACT.
  - 3 TRACK TYPE 'A' - TRACK, TRACK HEADS, CONNECTORS AND LAMPS. OWNER WILL ADDRESS SUPPLY/INSTALL IN CONTRACT. SEE MOUNTING DETAILS ON SHEET E1.0.
  - 4 STRIP CONDUCTORS FROM CONNECTORS AND INSTALL TO KEEP TRACK ALIGNMENT AS REQUIRED (TYPICAL FOR CONNECTORS BETWEEN TRACK LIGHTS FED WITH DIFFERENT CIRCUITS).
  - 5 CONNECT NEW EXTERIOR LIGHTS TO EXISTING CIRCUIT. REFER TO DEMO PLAN.
  - 6 NOT USED.
  - 7 PROVIDE VACANCY OR OCCUPANCY SENSOR FOR LIGHT CONTROLS AS SCHEDULED. REFER TO SCHEDULE ON SHEET E4.2 AND DETAILS 2/E3.0 AND 3/E3.0 FOR WIRING.
  - 8 LUMINAIRE AT ELECTRICAL EQUIPMENT CONTROLLED BY A MANUAL SWITCH ONLY.
  - 9 NOT USED.
  - 10 J-BOX IN BAR JOIST SPACE FOR NEW EXTERIOR SECURITY/EGRESS LIGHTS.
  - 11 RUN ADDITIONAL UNCONTROLLED/UNSWITCHED LEG FOR ALL EMERGENCY AND EXIT LIGHTS AS REQUIRED. SEE WIRING DIAGRAM ON SHEET E1.0.
  - 12 CIRCUITING FOR ALL UNIT EMERGENCY LIGHTING EQUIPMENT SHALL COMPLY WITH NEC ARTICLE 700.
  - 13 COORDINATE EXACT LOCATIONS OF GENERAL LIGHTS WITH EXISTING DUCTWORK. SHIFT THE LIGHTS AS REQUIRED, BUT KEEP THE ROWS ALIGNED.
  - 14 REFER TO BUILDING ELEVATIONS AND SECTIONS ON SHEETS A3.0, A4.0 AND A4.1 FOR EXTERIOR AND UNDER CANOPY LIGHTING LUMINAIRES. EXPOSED CONDUIT RUNS ON EXTERIOR SIDE OF THE BUILDING NOT ALLOWED.
  - 15 EMERGENCY EGRESS LIGHT BACKED UP BY INVERTER. REFER TO SCHEDULES AND DETAILS ON SHEET E4.2.
  - 16 J-BOX IN BAR JOIST SPACE FOR SALES LIGHTING.
  - 17 RECESSED LUMINAIRE MOUNTED INSIDE PARTITIONS, SOFFIT OR SUSPENDED CEILING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
  - 18 NOT USED.
  - 19 FIXTURES MOUNTED TO BOTTOM OF BAR JOIST UNLESS NOTED OTHERWISE. PROVIDE UNISTRUT AS REQUIRED.
  - 20 MASTER KEYED SWITCHES FOR SALES AREA LIGHT CONTROLS. REFER TO CONTACTOR SCHEDULE AND DETAILS ON SHEET E4.2.
  - 21 REUSE EXISTING TRACK LIGHTING PER DEMO PLAN AND/OR PROVIDE NEW TRACK. FIELD VERIFY EXACT QUANTITIES OF 4", 6" AND 12" PIECES OF EXISTING TRACK AND TRACK COMPONENTS TO BE REUSED. COORDINATE WITH OWNER. EXISTING TRACK IS FROM THE SAME MANUFACTURER AS THE NEW TRACK. CONNECT NEW OR RELOCATED LIGHTS TO EXISTING CIRCUIT FROM REMOVED TRACK.

NOT ALL NOTES ARE NECESSARILY USED ON THIS SHEET

CONSTR. DOC. & REVISIONS

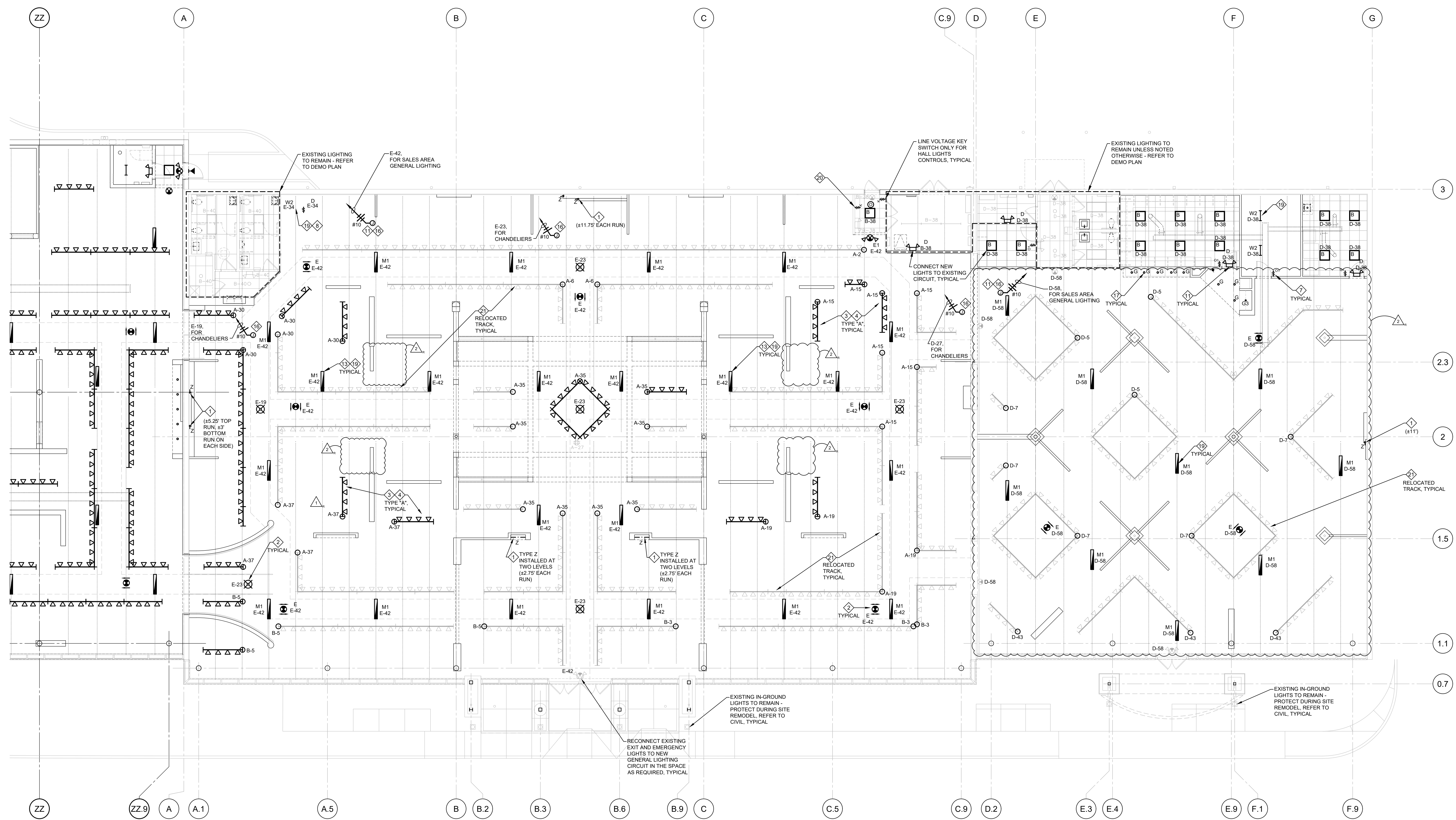
| No. | Description   | Date     |
|-----|---------------|----------|
| C   | Code Comments | 06/08/23 |
| 1   | ADD #3        | 12/05/23 |
| 2   | ADD #5        | 01/29/24 |

CASCO PROFESSIONAL SERVICES, LLC  
ENGINEERING LICENSE NUMBER CA29655

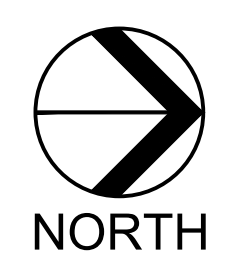
EXP. DATE 02/28/25  
LIC #68759  
WILLIAM J. KRINNEY

Drawn By/Checked By: ZT  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

**ROOMS TO GO** STORE EXPANSION AND REMODEL  
18722 SOUTH DIXIE HIGHWAY,  
CUTLER BAY, FL 33157



**1 POWER PLAN**  
E2.1 SCALE: 1/8" = 1'-0"



CONSTR. DOC. & REVISIONS

| No. | Description | Date     |
|-----|-------------|----------|
| 1   | ADD #3      | 12/05/23 |
| 2   | ADD #5      | 01/29/24 |

CASCO PROFESSIONAL SERVICES, LLC  
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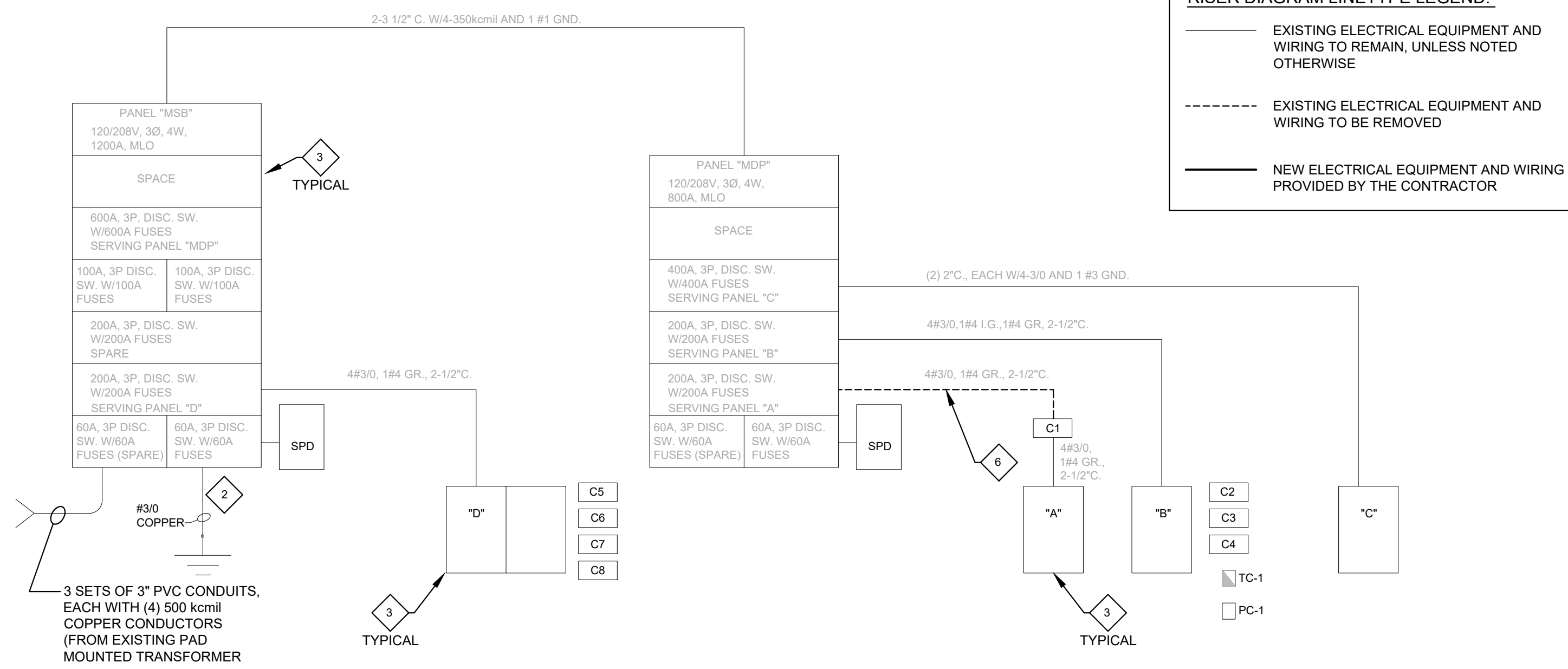
- NOTES:**
- 1 LUMINAIRE(S) MOUNTED INSIDE PARTITION WALLS (INSIDE COVES, BEHIND WALL OPENING/GLASS/PLEXI, ETC.). REFER TO POWER PLAN FOR POWER CONNECTION AND ARCHITECTURAL INTERIOR ELEVATIONS FOR DETAILS.
  - 2 PROVIDE HEAVY DUTY J-BOX IN BAR JOIST SPACE AND CHAIN HANG DISPLAY CHANDELIER ON UNISTRUT SPANNING BETWEEN JOIST AT 8'-0" AFF. CLEAR TO BOTTOM OF CHANDELIER. OWNER WILL ADDRESS SUPPLY/INSTALL IN CONTRACT.
  - 3 TRACK TYPE 'A' - TRACK, TRACK HEADS, CONNECTORS AND LAMPS. OWNER WILL ADDRESS SUPPLY/INSTALL IN CONTRACT. SEE MOUNTING DETAILS ON SHEET E1.0.
  - 4 STRIP CONDUCTORS FROM CONNECTORS AND INSTALL TO KEEP TRACK ALIGNMENT AS REQUIRED (TYPICAL FOR CONNECTORS BETWEEN TRACK LIGHTS FED WITH DIFFERENT CIRCUITS).
  - 5 CONNECT NEW EXTERIOR LIGHTS TO EXISTING CIRCUIT. REFER TO DEMO PLAN.
  - 6 NOT USED.
  - 7 PROVIDE VACANCY OR OCCUPANCY SENSOR FOR LIGHT CONTROLS AS SCHEDULED. REFER TO SCHEDULE ON SHEET E4.2 AND DETAILS 2/E3.0 AND 3/E3.0 FOR WIRING.
  - 8 LUMINAIRE AT ELECTRICAL EQUIPMENT CONTROLLED BY A MANUAL SWITCH ONLY.
  - 9 NOT USED.
  - 10 J-BOX IN BAR JOIST SPACE FOR NEW EXTERIOR SECURITY/EGRESS LIGHTS.
  - 11 RUN ADDITIONAL UNCONTROLLED/UNSWITCHED LEG FOR ALL EMERGENCY AND EXIT LIGHTS AS REQUIRED. SEE WIRING DIAGRAM ON SHEET E1.0.
  - 12 CIRCUITING FOR ALL UNIT EMERGENCY LIGHTING EQUIPMENT SHALL COMPLY WITH NEC ARTICLE 700.
  - 13 COORDINATE EXACT LOCATIONS OF GENERAL LIGHTS WITH EXISTING DUCTWORK. SHIFT THE LIGHTS AS REQUIRED, BUT KEEP THE ROWS ALIGNED.
  - 14 REFER TO BUILDING ELEVATIONS AND SECTIONS ON SHEETS A3.0, A4.0 AND A4.1 FOR EXTERIOR AND UNDER CANOPY LIGHTING LUMINAIRES. EXPOSED CONDUIT RUNS ON EXTERIOR SIDE OF THE BUILDING NOT ALLOWED.
  - 15 EMERGENCY EGRESS LIGHT BACKED UP BY INVERTER. REFER TO SCHEDULES AND DETAILS ON SHEET E4.2.
  - 16 J-BOX IN BAR JOIST SPACE FOR SALES LIGHTING.
  - 17 RECESSED LUMINAIRE MOUNTED INSIDE PARTITIONS, SOFFIT OR SUSPENDED CEILING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
  - 18 NOT USED.
  - 19 FIXTURES MOUNTED TO BOTTOM OF BAR JOIST UNLESS NOTED OTHERWISE. PROVIDE UNISTRUT AS REQUIRED.
  - 20 MASTER KEYED SWITCHES FOR SALES AREA LIGHT CONTROLS. REFER TO CONTACTOR SCHEDULE AND DETAILS ON SHEET E4.2.
  - 21 REUSE EXISTING TRACK LIGHTING PER DEMO PLAN AND/OR PROVIDE NEW TRACK. FIELD VERIFY EXACT QUANTITIES OF 4', 6' AND 12' PIECES OF EXISTING TRACK AND TRACK COMPONENTS TO BE REUSED. COORDINATE WITH OWNER. EXISTING TRACK IS FROM THE SAME MANUFACTURER AS THE NEW TRACK. CONNECT NEW OR RELOCATED LIGHTS TO EXISTING CIRCUIT FROM REMOVED TRACK.

NOT ALL NOTES ARE NECESSARILY USED ON THIS SHEET

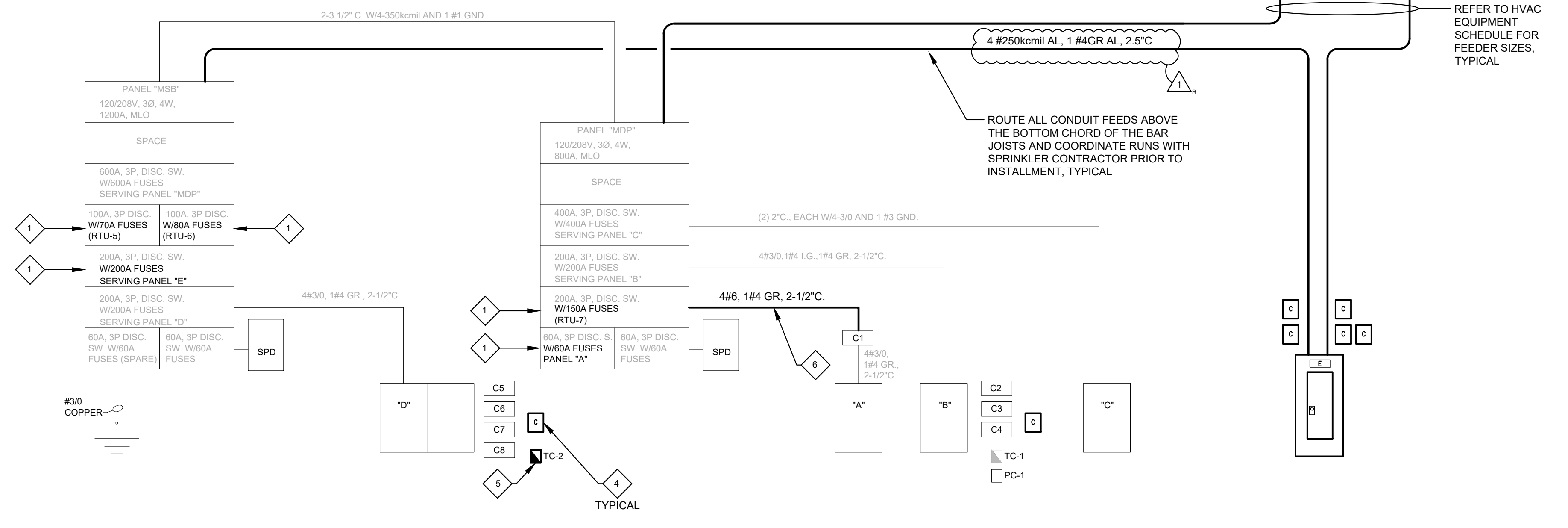
EXP. DATE 02/28/25  
LIC #68799  
WILLIAM J. KIRNEY

Drawn By/Checked By: ZT  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22





1 RISER DIAGRAM - EXISTING  
SCALE: NOT TO SCALE



1 RISER DIAGRAM - NEW  
SCALE: NOT TO SCALE

| EQUIPMENT SCHEDULE |                  |          |             |        |      |        |      |                    |  | FILE: 2101445 LOAD.xlsm |
|--------------------|------------------|----------|-------------|--------|------|--------|------|--------------------|--|-------------------------|
| PLAN MARK          | EQUIPMENT SERVED | LOAD     | VOLT/ PHASE | FED BY | TON  | FLA    | OCPP | FEEDER             | REMARKS  |                         |
| RTU 1              | ROOF TOP UNIT    | 26.52KVA | 208/3       | C      | 20   | 73.6A  | 175A | (3)#2/0,#6G 2" C   | EXISTING TO REMAIN   |                         |
| RTU 2              | ROOF TOP UNIT    | 26.34KVA | 208/3       | C      | 15   | 73.1A  | 125A | (3)#1,#6G 1-1/4" C | EXISTING TO REMAIN   |                         |
| RTU 3              | ROOF TOP UNIT    | 28.53KVA | 208/3       | C      | 12.5 | 79.2A  | 125A | (3)#1,#6G 1-1/4" C | EXISTING TO REMAIN   |                         |
| RTU 4              | ROOF TOP UNIT    | 28.53KVA | 208/3       | C      | 12.5 | 79.2A  | 125A | (3)#1,#6G 1-1/4" C | EXISTING TO REMAIN   |                         |
| RTU 5              | ROOF TOP UNIT    | 21.80KVA | 208/3       | MSB    | 15   | 60.5A  | 70A  | (3)#4,#8G 1" C     | NEW UNIT TO REPLACE EXISTING, 15KW HEATER (DERATED TO 208V), 3HP SUPPLY FAN, REUSE EXISTING FEEDER TO THE GREATEST EXTENT POSSIBLE; WP DISCONNECT AND GFI RECEPTACLE FURNISHED WITH UNIT |                         |
| RTU 6              | ROOF TOP UNIT    | 20.07KVA | 208/3       | MSB    | 12.5 | 55.7A  | 80A  | (3)#3,#8G 1-1/4" C | NEW UNIT TO REPLACE EXISTING, 3.75HP SUPPLY FAN, REUSE EXISTING FEEDER TO THE GREATEST EXTENT POSSIBLE; WP DISCONNECT AND GFI RECEPTACLE FURNISHED WITH UNIT                             |                         |
| RTU 7              | ROOF TOP UNIT    | 37.83KVA | 208/3       | MDP    | 20   | 105.0A | 150A | (3) #2/0,#4G, 2" C | NEW UNIT, 45KW HEATER (DERATED TO 208V), 7.5HP SUPPLY FAN, WP DISCONNECT AND GFI RECEPTACLE FURNISHED WITH UNIT  |                         |
| RTU 8              | ROOF TOP UNIT    | 26.34KVA | 208/3       | E      | 15   | 73.1A  | 100A | (3)#1,#6G 1-1/4" C | NEW UNIT, 30KW HEATER (DERATED TO 208V), 3HP SUPPLY FAN, WP DISCONNECT AND GFI RECEPTACLE FURNISHED WITH UNIT  |                         |
|                    |                  |          |             |        |      |        |      |                    | FEEDER SIZE SHOWN IS MINIMUM REQUIRED, FIELD CONDITIONS MAY BE DIFFERENT   |                         |

2 SCHEDULES  
E4.0 SCALE: NOT TO SCALE

- KEY NOTES:**
- 1 PROVIDE NEW FUSES IN EXISTING PANEL AS REQUIRED, FIELD VERIFY EXACT REQUIREMENTS BEFORE ORDERING.
  - 2 FIELD VERIFY EXISTING SERVICE GROUNDING CONDITION AND CONNECTIONS, AND RECONNECT AS REQUIRED, INCLUDING BONDING JUMPER. REMOVE ANY CORROSIONS OF ANY DEMOLITION OR RECONNECT/TERMINATE AS REQUIRED PER NEC 250.
  - 3 EXISTING EQUIPMENT TO REMAIN.
  - 4 NEW CONTACTOR, REFER TO CONTACTOR SCHEDULE ON SHEET E4.2.
  - 5 NEW TIME CLOCK, REFER TO LIGHTING CONTROLS SCHEDULE ON SHEET E4.2.
  - 6 REMOVE EXISTING FEEDER FROM EXISTING 200A DISCONNECT IN PANEL MDP TO CONTACTOR C1. EXISTING GROUNDING CONDUCTOR AND 2.5" C TO REMAIN AND BE REUSED FOR NEW 60A FEEDER FROM EXISTING 60A DISCONNECT IN MDP.

- GENERAL NOTES:**
- ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL NAMEPLATE DATA ON DIVISION 15 EQUIPMENT AND NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH HVAC CONTRACTOR TO DETERMINE INSTALLATION REQUIREMENTS IF ALTERNATE ROOF TOP UNITS ARE TO BE PROVIDED WITH NO ADDITIONAL COST TO OWNER.
  - ALL CONDUCTORS SHALL BE SOFT DRAWN, ANNEALED COPPER HAVING A CONDUCTIVITY OF NOT LESS THAN 98% OF THAT OF PURE COPPER. REFER TO SPECIFICATIONS FOR MORE INFORMATION ON WIRING METHODS, CONDUCTORS, INSULATION TYPES AND CONDUIT TYPES.
  - NO HAZARDOUS MATERIALS ARE STORED OR USED ON PREMISES AND NO AREA IS DEEMED A HAZARDOUS AREA PER NEC DEFINITIONS.
  - BRACING OF THE EQUIPMENT IS BASED ON AVAILABLE FAULT CURRENT PER ELECTRICAL UTILITY COMPANY AND USE OF MAIN SERVICE DISCONNECT WITH BUSSMANN LOW PEAK YELLOW DUAL-ELEMENT TIME-DELAY FUSES.
  - IF BRANCH PANELS ARE SERIES RATED, OVERCURRENT DEVICE ENCLOSURES SHALL BE IDENTIFIED AS SERIES RATED IN ACCORDANCE WITH NEC 110.22. THE OVERCURRENT DEVICES SHALL BE AIC RATED PER MANUFACTURER'S LABELING OF THE ELECTRICAL EQUIPMENT.
  - THE OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING RATING OF NOT LESS THAN 10000 AMPS RMS SYMMETRICAL, OR AS SPECIFIED OTHERWISE.
  - ELECTRICAL CONTRACTOR SHALL PROVIDE RECORD DRAWINGS AND MANUALS TO THE OWNER PER SPECIFICATIONS.
  - ELECTRICAL SERVICE EQUIPMENT SHALL BE MARKED TO IDENTIFY IT AS BEING SUITABLE FOR USE AS SERVICE EQUIPMENT.
  - ALL ELECTRICAL EQUIPMENT SHALL BEAR THE STAMP OF APPROVAL FROM A NATIONALLY RECOGNIZED TESTING LABORATORY OR CARRY THE NECESSARY LISTING AND CERTIFICATION FROM A STATE REGISTERED ELECTRICAL ENGINEER.
  - TRACK HAS BEEN CIRCUITED TO SUPPORT INSTALLED TRACK HEADS (LUMINAIRES). CONNECTED LOAD ON TRACK SHALL NOT EXCEED THE RATING OF TRACK PER NEC ARTICLE 410.101(B). TENANT (ROOMS TO GO) INSTALLS NUMBER OF TRACK HEADS PER CASCO'S DRAWINGS AND REALIZES THEY CANNOT LOAD TRACK TO EXCEED BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE RATING.
  - PROVIDE SIGNAGE TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS AS PER NEC ARTICLE 110.16.

- GENERAL DEMO NOTES:**
- BEFORE SUBMITTING THE PROPOSAL FOR ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK AND THE GENERAL CONDITIONS. HE SHALL HAVE FULL KNOWLEDGE AS TO TRANSPORTATION, DISPOSAL, HANDLING AND STORAGE OF MATERIALS, AVAILABILITY OF WATER, ELECTRIC POWER AND ALL OTHER FACILITIES IN THE AREA WHICH WILL HAVE A BEARING ON THE PERFORMANCE OF HIS WORK AND THE CONTRACTOR FOR WHICH HE SUBMITS A PROPOSAL. FAILURE BY THE CONTRACTOR TO ACQUAINT HIMSELF WITH ALL AVAILABLE INFORMATION SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. ADDITIONAL COMPENSATION SHALL NOT BE ALLOWED FOR CONDITIONS INCREASING THE CONTRACTOR'S COST WHICH WERE NOT KNOWN TO OR ANTICIPATED BY HIM WHEN SUBMITTING HIS PROPOSAL. IF THE CONDITION WAS OBVIOUS AND COULD HAVE BEEN DISCOVERED BY HIM IF HE HAD VISITED THE PROJECT AND HAD THOROUGHLY INFORMED HIMSELF OF ALL EXISTING CONDITIONS WHICH WOULD AFFECT HIS WORK.
  - THE EXISTING STORE WILL BE OPERABLE THROUGHOUT THE DEMOLITION AND CONSTRUCTION ACTIVITY (POWER TO EXISTING ROOMS TO GO STORE SHALL REMAIN INTACT THROUGHOUT THE CONSTRUCTION PROJECT DURING WORK HOURS). PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY, THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH OWNER, AND POWER AND TELEPHONE COMPANY AS REQUIRED, REGARDING ALL CONSTRUCTION ISSUES THAT MAY HAVE ANY IMPACT ON OPERATION OF EXISTING STORE.
  - VERIFY LOCATIONS OF UTILITIES PRIOR TO THE INITIATION OF SITE CONSTRUCTION AND COORDINATE ALL SERVICE ISSUES THAT MAY TAKE PLACE DURING THE CONSTRUCTION. COORDINATE POWER SHUT OFF AND SWITCH-OVER WITH OWNER AND OCALL ELECTRIC UTILITY COMPANY.
  - CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ELECTRICAL REQUIREMENTS IF EQUIVALENT ROOF TOP UNITS ARE USED THAN SPECIFIED IN PLANS, WITH DIFFERENT MCA/MOCP. CONTRACTOR SHALL ENSURE THAT ROOF TOP UNITS ARE PROTECTED WITH HACR BREAKER OR FUSED DISCONNECT SWITCH MEETING THE MOCP REQUIREMENTS OF THE ROOF TOP UNIT. THERE SHALL BE NO ADDITIONAL COST TO THE OWNER IF EQUIVALENT UNITS WITH DIFFERENT MCA/MOCP ARE USED.

ROOMS TO GO STORE EXPANSION AND REMODEL

18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

CONSTR. DOC. & REVISIONS

| No. | Description | Date     |
|-----|-------------|----------|
| 1   | ADD #5      | 01/29/24 |

CASCO PROFESSIONAL SERVICES, LLC  
ENGINEERING LICENSE NUMBER CA29655

EXP. DATE 02/28/25  
LIC #68799  
WILLIAM J. KIRNEY

Drawn By/Checked By: ZT  
Project Number: 2101445  
Bid Date: 11/09/23  
Permit: 03/28/23  
Owner Date: 07/06/22

RISER DIAGRAM AND SCHEDULES

E4.0

CASCO  
12 Sumner Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100



ROOMS TO GO STORE EXPANSION AND REMODEL 18722 SOUTH DIXIE HIGHWAY, CUTLER BAY, FL 33157

CONSTR. DOC. & REVISIONS

Date: 11/29/23 01/29/24

No. Description 1 ADD #2 2 ADD #5

EXP. DATE 02/28/25 LIC #68799 WILLIAM J. KIRNEY Drawn By/Checked By: ZT Project Number: 2101445 Bid Date: 11/09/23 Permit: 03/28/23 Owner Date: 07/06/22

PANEL SCHEDULES

E4.1

Panel E Schedule: MOUNT: SURFACE, 120/208, 3-PHASE, 4W. LOCATION: ELECTRICAL CLOSET. CAPACITY: 200A. INT CAP: 10KA. Includes table with columns for CT, LGT, REC, HVAC, MISC, NC, DESCRIPTION, AMP POLE, and PHASE BALANCE.

Panel E Schedule (continued): PHASE BALANCE table with columns for LOAD, RECEPTACLE, HVAC, MISC, and NC. Includes notes: A. NEW PANEL FULLY RATED 10000 AIC; B. 'C' - DENOTES CONTACTOR CONTROLLED CIRCUIT; 'L' - DENOTES LOCK ON DEVICE.

EXISTING PANEL SCHEDULE NOTES: 1. ALL BREAKERS IN EXISTING PANELBOARDS ARE EXISTING TO REMAIN UNLESS SHOWN IN HEAVY LINE WEIGHT. 2. PANEL SCHEDULES ARE SHOWN TO AID THE CONTRACTOR IN PROVIDING NEW TYPED DIRECTORY CARDS FOR ALL EXISTING PANELBOARDS TO BE REWORKED AS SHOWN ON THIS SHEET.

VOLTAGE DROP SCHEDULE: 120 VOLT BRANCH CIRCUITS UP TO 8 AMPS, 120 VOLT BRANCH CIRCUITS 9 AMPS TO 14 AMPS, 277 VOLT BRANCH CIRCUITS UP TO 14 AMPS. Includes tables for run distance in feet and wire size AWG.

MINIMUM WIRE & CONDUIT SIZES FOR CIRCUIT BREAKERS AND FUSES: Table with columns for AMPS, CONDUCTOR, GROUND, and CONDUIT.

Panel MDP Schedule: MOUNT: SURFACE, 120/208, 3-PHASE, 4W. LOCATION: ELECTRICAL ROOM 107. CAPACITY: 600A. INT CAP: 65KA. Includes table with columns for CT, LGT, REC, HVAC, MISC, NC, DESCRIPTION, AMP POLE, and PHASE BALANCE.

Panel MDP Schedule (continued): PHASE BALANCE table with columns for LOAD, RECEPTACLE, HVAC, MISC, and NC. Includes notes: A. EXISTING SIEMENS SWITCHBOARD, WITH FUSED DISCONNECTS; B. PROVIDE NEW 150A FUSES FOR RTU-7 AND 60A FUSES FOR PANEL A, AS REQUIRED.

Panel B Schedule: MOUNT: SURFACE, 120/208, 3-PHASE, 4W. LOCATION: ELECTRICAL ROOM 107. CAPACITY: 200A. INT CAP: EXISTING. Includes table with columns for CT, LGT, REC, HVAC, MISC, NC, DESCRIPTION, AMP POLE, and PHASE BALANCE.

Panel B Schedule (continued): PHASE BALANCE table with columns for LOAD, RECEPTACLE, HVAC, MISC, and NC. Includes notes: A. EXISTING PANEL WITH ISOLATED GROUND; B. 'C' - DENOTES CONTACTOR CONTROLLED CIRCUIT; 'L' - DENOTES LOCK ON DEVICE.

Panel C Schedule: MOUNT: SURFACE, 120/208, 3-PHASE, 4W. LOCATION: ELECTRICAL ROOM 107. CAPACITY: 400A. INT CAP: EXISTING. Includes table with columns for CT, LGT, REC, HVAC, MISC, NC, DESCRIPTION, AMP POLE, and PHASE BALANCE.

Panel C Schedule (continued): PHASE BALANCE table with columns for LOAD, RECEPTACLE, HVAC, MISC, and NC. Includes notes: A. EXISTING PANEL TO REMAIN, INSTALL NEW BREAKERS AS REQUIRED; B. 'C' - DENOTES CONTACTOR CONTROLLED CIRCUIT; 'L' - DENOTES LOCK ON DEVICE.

Panel MSB Schedule: MOUNT: SURFACE, 120/208, 3-PHASE, 4W. LOCATION: ELECTRICAL ROOM 111. CAPACITY: 1,140A. INT CAP: 65KA. Includes table with columns for CT, LGT, REC, HVAC, MISC, NC, DESCRIPTION, AMP POLE, and PHASE BALANCE.

Panel MSB Schedule (continued): PHASE BALANCE table with columns for LOAD, RECEPTACLE, HVAC, MISC, and NC. Includes notes: A. EXISTING WESTINGHOUSE SWITCHBOARD, WITH FUSED DISCONNECTS; B. REFER TO ONE LINE DIAGRAM AND EQUIPMENT SCHEDULE FOR FEEDER SIZES; C. PROVIDE NEW 200A FUSES FOR PANEL E, 70A FUSES FOR RTU-5 & 80A FUSES FOR RTU-6, AS REQUIRED.

Panel D Schedule: MOUNT: SURFACE, 120/208, 3-PHASE, 4W. LOCATION: ELECTRICAL ROOM 111. CAPACITY: 200A. INT CAP: EXISTING. Includes table with columns for CT, LGT, REC, HVAC, MISC, NC, DESCRIPTION, AMP POLE, and PHASE BALANCE.

Panel D Schedule (continued): PHASE BALANCE table with columns for LOAD, RECEPTACLE, HVAC, MISC, and NC. Includes notes: A. EXISTING 2-SECTION PANEL WITH ISOLATED GROUND; INSTALL NEW BREAKERS AS REQUIRED; B. 'C' - DENOTES CONTACTOR CONTROLLED CIRCUIT; 'L' - DENOTES LOCK ON DEVICE; C. 'N' - DENOTES NO CONTROLS, REMOVE EXISTING CIRCUIT FROM CONTACTOR TO PROVIDE SPARE UNCONTROLLED CIRCUITS.

Panel D Schedule (continued): PHASE BALANCE table with columns for LOAD, RECEPTACLE, HVAC, MISC, and NC. Includes notes: A. EXISTING 2-SECTION PANEL WITH ISOLATED GROUND; INSTALL NEW BREAKERS AS REQUIRED; B. 'C' - DENOTES CONTACTOR CONTROLLED CIRCUIT; 'L' - DENOTES LOCK ON DEVICE; C. 'N' - DENOTES NO CONTROLS, REMOVE EXISTING CIRCUIT FROM CONTACTOR TO PROVIDE SPARE UNCONTROLLED CIRCUITS.